

JOHN COOPER
MAYOR



METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

**STAFF RECOMMENDATION
1112 Boscobel Street
June 16, 2021**

Metropolitan Historic Zoning Commission
Sunnyside in Sevier Park
3000 Granny White Pike
Nashville, Tennessee 37204
Telephone: (615) 862-7970
Fax: (615) 862-7974

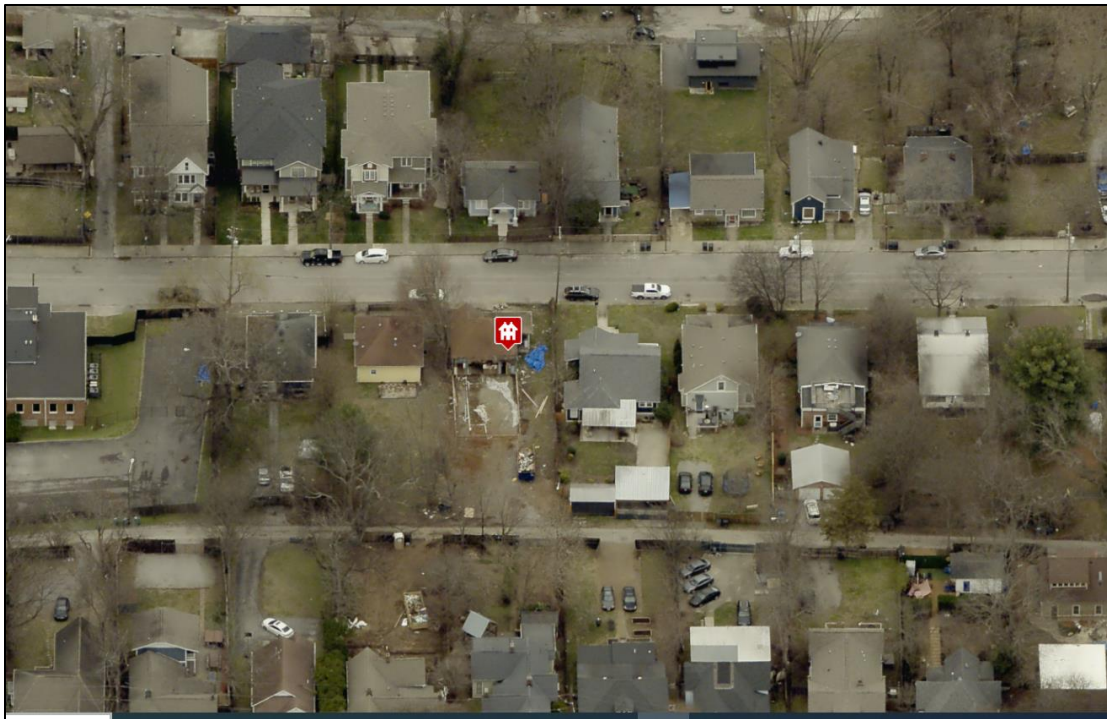
Application: Demolition; Show Cause
District: Belmont-Hillsboro Neighborhood Conservation Zoning Overlay
Council District: Lockeland Springs-East End Neighborhood Conservation Zoning Overlay
Base Zoning: R6
Map and Parcel Number: 08313018100
Applicant: James Crockett II, JAC Investments
Project Lead: Melissa Sajid, Melissa.sajid@nashville.gov

<p>Description of Project: The applicant requests demolition of a contributing building, demolished without a permit. Staff requests a show-cause hearing for Permit #2020055431, issued on September 17, 2020.</p> <p>Recommendation: Staff recommends the consideration of three votes.</p> <p>Demolition: Staff recommends disapproval of demolition; finding that demo does not meet Section III.B.2.b.</p> <p>Show Cause: Staff recommends that the Preservation Permit for the addition (#2020055431), DADU (#2020055451), and reconstruction with the previously approved addition (#202124465) be rescinded, finding that demolition took place outside of the scope of the permit and work on reconstruction has not yet begun.</p> <p>Reconstruction: Staff recommends the building be fully documented and reconstructed using original materials and historic images following the detailed direction of this report and with the following conditions:</p> <ol style="list-style-type: none"> 1. Plans for reconstruction of the house with its original porch design and details on its features be submitted prior to issuance of demolition and new construction permits (plans shall not include the addition permitted by #2020055431 if that permit is rescinded); and, 2. No additional Preservation Permits be issued until the reconstruction has been inspected and reviewed by the Commission as to whether or not it is a true reconstruction of the historic building; <p>finding that reconstruction meets section II.H. of the design guidelines for the Belmont-Hillsboro Neighborhood Conservation Zoning Overlay.</p>	<p>Attachments A: Preservation Permits #2020055431, 2020055451, and 202124465</p>
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Vicinity Map:



Aerial Map:



Applicable Design Guidelines:

II. DESIGN GUIDELINE PRINCIPLES

H. Reconstruction may be appropriate when it accurately reproduces a no-longer existing building on its original site, if the building (1) would have contributed to the historic and architectural character of the area; (2) will be compatible in terms of style, height, scale, massing, and materials with the buildings immediately surrounding it; and (3) is accurately based on documentary, physical, or pictorial evidence.

III. DEMOLITION

A. PRINCIPLE

1. The primary purpose of neighborhood conservation zoning overlays is to prevent demolition of historic buildings and their character-defining features.
2. The demolition of a building or major portion of a building, which contributes historically, culturally, or architecturally to the character and significance of the district, is not appropriate.
3. The historic character-defining features of a historic building should not be altered, removed, or destroyed.
4. Replacement windows and doors that do not change the dimensions and location of the openings is not considered partial-demolition and so is not reviewed. Replacement of historic casings for openings is not appropriate. Alteration of the location and dimensions of window and door opening is partial-demolition and so reviewed.
5. Replacement roofing material that does not require the removal of framing material and roofing details such as trim, or roofing features such as chimneys is not considered partial-demolition and so is not reviewed.
6. The removal of a building's primary cladding material is considered partial-demolition because removal can weaken the structural integrity of most buildings. Replacement of secondary cladding material such as siding in a gable field or on dormer is not reviewed.

B. GUIDELINES

1. Partial-demolition of a structure

- a. Character-defining features of historic buildings shall be retained. Partial-demolition of historic buildings is appropriate if the feature to be removed is not a character-defining feature. Examples of non character-defining features are features that have lost historic integrity or that were added in recent years.
- b. Replacement of historic materials or features may be necessary in the case of extreme deterioration. In those cases, replacement materials and features should match the historic material and feature in terms of design, location, and dimensions. If the original is not known, it shall be similar to common historic examples on buildings of a similar style and form found in the neighborhood. Substitute materials may be appropriate if the material has the same dimensions, texture, design, and workability as the historic material. For instance, smooth-faced fiber-cement lap siding is a common substitute material for wood lap siding.
- c. Historic cladding shall be retained. It is appropriate to remove cladding installed over historic cladding material and repair the historic cladding. Lap siding installed over, or to replace historic masonry, or a masonry veneer installed over, or to replace historic lap siding is not appropriate. When it is appropriate to replace siding, the casings of openings should be

retained. And the new siding shall replicate the reveal and dimensions of the historic siding.

- d. Historic window and door dimensions and locations should be retained. Limited changes to window and door openings may be appropriate on the rear or side facades, beyond the midpoint of the house, so long as the new window and door pattern meets the design guidelines for “proportion and rhythm of openings.”
- e. Historic building wall dimensions, exterior cladding, and locations shall be retained. Generally, removal of the rear wall for an addition may be appropriate if the two rear corners are maintained.
- f. Partial-demolition of non-contributing buildings is appropriate if demolition does not result in a form or condition that would not meet the design guidelines for “new construction” or if partial-demolition brings the existing building closer into compliance with the design guidelines for new construction.

2. Full-demolition of a structure

- a. Historic buildings shall be retained unless the denial of the demolition will result in an economic hardship, as determined by the MHZC in accordance with section 17.40.420 (Historic Zoning Regulations), Metropolitan Comprehensive Zoning Ordinance.
- b. Full-demolition of non-contributing buildings is appropriate as they do not contribute to the historic character of the district.

Applicable Ordinances:

17.40.420 Preservation permit.

D. Determination of Economic Hardship. In reviewing an application to remove an historic structure, the historic zoning commission may consider economic hardship based on the following information:

- 1. An estimated cost of demolition and any other proposed redevelopment as compared to the estimated cost of compliance with the determinations of the historic zoning commission;
- 2. A report from a licensed engineer or architect with experience in rehabilitation as to the structural soundness of the subject structure or improvement and its suitability for rehabilitation;
- 3. The estimated market value of the property in its current condition; its estimated market value after the proposed undertaking; and its estimated value after compliance with the determinations of the historic zoning commission.
- 4. An estimate from an architect, developer, real estate consultant, appraiser, or other real estate professional experienced in rehabilitation as to the economic feasibility of rehabilitation or reuse of the existing structure.
- 5. Amount paid for the property, the date of purchase, and the party from whom purchased, including a description of the relationship, if any, between the owner of record or applicant and the person from whom the property was purchased, and any terms of financing between the seller and buyer.
- 6. If the property is income-producing, the annual gross income from the property for the previous two years; itemized operating and maintenance expenses for the previous two years; and depreciation deduction and annual cash flow before and after debt service, if any, during the same period.
- 7. Any other information considered necessary by the commission to a determination as to whether the property does yield or may yield a reasonable return to the owners.
- 8. Hardship Not Self-Imposed. The alleged difficulty or hardship has not been created by the previous actions or inactions of any person having an interest in the property after the effective date of the ordinance codified in this title.

(Ord. BL2012-88, § 1, 2012; Ord. 96-555 § 10.9(C), 1997)

Applicable Rules of Order and Procedure:

X. ENFORCEMENT PROCEDURES

In cases of non-compliance with historic zoning regulations and preservation permits the staff will follow these general steps as appropriate until compliance has been reached.

- A. Request the Department of Codes Administration to post, a Stop Work Order if work is in progress.
- B. Notify the owner of the violation in writing through US mail, email or hand-delivery, and provide the opportunity for the owner to appear before the Commission on the issue of the violation within 30 days.
- C. If the violation remains and the matter is not brought into compliance, Staff shall cite the applicant to a court of competent jurisdiction or issue a Show Cause Order on behalf of the Commission.
- E. Show Cause Hearing. In cases where violations persist and a Show Cause Order has been issued, the applicant shall be required to appear before the Commission and show cause as to why any original Preservation Permits should not be revoked by the Commission.

Background: The house at 1112 Boscobel is a c. 1900 Folk Victorian house (Figures 1 & 2) that contributes to the historic character of the Lockeland Springs-East End Neighborhood Conservation Zoning Overlay. The house appears on the 1908 Hopkins Map but does not appear on the earlier 1889 Hopkins Map. The house has been altered in the twentieth century, most notably with the enclosure of the front porch. While the subject property is not part of the nearby Edgefield or East Nashville National Register Districts, the house's date of construction and Victorian style featuring a hipped roof and corner porch form is noted as being typical of both districts.

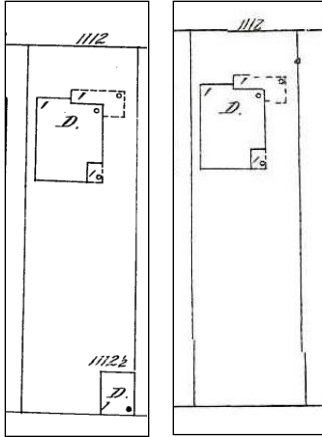


Figure 1. 1112 Boscobel Street.



Figure 2. 1112 Boscobel Street, c. 1968 Property Assessor photo. The porch had been enclosed by this time.

The front porch was enclosed sometime between 1957 and 1968. In the 1957 Sanborn map (Figure 4), the porch is shown as open, but in the c. 1968 photo (Figure 2), the porch is shown as closed. Metro records do not indicate any subsequent permitted additions or alterations to the house.



Figures 3 & 4. Figure 3 (left) is the 1914 Sanborn Map and Figure 4 (right) is the 1957 Sanborn map. Both show the front porch as entirely open.

Work on the house at 1112 Boscobel Street was in progress on March 25, 2021 when a windstorm facilitated the collapse of the historic house. However, all the siding, windows, and doors had been removed which made the house more susceptible to full demolition under the conditions of the windstorm (Figures 5 & 6). No other homes in the vicinity were severely damaged; therefore, staff concludes that the applicant created their own hardship by not securing the building during rehabilitation. At the time the addition was permitted, removal of siding was not reviewed in the Lockeland Springs-East End Neighborhood Conservation Zoning Overlay. Under the updated guidelines, removal and replacement of siding is reviewed with the hope that unintentional demolitions such as 1112 Boscobel Street can be prevented.



Figure 5. 1112 Boscobel Street prior to March 25, 2021 storm, undated.



Figure 6. 1112 Boscobel Street after March 25, 2021 storm.



Figure 7. 1112 Boscobel Street, June 8, 2021.

Analysis and Findings:

Demolition

The house at 1112 Boscobel Street was an historic house that contributed to the historic character of the Lockeland Springs-East End Neighborhood Conservation Zoning Overlay. (See “Background.”) For that reason, demolition does not meet Section III.B.2.b for appropriate demolition.

Because homes around this one were not damaged in the storm, Staff finds that the applicant is responsible for the collapse. The applicant created their own hardship by not securing the building during rehabilitation.

Staff recommends disapproval of demolition; finding that demo does not meet Section III.B.2.b.

Show-Cause

The historic house was demolished in the windstorm on March 25, 2021, but the demolition was likely exacerbated by the removal of all siding, windows, and doors prior to the storm that was associated with the rehab and addition. On April 20, 2021, staff issued a permit to reconstruct the house and the previously approved addition; however, no work has begun on the site as of June 2021. Property Standards has begun a violation case, based on a neighborhood complaint, since the site has not been cleared and is “a breeding ground for nuisance animals.” The case documentation further states, “There are a ton of feral cats taking over the neighborhood and breeding in the collapsed structure. There are also a lot of opossum breeding under the rubble.”

Since no work has commenced on site since the collapse of the house (Figure 7), staff recommends that the preservation permits for the addition (#2020055431), DADU (#2020055451), and reconstruction with the previously approved addition (#202124465) be rescinded.

Reconstruction

If demolition is found to be inappropriate, then the violation still exists and needs to be addressed. Staff recommends the building be fully documented and reconstructed using historic images and measurements from previous plans. Section II.H. of the design guidelines allows for reconstruction if the building was contributing, it had an appropriate massing and scale for the neighborhood and is based on documentary evidence. The building was contributing and was an appropriate massing and scale for the district. Evidence of earlier conditions includes photographs, Sanborn maps, and parts of previous plans that were to scale. Staff recommends the following conditions.

Reconstruction shall follow historic documentation in the following ways:

- Lap siding shall have mitered corners as it did originally
- The previously enclosed porch shall be unenclosed

Staff recommends that the following information and actions be submitted and taken within 15 days of the decision.

- Scaled plans of the historic house not including the addition permitted with permit #2020055431 be submitted

Staff further recommends no additional Preservation Permits be issued until the reconstruction has been inspected and reviewed by the Commission as to whether or not it is a true reconstruction of the historic building.

Recommendation:

Staff recommends the consideration of three votes.

Demolition: Staff recommends disapproval of demolition; finding that demo does not meet Section III.B.2.b.

Show Cause: Staff recommends that the Preservation Permit for the addition (#2020055431), DADU (#2020055451), and reconstruction with the previously approved addition (#202124465) be rescinded, finding that demolition took place outside of the scope of the permit and work on reconstruction has not yet begun.

Reconstruction: Staff recommends the building be fully documented and reconstructed using original materials and historic images following the detailed direction of this report and with the following conditions:

1. Plans for reconstruction of the house with its original porch design and details on its features be submitted prior to issuance of demolition and new construction permits (plans shall not include the addition permitted by #2020055431 if that permit is rescinded); and,
2. No additional Preservation Permits be issued until the reconstruction has been inspected and reviewed by the Commission as to whether or not it is a true reconstruction of the historic building;

finding that reconstruction meets section II.H. of the design guidelines for the Belmont-Hillsboro Neighborhood Conservation Zoning Overlay.



3869625
3869625

METRO HISTORIC ZONING COMMISSION

Sunnyside at Sevier Park
3000 Granny White Pike
Nashville TN 37204
(615) 862-7970
historicalcommission@nashville.gov

HISTORICAL COMMISSION PERMIT - 2020055431

Entered on: 03-Sep-2020

Historic District: Lockeland Springs-East End

Site Address

1112 BOSCOBEL ST
NASHVILLE TN, 37206

Parcel Owner

JONES, DEREK G
4012 ETHAN AVE
MOUNT JULIET, TN 37122

Updated 1/25/21
MB - changes to
rear windows

Purpose: Construct rear addition; Setback determination - the addition will be about 3'6" from the right/west side property line. See HCP 202005451 for DADU permit

ROOFING

- Roofing material shall be asphalt composite shingles. Color shall match existing or if not, it shall be approved by the MHZC prior to purchase.
- Gutters shall be simple metal gutters.

WINDOWS & DOORS

- Windows shall have single-light or fully-simulated, divided-light sashes. Muntins are to be factory installed with an exterior muntin, interior muntin, and a spacer within the double-paned glass. Window manufacturer and type must be approved by MHZC staff prior to installation. Double and triple windows shall have a 4" to 6" mullion between.
- Door manufacturer and type must be approved by MHZC staff prior to installation.
- Four (4) inch (nominal) wood casings are required around doors, windows, and vents within clapboard walls.
- Windows on clapboard structures shall not have brick-mold.

SIDING & TRIM

- Siding and trim shall be wood or smooth-faced, cement-fiberboard (e.g.: Hardiplank). If siding exposure is not matched to that of the existing house, then it shall have a maximum reveal of five (5) inches.
- 4 inches (nominal) wood corner-boards are required at the face of each exposed corner.

HVAC

- HVAC/Mechanical/Utility vents, pipes, lines, and all associated components, condensers or boxes shall be located behind the midpoint of the structure on a non-street facade.

GENERAL SPECIFICATIONS

- Alterations to be constructed in accordance with attached elevations. Any deviation from the approved plans could result in changes being reversed to reflect the approved drawings. Please note: MHZC staff may have added notes to the submitted drawings.
- All measurements and relationships of existing conditions and new construction shall be field checked for accuracy with approved plans at the responsibility of the applicant. Inaccuracies or differences should be reported to MHZC staff prior to continuing with the project.
- Any substitutions or deviation from the approved work requires further review and approval by the MHZC PRIOR to work being undertaken.
- The work items listed are approved in accordance with the adopted design guidelines and are NOT applicable beyond the unique facts and circumstances of this particular application.
- This permit becomes invalid TWELVE months after issue date. Expired permits must be reissued prior to work being undertaken.
- Removal of cladding, windows and roofing on the existing building all-together is "partial-demolition" and must be reviewed by

the MHZC prior to work taking place.

Approval of design should not be considered approval of a particular use. - THIS IS NOT A BUILDING PERMIT. No work can begin without the appropriate review and approval by the Metropolitan Department of Codes Administration: Howard School Building Campus (615) 862-6500.

APPLICANT: Mitch Hodge, AIA

Activities to be Completed - Call: (615) 862-7970 or Email: historicalcommission@nashville.gov

REVIEWS REQUIRED:

ROOFING COLOR APPROVAL PRIOR TO INSTALL - HZ

WINDOWS APPROVAL PRIOR TO INSTALL - HZ

DOOR APPROVAL PRIOR TO INSTALL – HZ

REAR PORCH FLOOR MATERIAL APPROVAL PRIOR TO INSTALL -HZ

DRIVEWAY MATERIAL APPROVAL PRIOR TO INSTALL - HZ

HVAC LOCATION – HZ

INSPECTIONS REQUIRED:

FIELD STAKING INSPECTION - HZ

FOUNDATION CHECK INSPECTION - HZ

ROUGH FRAMING INSPECTION - HZ

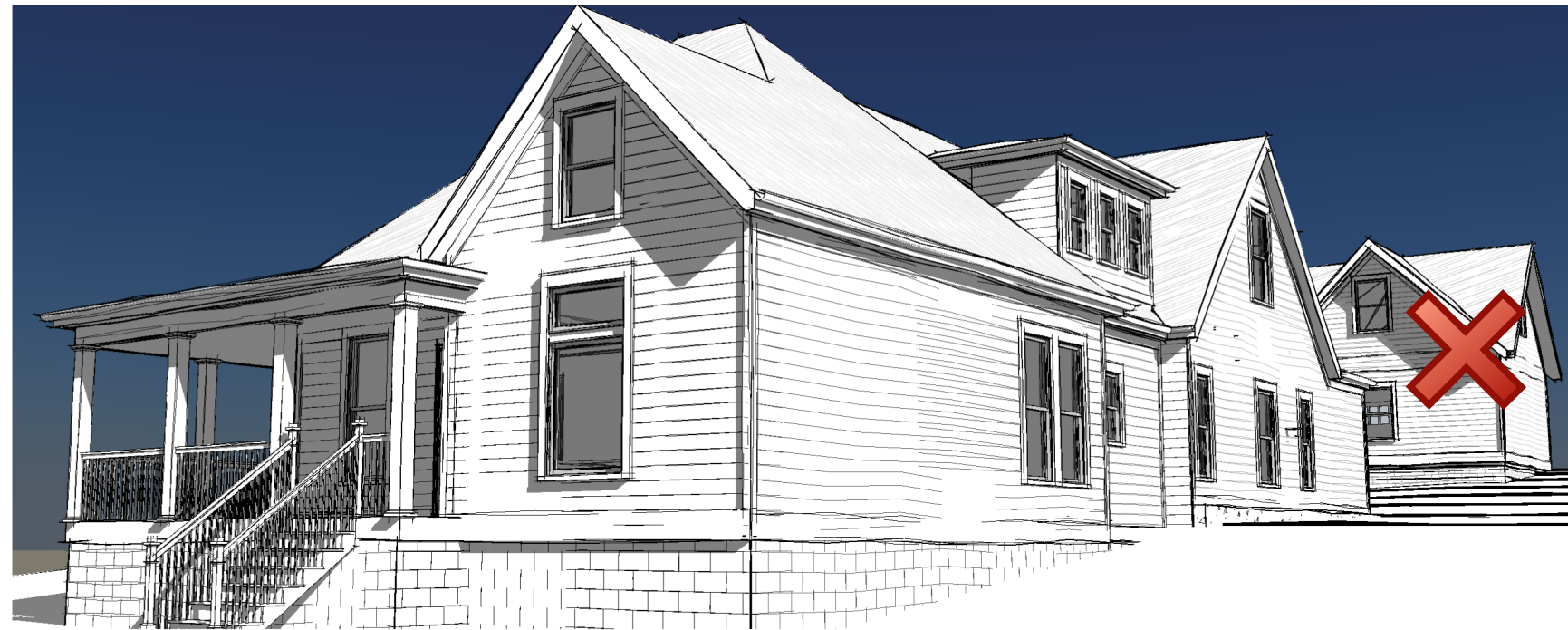
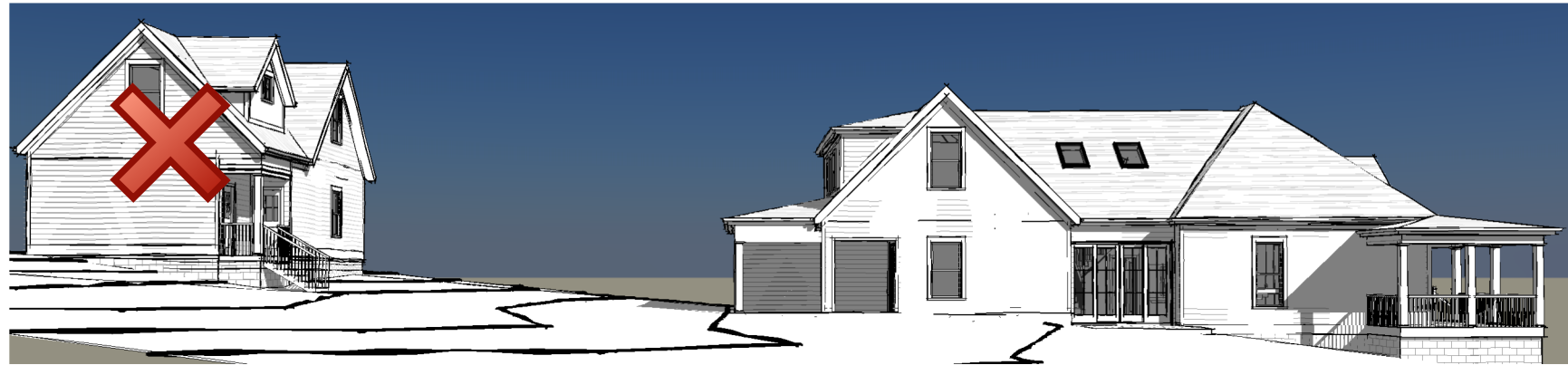
PROGRESS INSPECTION – HZ

FINAL INSPECTION - HZ

Issued Date: 17-Sep-2020

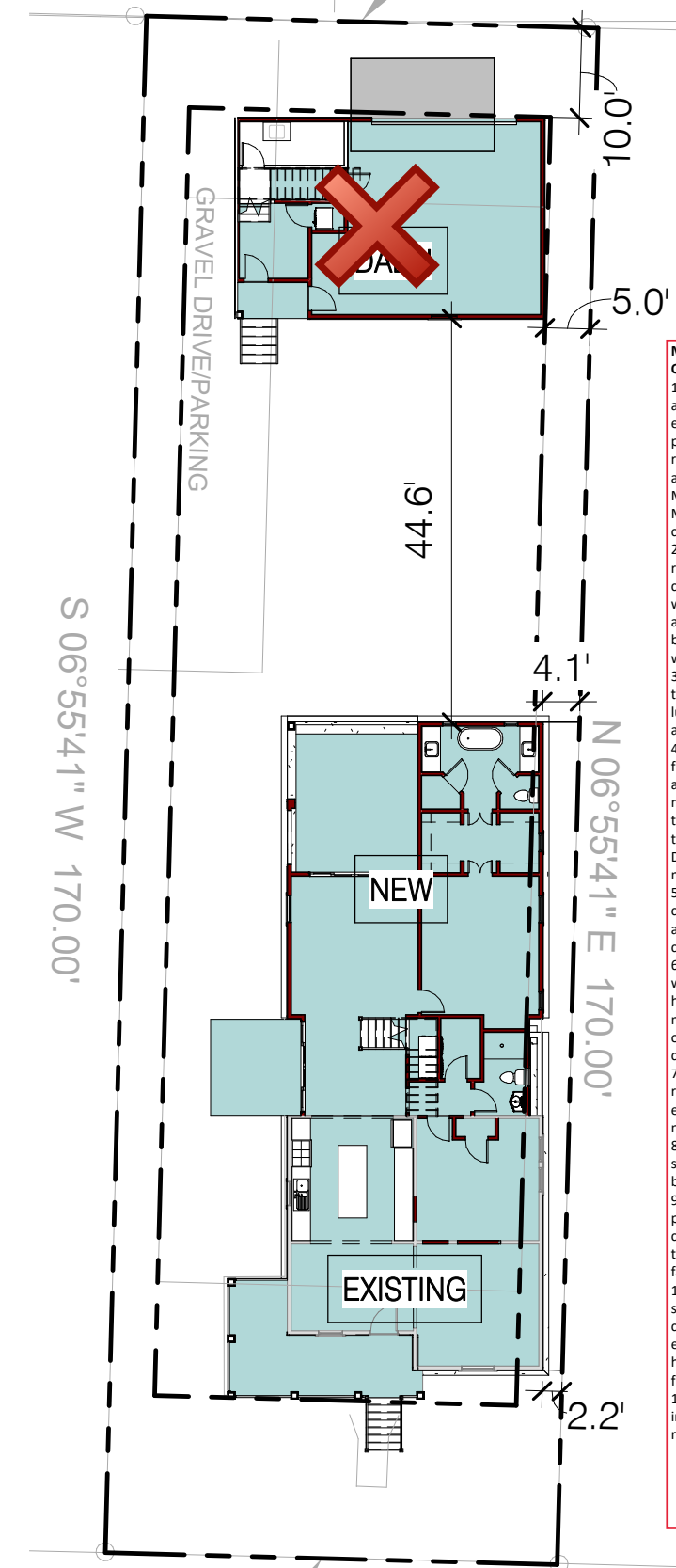
Issued By: Melissa Baldock

This permit is for the addition only. See HCP 202005451 for DADU Permit



MHJC INSPECTIONS & FINAL APPROVALS
CALL 862-7970 FOR QUESTIONS AND TO SCHEDULE INSPECTIONS

1. Please refer to notes on page 1.
2. Staff must approve the construction progress at the following points:
 - a. After the building footprint has been field staked
 - b. After the foundation wall has been constructed
 - c. After the rough framing has been completed
3. The following must be submitted for final approval before purchase:
 - a. Windows and doors
 - b. Roof color
 - c. Rear Porch floor material
 - d. Driveway material



MHJC NOTES; CALL (615) 862-7970 FOR QUESTIONS

1. Structure to be constructed in accordance with attached scaled site plan and elevations. Any deviation from the approved plans could result in **changes being reversed** to reflect the approved drawings. Any alterations, whether or not approved by other Metro Departments, must be communicated to MHJC for a revision of the permit prior to construction or material purchase.
2. All measurements and relationships of existing conditions and new construction shall be field checked for accuracy with approved plans at the responsibility of the applicant. Inaccuracies or differences should be reported to MHJC staff prior to continuing with the project.
3. Exterior finish materials shall be trim grade (smooth and square). Stud wall lumber or embossed wood grain is not appropriate.
4. Windows shall be single-light or fully simulated, divided light sashes. Muntins are to be factory installed with an exterior muntin, interior muntin and a spacer bar within the double paned-glass. Snap-in or between the glass muntins are never appropriate. Double and triple windows shall have 4" to 6" mullions between.
5. Four (4) inch (nominal) wood casings are required around doors, windows and vents within clapboard walls. Windows on clapboard structures shall not have brick-mold.
6. Removal of all of the cladding, windows, doors and roofing on a contributing house is considered partial demolition and must be reviewed by the MHJC. Removal of one of these items alone, in a neighborhood conservation zoning overlay, is not reviewed.
7. Retention of original casings and replacement of just window sashes is encouraged where window replacement is necessary.
8. Alteration of original windows sizes is considered partial demolition and must be reviewed by the MHJC.
9. HVAC/Mechanical/Utility vents, pipes, lines, and all associated components, condensers or boxes shall be located behind the midpoint of the structure on a non-street facade.
10. For non-masonry buildings, siding and trim shall be wood or smooth-faced, cement-fiberboard (e.g.: Hardiplank). If siding exposure is not matched to that of the existing house, then it shall have a maximum reveal of five (5) inches.
11. For non-masonry buildings, 4 inches (nominal) wood corner-boards are required at the face of each exposed corner.

S. MITCHELL HODGE ARCHITECTURE
 1900 Cedar Lane
 Nashville, TN 37212
 (615)260-0919
 hodge@hotmail.com

1112 BOSCOBEL STREET
 NASHVILLE, TN 37206

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30 SITE PLAN
 1" = 20'-0"

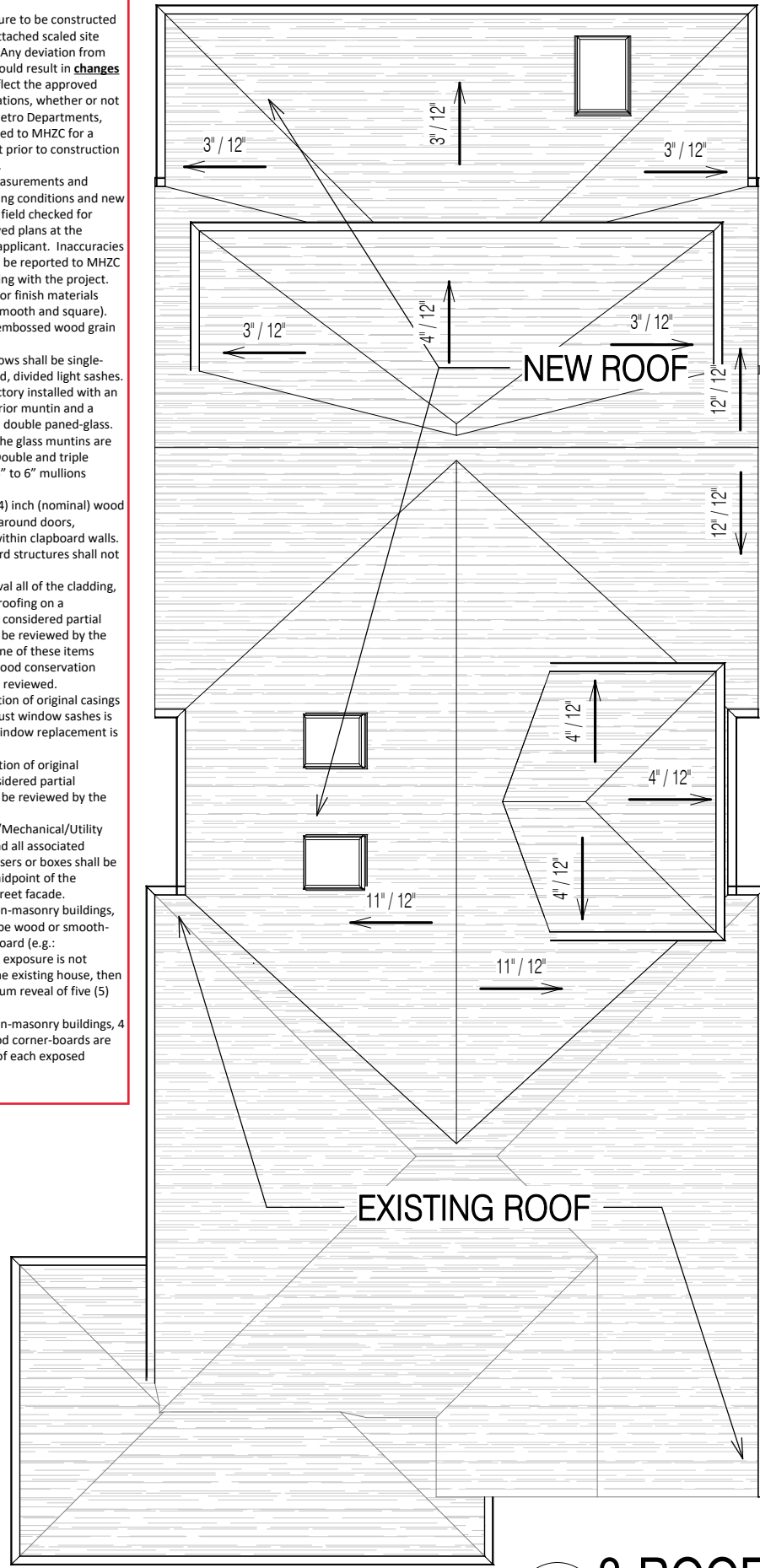
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 PROJECT 2031
 DATE 08.31.20

MHZC NOTES; CALL (615) 862-7970 FOR QUESTIONS

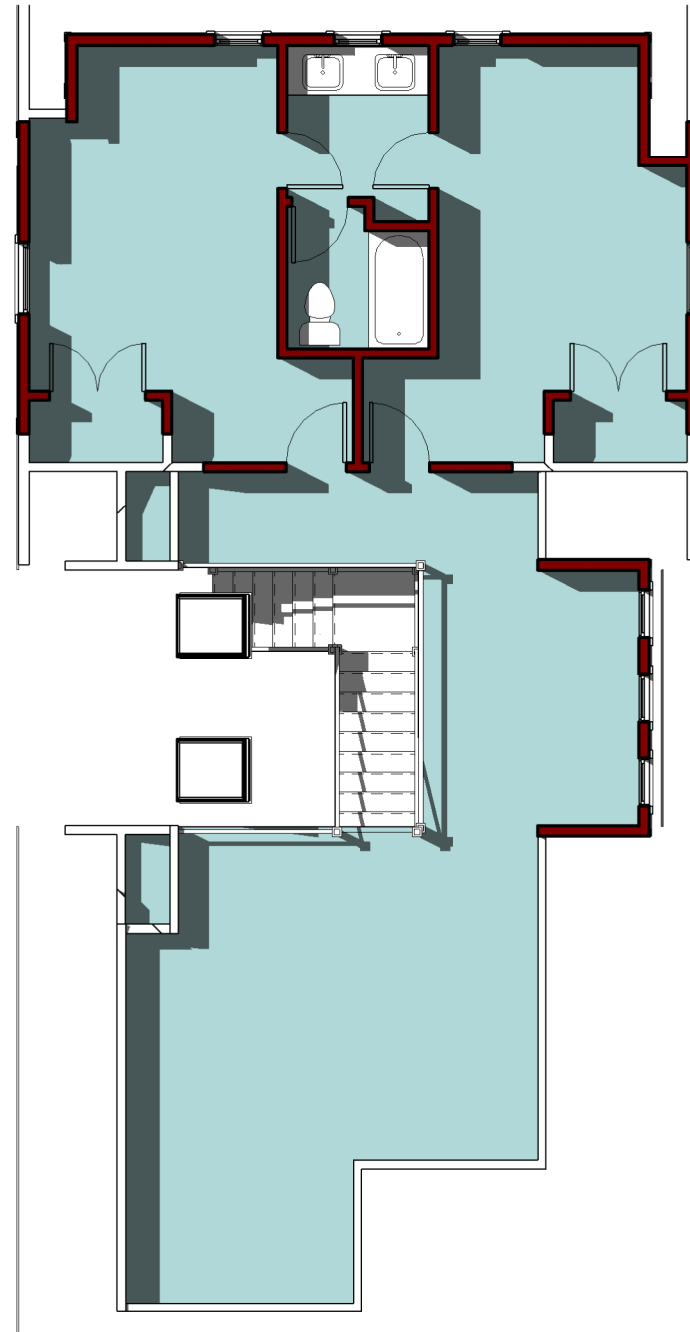
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- Four (4) inch (nominal) wood casings are required around doors, windows and vents within clapboard walls. Windows on clapboard structures shall not have brick-mold.
- Removal all of the cladding, windows, doors and roofing on a contributing house is considered partial demolition and must be reviewed by the MHZC. Removal of one of these items alone, in a neighborhood conservation zoning overlay, is not reviewed.
- Retention of original casings and replacement of just window sashes is encouraged where window replacement is necessary.
- Alteration of original windows sizes is considered partial demolition and must be reviewed by the MHZC.
- HVAC/Mechanical/Utility vents, pipes, lines, and all associated components, condensers or boxes shall be located behind the midpoint of the structure on a non-street facade.
- For non-masonry buildings, siding and trim shall be wood or smooth-faced, cement-fiberboard (e.g.: Hardiplank). If siding exposure is not matched to that of the existing house, then it shall have a maximum reveal of five (5) inches.
- For non-masonry buildings, 4 inches (nominal) wood corner-boards are required at the face of each exposed corner.

**MHZC INSPECTIONS & FINAL APPROVALS
CALL 862-7970 FOR QUESTIONS AND TO SCHEDULE INSPECTIONS**

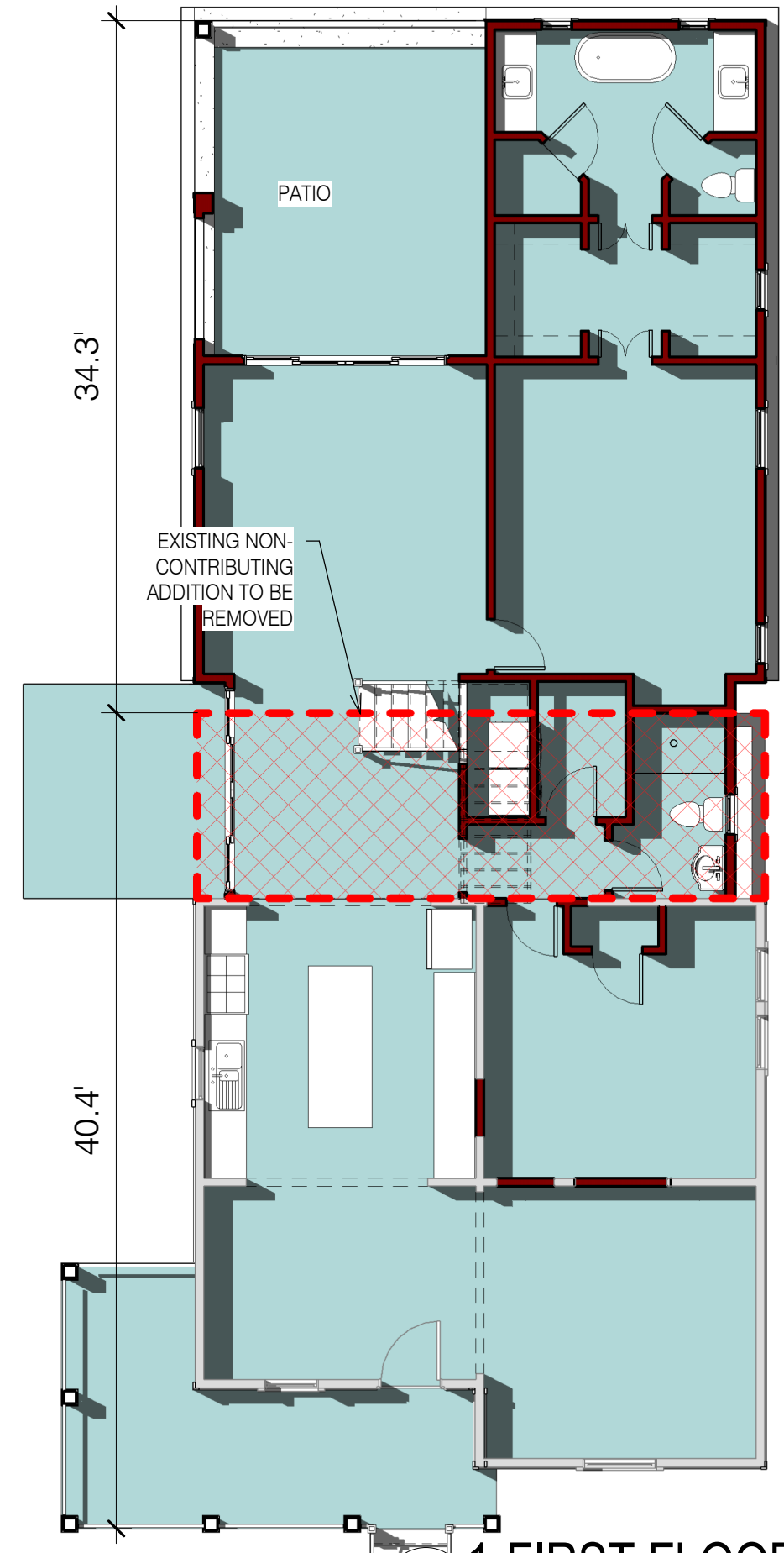
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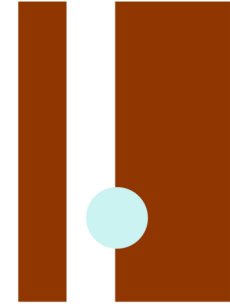
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1 1/8" = 1'-0"



1 2-SECOND FLOOR
1 1/8" = 1'-0"



2 1-FIRST FLOOR
1 1/8" = 1'-0"



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RENOVATIONS AND ADDITIONS
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FLOOR PLANS, ROOF PLAN

1

PROJECT 2031
DATE 08.31.20

This permit is for the addition only. See HCP 202005451 for DADU Permit



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ELEVATIONS

3

PROJECT 2031
DATE 08.31.20

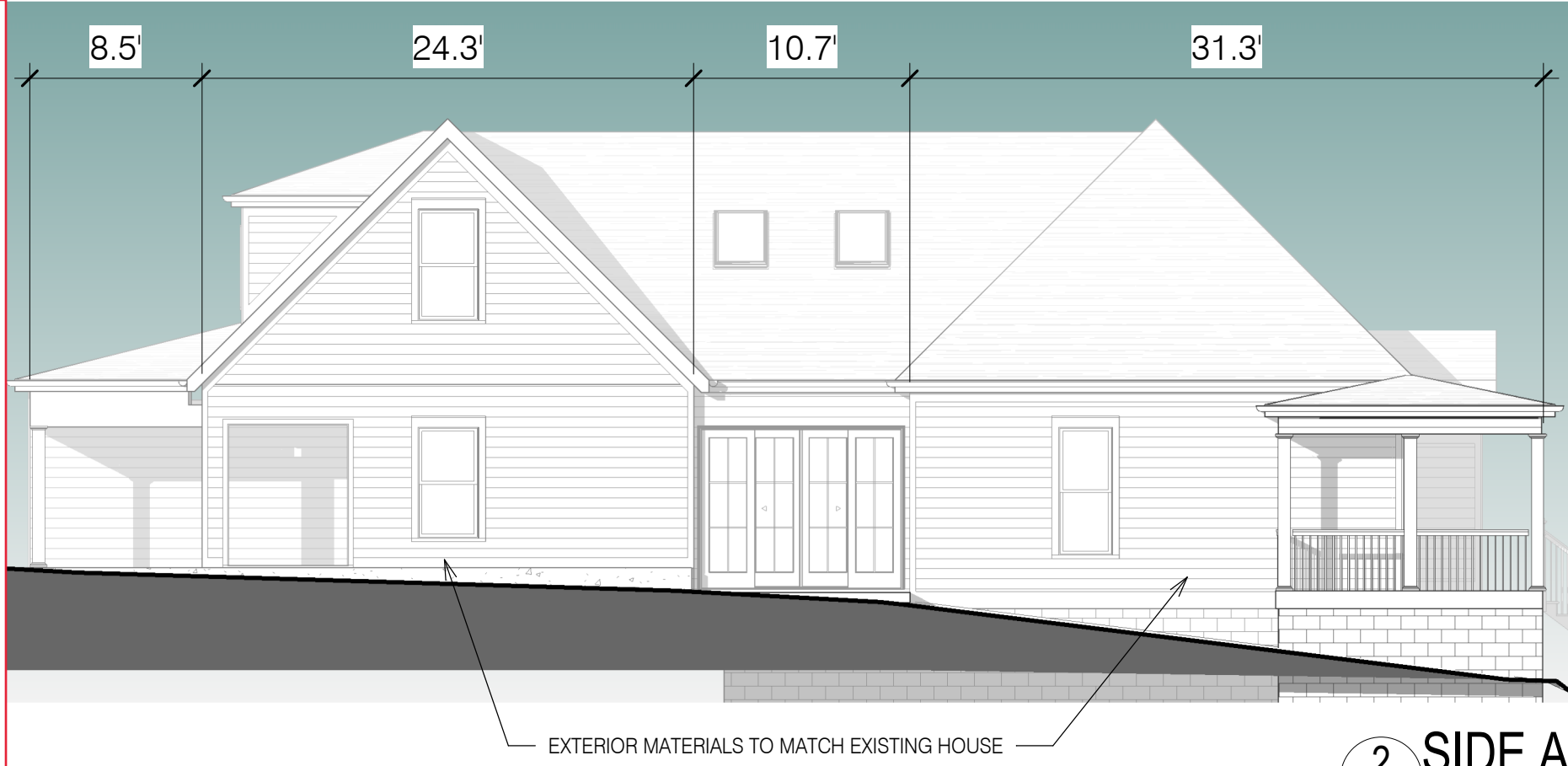
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8. Alteration of original windows sizes is considered partial demolition and must be reviewed by the MHZC.
9. HVAC/Mechanical/Utility vents, pipes, lines, and all associated components, condensers or boxes shall be located behind the midpoint of the structure on a non-street facade.
10. For non-masonry buildings, siding and trim shall be wood or smooth-faced, cement-fiberboard (e.g.: Hardiplank). If siding exposure is not matched to that of the existing house, then it shall have a maximum reveal of five (5) inches.
11. For non-masonry buildings, 4 inches (nominal) wood corner-boards are required at the face of each exposed corner.

MHZC INSPECTIONS & FINAL APPROVALS

CALL 862-7970 FOR QUESTIONS AND TO SCHEDULE INSPECTIONS

1. Please refer to notes on page 1.
2. Staff must approve the construction progress at the following points:
 - a. After the building footprint has been field staked
 - b. After the foundation wall has been constructed
 - c. After the rough framing has been completed
3. The following must be submitted for final approval before purchase:
 - a. Windows and doors
 - b. Roof color
 - c. Rear Porch floor material
 - d. Driveway material

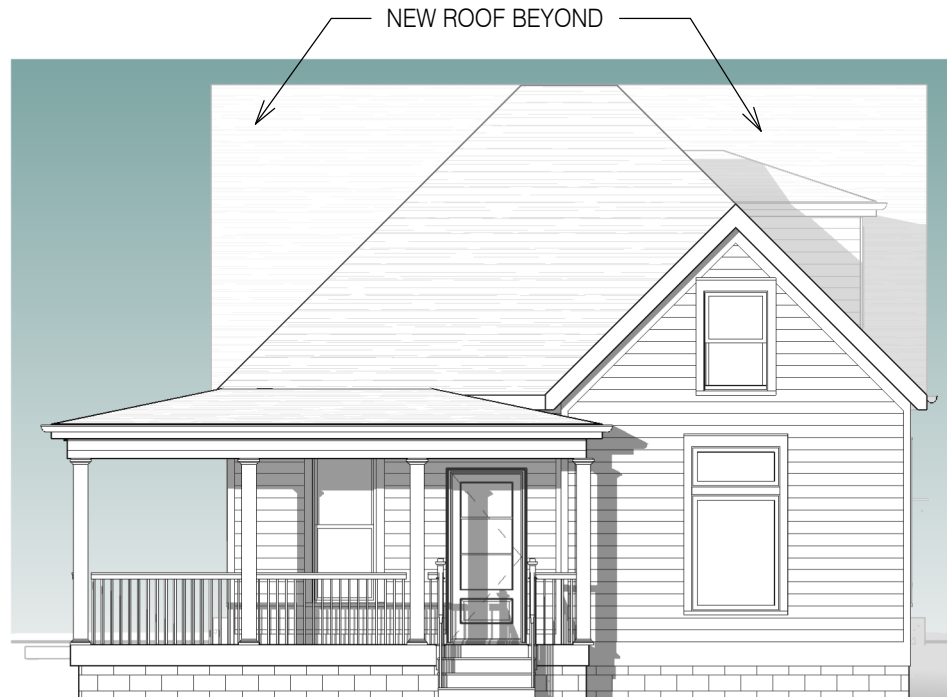


2 SIDE A
3 1/8" = 1'-0"



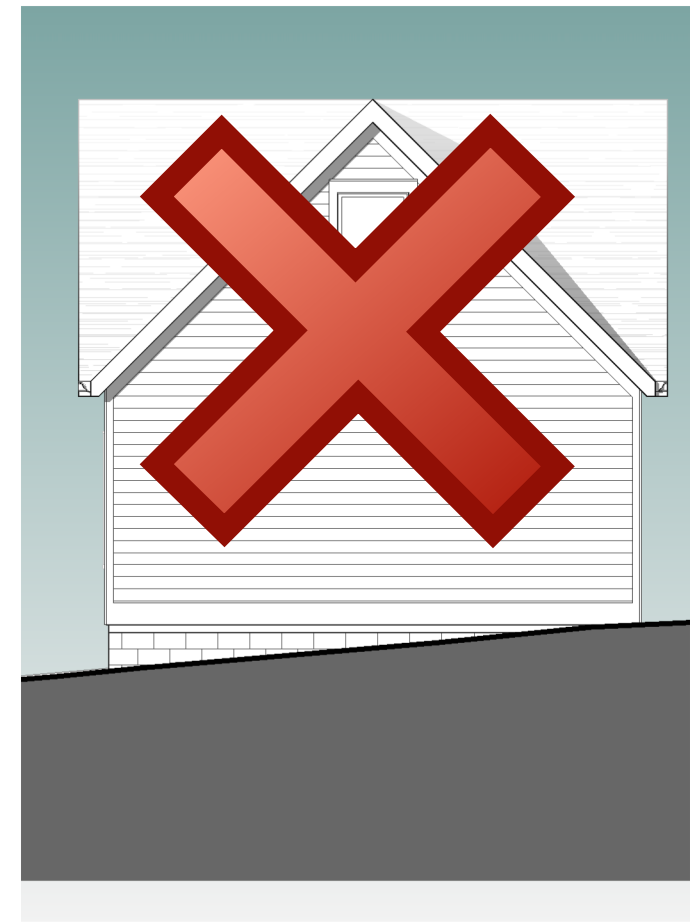
Windows may be different as construction. Ok because on rear facade. MB 1/25/2021

BACK
3 1/8" = 1'-0"



1 FRONT
3 1/8" = 1'-0"

This permit is for the addition only. See HCP 202005451 for DADU Permit



3 SIDE B
4 1/8" = 1'-0"

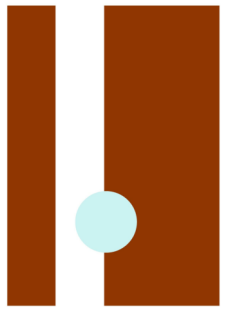
MHZC NOTES; CALL (615) 862-7970 FOR QUESTIONS

1. Structure to be constructed in accordance with attached scaled site plan and elevations. Any deviation from the approved plans could result in **changes being reversed** to reflect the approved drawings. Any alterations, whether or not approved by other Metro Departments, must be communicated to MHZC for a revision of the permit prior to construction or material purchase.
2. All measurements and relationships of existing conditions and new construction shall be field checked for accuracy with approved plans at the responsibility of the applicant. Inaccuracies or differences should be reported to MHZC staff prior to continuing with the project.
3. Exterior finish materials shall be trim grade (smooth and square). Stud wall lumber or embossed wood grain is not appropriate.
4. Windows shall be single-light or fully simulated, divided light sashes. Muntins are to be factory installed with an exterior muntin, interior muntin and a spacer bar within the double paned-glass. Snap-in or between the glass muntins are never appropriate. Double and triple windows shall have 4" to 6" mullions between.
5. Four (4) inch (nominal) wood casings are required around doors, windows and vents within clapboard walls. Windows on clapboard structures shall not have brick-mold.
6. Removal all of the cladding, windows, doors and roofing on a contributing house is considered partial demolition and must be reviewed by the MHZC. Removal of one of these items alone, in a neighborhood conservation zoning overlay, is not reviewed.
7. Retention of original casings and replacement of just window sashes is encouraged where window replacement is necessary.
8. Alteration of original windows sizes is considered partial demolition and must be reviewed by the MHZC.
9. HVAC/Mechanical/Utility vents, pipes, lines, and all associated components, condensers or boxes shall be located behind the midpoint of the structure on a non-street facade.
10. For non-masonry buildings, siding and trim shall be wood or smooth-faced, cement-fiberboard (e.g.: Hardiplank). If siding exposure is not matched to that of the existing house, then it shall have a maximum reveal of five (5) inches.
11. For non-masonry buildings, 4 inches (nominal) wood corner-boards are required at the face of each exposed corner.

MHZC INSPECTIONS & FINAL APPROVALS

CALL 862-7970 FOR QUESTIONS AND TO SCHEDULE INSPECTIONS

1. Please refer to notes on page 1.
2. Staff must approve the construction progress at the following points:
 - a. After the building footprint has been field staked
 - b. After the foundation wall has been constructed
 - c. After the rough framing has been completed
3. The following must be submitted for final approval before purchase:
 - a. Windows and doors
 - b. Roof color
 - c. Rear Porch floor material
 - d. Driveway material



S. MITCHELL
HODGE
ARCHITECTURE

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Nashville, TN 37212
(615)260-0919
mitchhodge@hotmail.com

RENOVATIONS AND ADDITIONS
1112 BOSCOBEL STREET
NASHVILLE, TN 37206

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ELEVATIONS

4

PROJECT 2031
DATE 08.31.20



3869662
3869662

METRO HISTORIC ZONING COMMISSION

Sunnyside at Sevier Park
3000 Granny White Pike
Nashville TN 37204
(615) 862-7970
historicalcommission@nashville.gov

HISTORICAL COMMISSION PERMIT - 2020055451

Entered on: 03-Sep-2020

Site Address

1112 BOSCOBEL ST
NASHVILLE TN, 37206

Historic District: Lockeland Springs-East End

Parcel Owner

JONES, DEREK G
4012 ETHAN AVE
MOUNT JULIET, TN 37122

Purpose: Construct Detached Accessory Dwelling Unit. See HCP T2020055431 for Addition permit.

CLADDING & TRIM - All/any trim, railings, vents and associated type elements are to be wood or cement fiberboard. Clad material is not approved. Wood or cement fiberboard shall be a smooth face material void of any simulated wood grain pattern or rough, unfinished appearance. All exposed exterior lumber should be grade number #1 or #2. Lower grade lumber is unsuitable for exterior work.

WINDOWS - Windows on clapboard structures shall not have brick-mold and shall have 4" nominal wood casings.

DOORS - Doors on clapboard structures shall not have brick-mold and shall have 4" nominal wood casings.

MHZC Staff may have added notes to submitted drawings that are a part of this permit. Any substitutions or deviation from the approved work requires further review and approval by the MHZC PRIOR to work being undertaken or materials being purchased.

All measurements and relationships of existing conditions and new construction shall be field checked for accuracy with approved plans at the responsibility of the applicant. Inaccuracies or differences should be reported to MHZC staff prior to continuing with the project.

The work items listed are approved in accordance with the adopted design guidelines and are NOT applicable beyond the unique facts and circumstances of this particular application.

This permit becomes invalid TWELVE months after issue date. Expired permits must be reissued prior to work being undertaken.

THIS IS NOT A BUILDING PERMIT nor does it permit any particular type of use. No work can begin without the appropriate review and approval by the Metropolitan Department of Codes Administration: Howard School Building Campus (615) 862-6500.

APPLICANT: Mitch Hodge, AIA

Activities to be Completed - Call: (615) 862-7970 or Email: historicalcommission@nashville.gov

REVIEWS REQUIRED:

ROOFING COLOR APPROVAL PRIOR TO INSTALL - HZ

WINDOWS APPROVAL PRIOR TO INSTALL - HZ

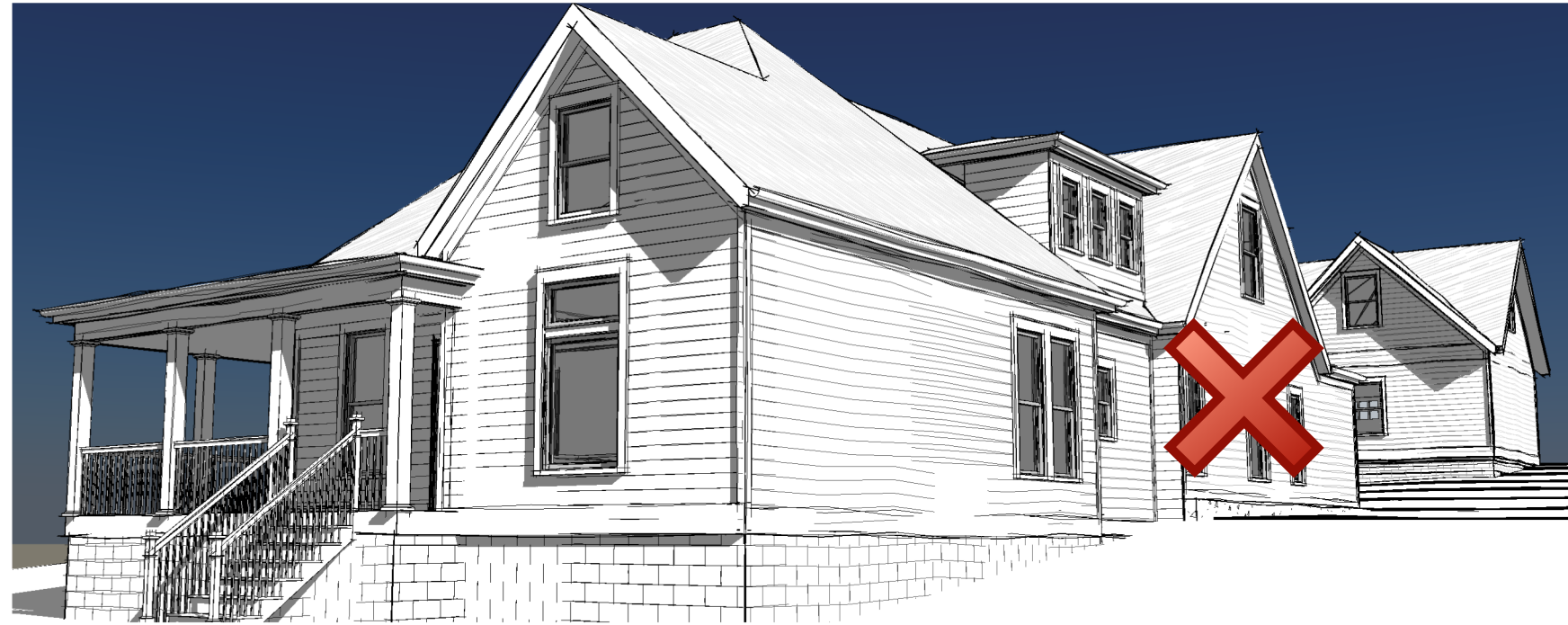
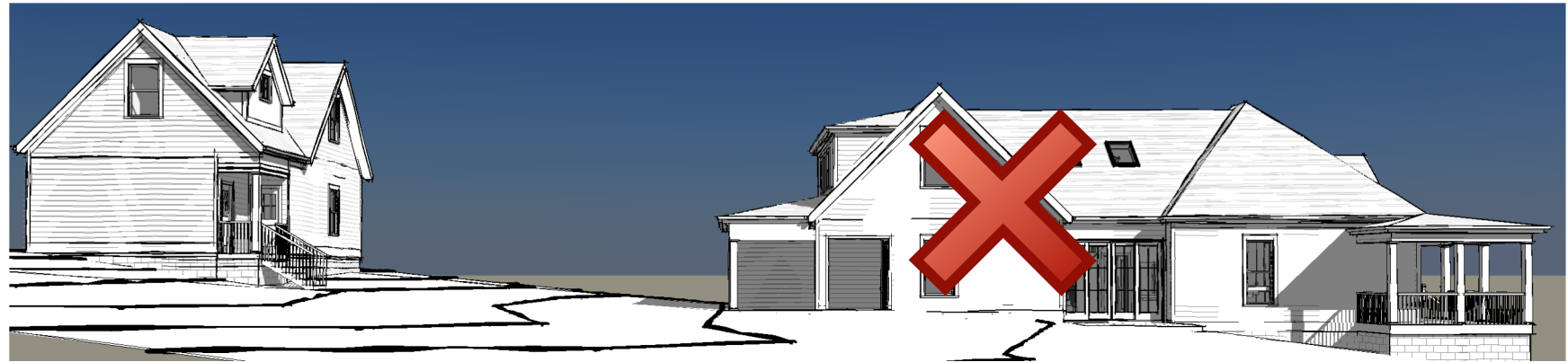
DOOR APPROVAL PRIOR TO INSTALL - HZ
HVAC LOCATION - HZ

INSPECTIONS REQUIRED:

FIELD STAKING INSPECTION - HZ
FOUNDATION CHECK INSPECTION - HZ
ROUGH FRAMING INSPECTION - HZ
PROGRESS INSPECTION – HZ
FINAL INSPECTION - HZ

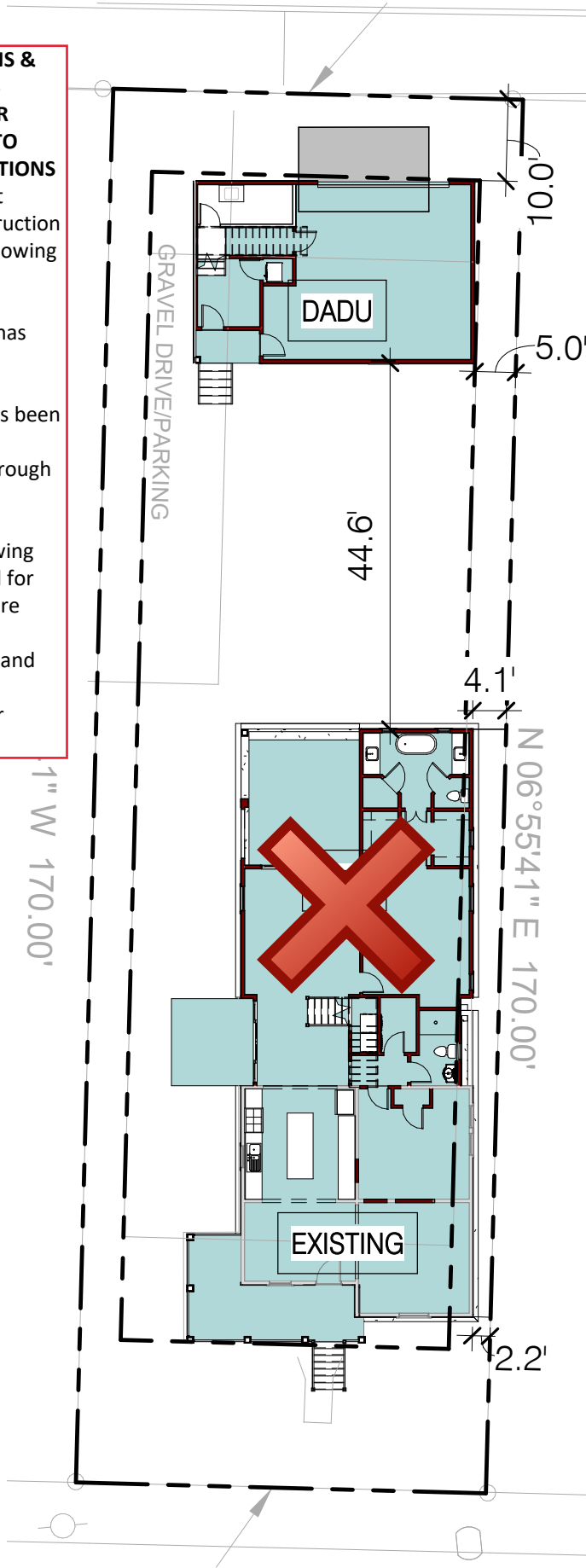
Issued Date: 17-Sep-2020

Issued By: Melissa Baldock



MHZC INSPECTIONS & FINAL APPROVALS
CALL 862-7970 FOR QUESTIONS AND TO SCHEDULE INSPECTIONS

1. Staff must approve the construction progress at the following points:
 - a. After the building footprint has been field staked
 - b. After the foundation wall has been constructed
 - c. After the rough framing has been completed
2. The following must be submitted for final approval before purchase:
 - a. Windows and doors
 - b. Roof color



MHZC NOTES; CALL 862-7970 IF QUESTIONS
 Structure to be constructed in accordance with attached scaled site plan and elevations. Any deviation from the approved plans could result in **changes being reversed** to reflect the approved drawings. Any alterations, whether or not approved by other Metro Departments, must be communicated to MHZC for a revision of the permit prior to construction or material purchase.

1. All measurements and relationships of existing conditions and new construction shall be field checked for accuracy with approved plans at the responsibility of the applicant. Inaccuracies or differences should be reported to MHZC staff prior to continuing with the project.
2. This permit does not permit use.
3. Exterior finish materials shall be trim grade (smooth and square). Stud wall lumber or embossed wood grain is not appropriate.
4. Windows shall be single-light or fully simulated, divided light sashes. Muntins are to be factory installed with an exterior muntin, interior muntin and a spacer bar within the double paned-glass. Snap-in or between the glass muntins are never appropriate. Double and triple windows shall have 4" to 6" mullions between.
5. Four (4) inch (nominal) wood casings are required around doors, windows and vents within clapboard walls. Windows on clapboard structures shall not have brick-mold.
6. For non-masonry buildings, siding and trim shall be wood or smooth-faced, cement-fiberboard (e.g.: Hardiplank). Siding exposure shall have a maximum reveal of five (5) inches.
7. Four inch (nominal) wood corner-boards are required at the face of each exposed corner

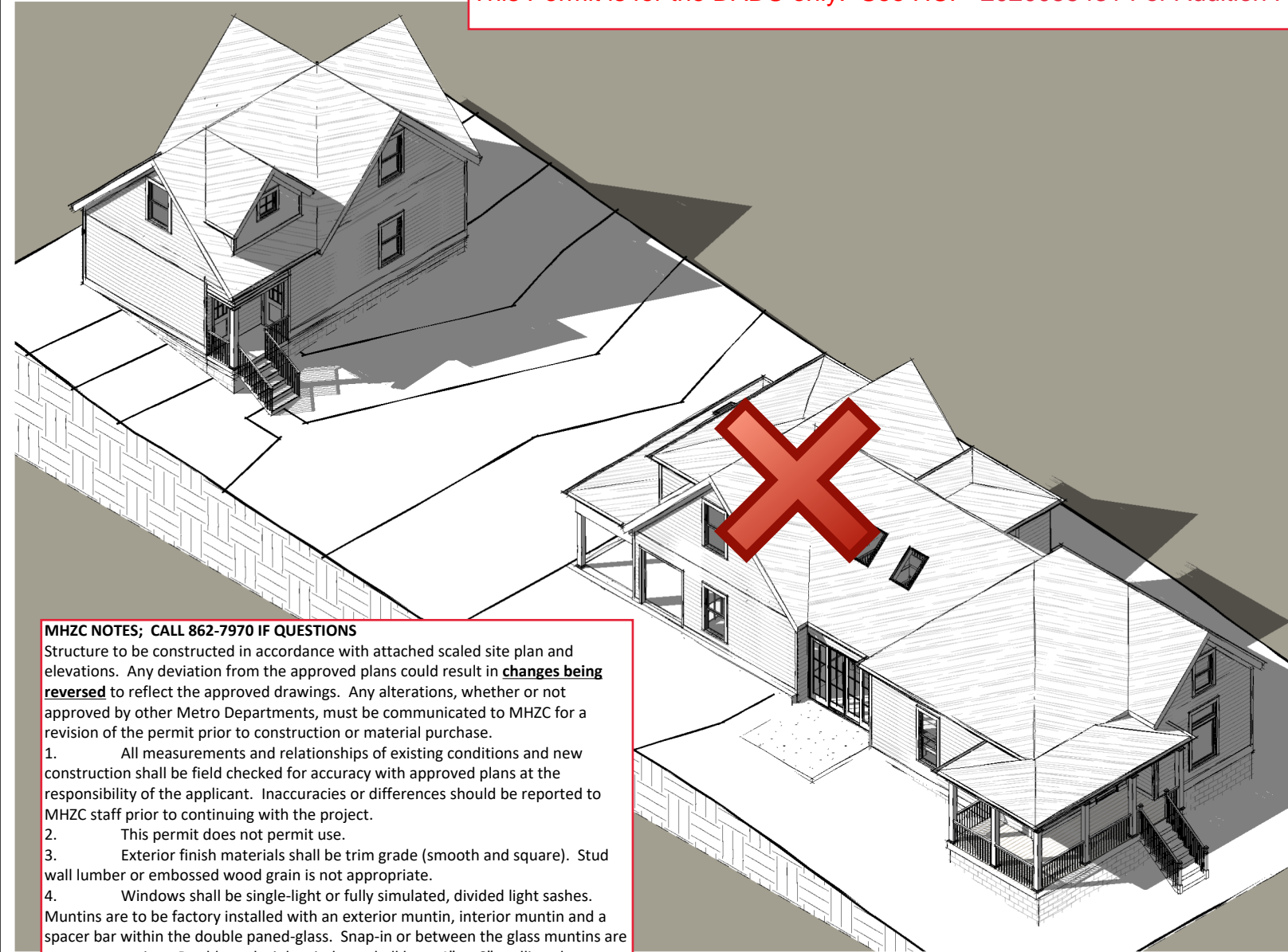
HELL GE TURE
 Lane 87212 919 mail.com

RENOV 1112 E NASHVILLE, TN 37200

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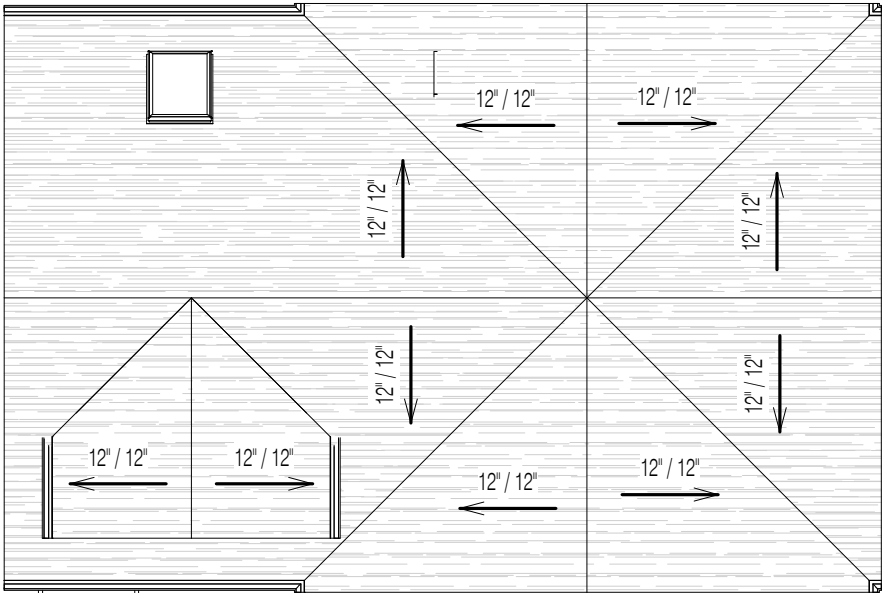
3
0
SITE PLAN
 1" = 20'-0"
 PROJECT 2031
 DATE 08.31.20

This Permit is for the DADU only. See HCP 2020055431 For Addition Permit

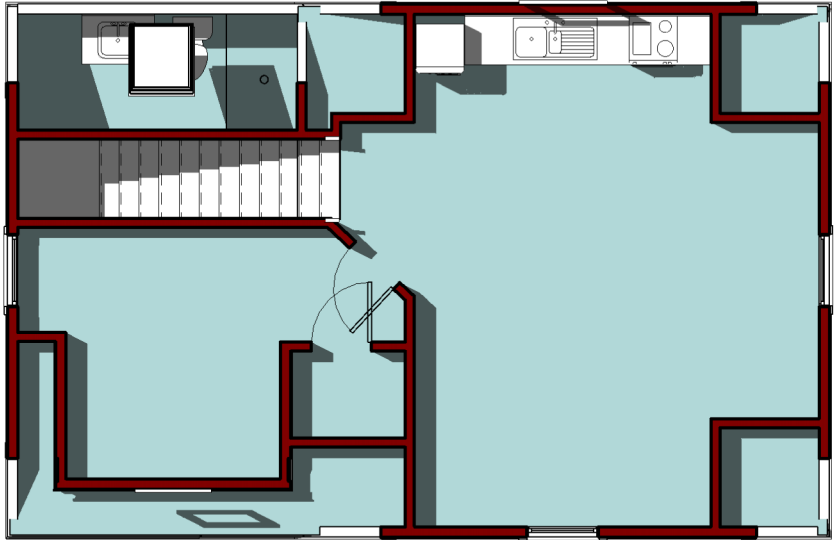


- MHZC NOTES; CALL 862-7970 IF QUESTIONS**
 Structure to be constructed in accordance with attached scaled site plan and elevations. Any deviation from the approved plans could result in **changes being reversed** to reflect the approved drawings. Any alterations, whether or not approved by other Metro Departments, must be communicated to MHZC for a revision of the permit prior to construction or material purchase.
- All measurements and relationships of existing conditions and new construction shall be field checked for accuracy with approved plans at the responsibility of the applicant. Inaccuracies or differences should be reported to MHZC staff prior to continuing with the project.
 - This permit does not permit use.
 - Exterior finish materials shall be trim grade (smooth and square). Stud wall lumber or embossed wood grain is not appropriate.
 - Windows shall be single-light or fully simulated, divided light sashes. Muntins are to be factory installed with an exterior muntin, interior muntin and a spacer bar within the double paned-glass. Snap-in or between the glass muntins are never appropriate. Double and triple windows shall have 4" to 6" mullions between.
 - Four (4) inch (nominal) wood casings are required around doors, windows and vents within clapboard walls. Windows on clapboard structures shall not have brick-mold.
 - For non-masonry buildings, siding and trim shall be wood or smooth-faced, cement-fiberboard (e.g.: Hardiplank). Siding exposure shall have a maximum reveal of five (5) inches.
 - Four inch (nominal) wood corner-boards are required at the face of each exposed corner

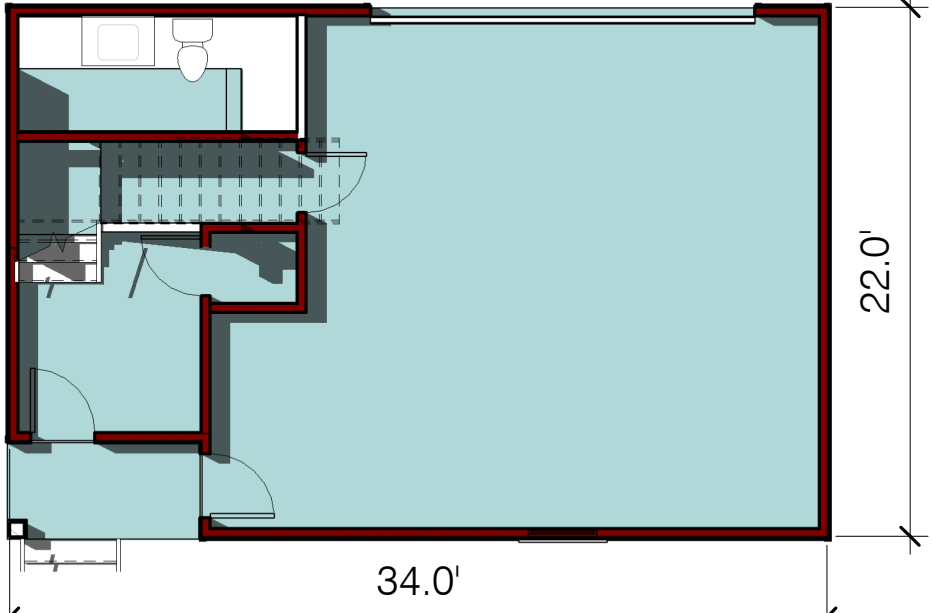
- MHZC INSPECTIONS & FINAL APPROVALS**
CALL 862-7970 FOR QUESTIONS AND TO SCHEDULE INSPECTIONS
- Staff must approve the construction progress at the following points:
 - After the building footprint has been field staked
 - After the foundation wall has been constructed
 - After the rough framing has been completed
 - The following must be submitted for final approval before purchase:
 - Windows and doors
 - Roof color



3 DADU - ROOF
 1/8" = 1'-0"



2 DADU - SECOND FLOOR
 1/8" = 1'-0"



1 DADU - FIRST FLOOR
 1/8" = 1'-0"

S. MITCHELL HODGE ARCHITECTURE
 1900 Cedar Lane
 Nashville, TN 37212
 (615)260-0919
 mitchhodge@hotmail.com

RENOVATIONS AND ADDITIONS
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 NASHVILLE, TN 37206

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DADU PLANS
2
 PROJECT 2031
 DATE 08.31.20

This Permit is for the DADU only. See HCP 2020055431 For Addition Permit



MHZC NOTES; CALL 862-7970 IF QUESTIONS

Structure to be constructed in accordance with attached scaled site plan and elevations. Any deviation from the approved plans could result in **changes being reversed** to reflect the approved drawings. Any alterations, whether or not approved by other Metro Departments, must be communicated to MHZC for a revision of the permit prior to construction or material purchase.

1. All measurements and relationships of existing conditions and new construction shall be field checked for accuracy with approved plans at the responsibility of the applicant. Inaccuracies or differences should be reported to MHZC staff prior to continuing with the project.
2. This permit does not permit use.
3. Exterior finish materials shall be trim grade (smooth and square). Stud wall lumber or embossed wood grain is not appropriate.
4. Windows shall be single-light or fully simulated, divided light sashes. Muntins are to be factory installed with an exterior muntin, interior muntin and a spacer bar within the double paned-glass. Snap-in or between the glass muntins are never appropriate. Double and triple windows shall have 4" to 6" mullions between.
5. Four (4) inch (nominal) wood casings are required around doors, windows and vents within clapboard walls. Windows on clapboard structures shall not have brick-mold.
6. For non-masonry buildings, siding and trim shall be wood or smooth-faced, cement-fiberboard (e.g.: Hardiplank). Siding exposure shall have a maximum reveal of five (5) inches.
7. Four inch (nominal) wood corner-boards are required at the face of each exposed corner

MHZC INSPECTIONS & FINAL APPROVALS

CALL 862-7970 FOR QUESTIONS AND TO SCHEDULE INSPECTIONS

1. Staff must approve the construction progress at the following points:
 - a. After the building footprint has been field staked
 - b. After the foundation wall has been constructed
 - c. After the rough framing has been completed
2. The following must be submitted for final approval before purchase:
 - a. Windows and doors
 - b. Roof color



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NASHVILLE, TN 37206

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ELEVATIONS

3

PROJECT 2031
DATE 08.31.20

MHZC NOTES; CALL 862-7970 IF QUESTIONS

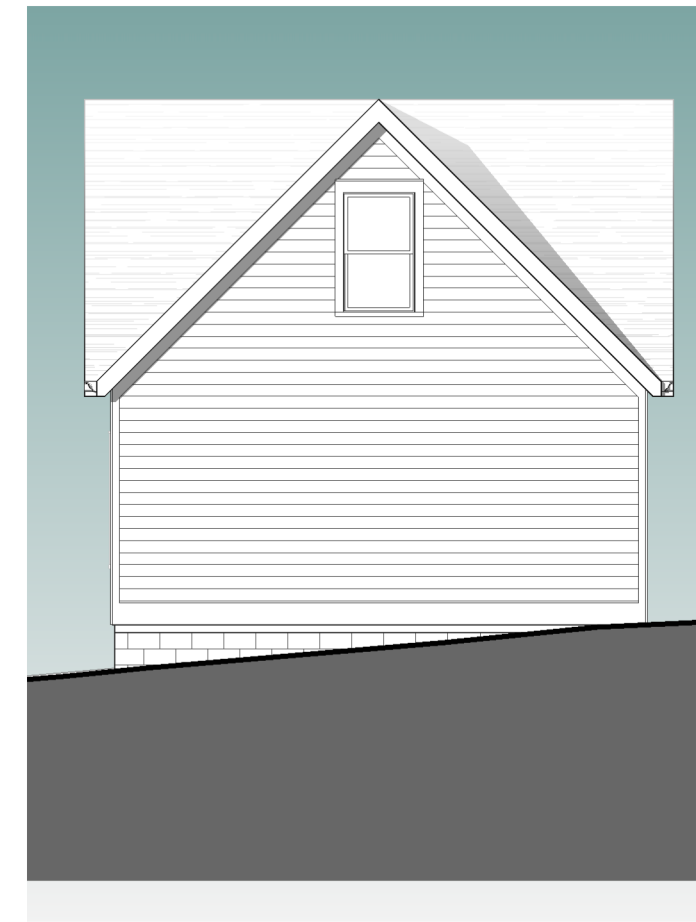
Structure to be constructed in accordance with attached scaled site plan and elevations. Any deviation from the approved plans could result in **changes being reversed** to reflect the approved drawings. Any alterations, whether or not approved by other Metro Departments, must be communicated to MHZC for a revision of the permit prior to construction or material purchase.

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5. Four (4) inch (nominal) wood casings are required around doors, windows and vents within clapboard walls. Windows on clapboard structures shall not have brick-mold.
6. For non-masonry buildings, siding and trim shall be wood or smooth-faced, cement-fiberboard (e.g.: Hardiplank). Siding exposure shall have a maximum reveal of five (5) inches.
7. Four inch (nominal) wood corner-boards are required at the face of each exposed corner

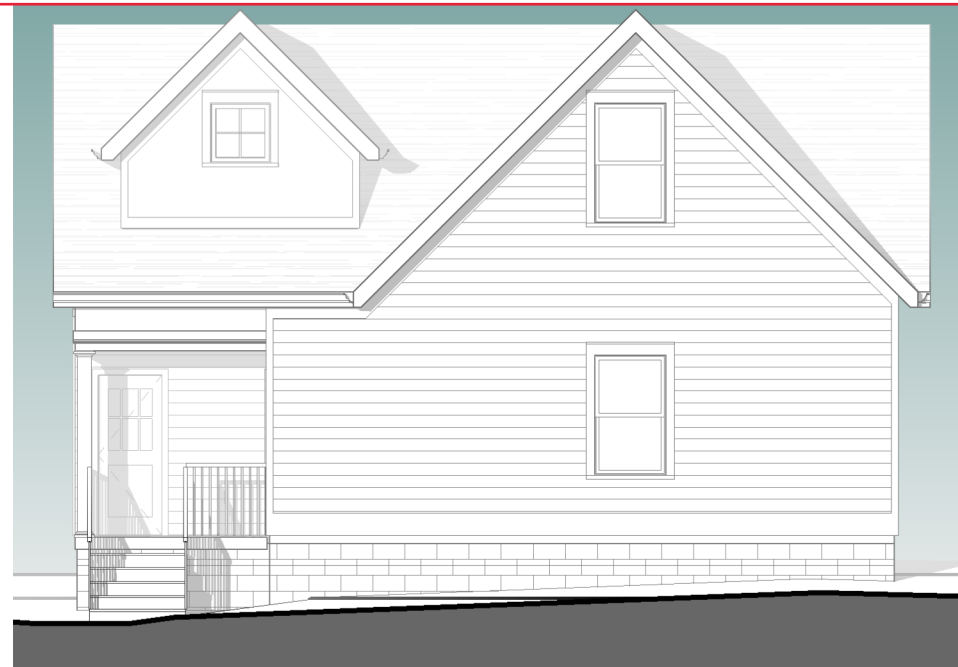
MHZC INSPECTIONS & FINAL APPROVALS

CALL 862-7970 FOR QUESTIONS AND TO SCHEDULE INSPECTIONS

1. Staff must approve the construction progress at the following points:
 - a. After the building footprint has been field staked
 - b. After the foundation wall has been constructed
 - c. After the rough framing has been completed
2. The following must be submitted for final approval before purchase:
 - a. Windows and doors
 - b. Roof color



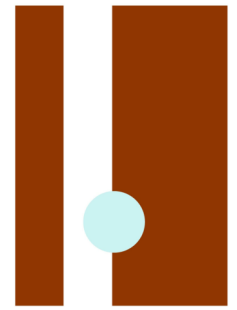
3 SIDE B
4 1/8" = 1'-0"



2 DADU- YARD
4 1/8" = 1'-0"



1 DADU - ALLEY
4 1/8" = 1'-0"



S. MITCHELL
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ARCHITECTURE

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RENOVATIONS AND ADDITIONS
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NASHVILLE, TN 37206

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ELEVATIONS

4

PROJECT 2031
DATE 08.31.20



3970224
3970224

METRO HISTORIC ZONING COMMISSION

Sunnyside at Sevier Park
3000 Granny White Pike
Nashville TN 37204
(615) 862-7970
historicalcommission@nashville.gov

HISTORICAL COMMISSION PERMIT - 2021024465

Entered on: 20-Apr-2021

Site Address

1112 BOSCOBEL ST
NASHVILLE TN, 37206

Historic District: Lockeland Springs-East End

Parcel Owner

BRITTAIRO INVESTMENTS LLC & JAC INVESTMENT HOMES, LLC
4012 ETHAN AVE
MOUNT JULIET, TN 37122

Purpose: Reconstruct house and previously approved addition. House demolished in 2021 wind storm. Reconstruction must match all dimensions and details in these plans exactly.

CLADDING & TRIM

All/any trim, railings, vents and associated type elements are to be wood or cement fiberboard. Clad material is not approved. Wood or cement fiberboard shall be a smooth face material void of any simulated wood grain pattern or rough, unfinished appearance. All exposed exterior lumber should be grade number #1 or #2. Lower grade lumber is unsuitable for exterior work.

WINDOWS

Windows on clapboard structures shall not have brick-mold and shall have 4" nominal wood casings.

DOORS

Doors on clapboard structures shall not have brick-mold and shall have 4" nominal wood casings.

HVAC

HVAC/Mechanical/Utility vents, pipes, lines, and all associated components, condensers or boxes shall be located behind the midpoint of the structure on a non-street façade.

GENERAL

The finished floor height shall be match the approved plans, to be verified by MHZC staff in the field.

MHZC Staff may have added notes to submitted drawings that are a part of this permit. Any substitutions or deviation from the approved work requires further review and approval by the MHZC PRIOR to work being undertaken or materials being purchased.

All measurements and relationships of existing conditions and new construction shall be field checked for accuracy with approved plans at the responsibility of the applicant. Inaccuracies or differences should be reported to MHZC staff prior to continuing with the project.

The work items listed are approved in accordance with the adopted design guidelines and are NOT applicable beyond the unique facts and circumstances of this particular application.

This permit becomes invalid TWELVE months after issue date.Expired permits must be reissued prior to work being undertaken.

THIS IS NOT A BUILDING PERMIT nor does it permit any particular type of use. No work can begin without the appropriate review and approval by the Metropolitan Department of Codes Administration: Howard School Building Campus (615) 862-6500.

APPLICANT: James Crockett II

Activities to be Completed - Call: (615) 862-7970 or Email: historicalcommission@nashville.gov

REVIEWS REQUIRED:

ROOFING COLOR APPROVAL PRIOR TO INSTALL - HZ

WINDOWS APPROVAL PRIOR TO INSTALL - HZ

DOOR APPROVAL PRIOR TO INSTALL - HZ

MASONRY APPROVAL PRIOR TO INSTALL - HZ

HVAC LOCATION - HZ

INSPECTIONS REQUIRED:

FIELD STAKING INSPECTION - HZ

FOUNDATION CHECK INSPECTION - HZ

ROUGH FRAMING INSPECTION - HZ

PROGRESS INSPECTION - HZ

FINAL INSPECTION - HZ

Issued Date: 20-Apr-2021

Issued By: Melissa Baldock



c. 1968 Photo of 1112 Boscobel



1987 photo of 1112 Boscobel



c. 2018 photo of 1112 Boscobel



Pre March 25, 2021, photo of the house under renovation

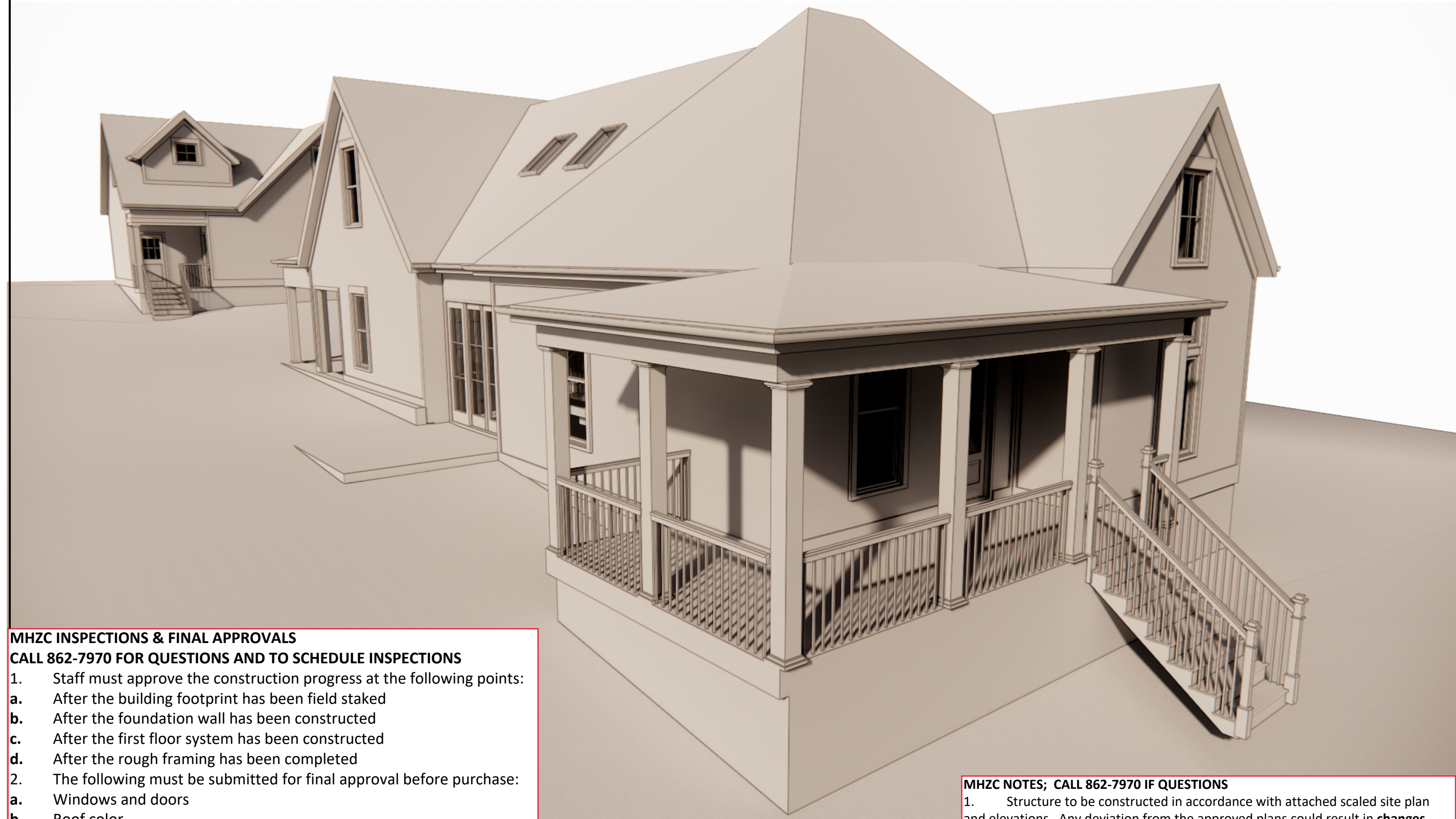
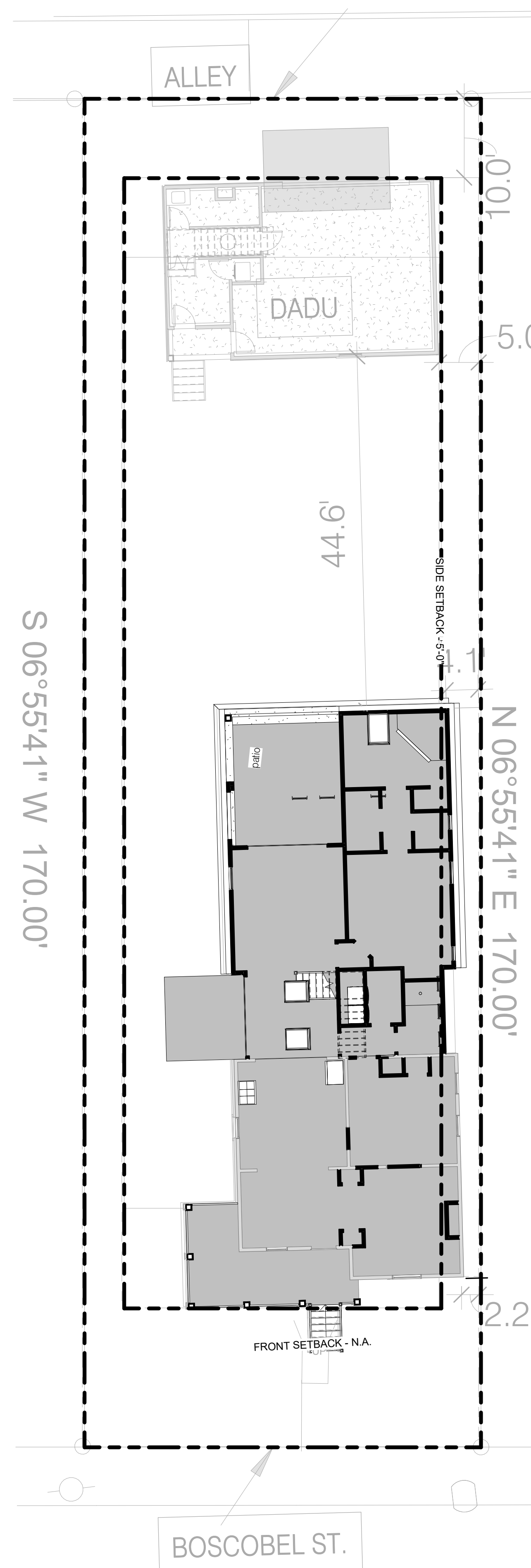


Photo taken 3/26/2021 the day after the wind storm from Boscobel Street



Photo taken 3/26/2021 the day after the wind storm from the rear

1112 BOSCOBEL STREET

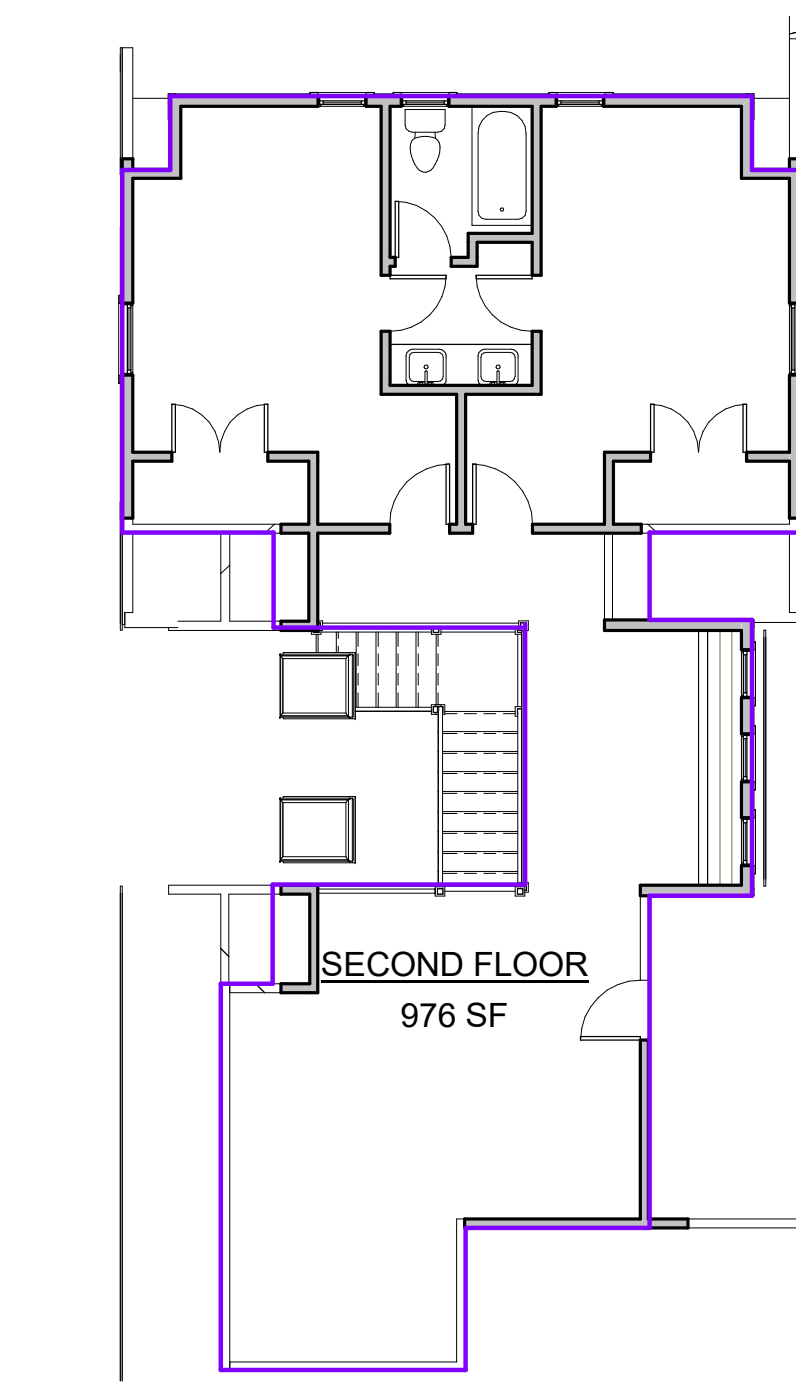


MHZA INSPECTIONS & FINAL APPROVALS
CALL 862-7970 FOR QUESTIONS AND TO SCHEDULE INSPECTIONS

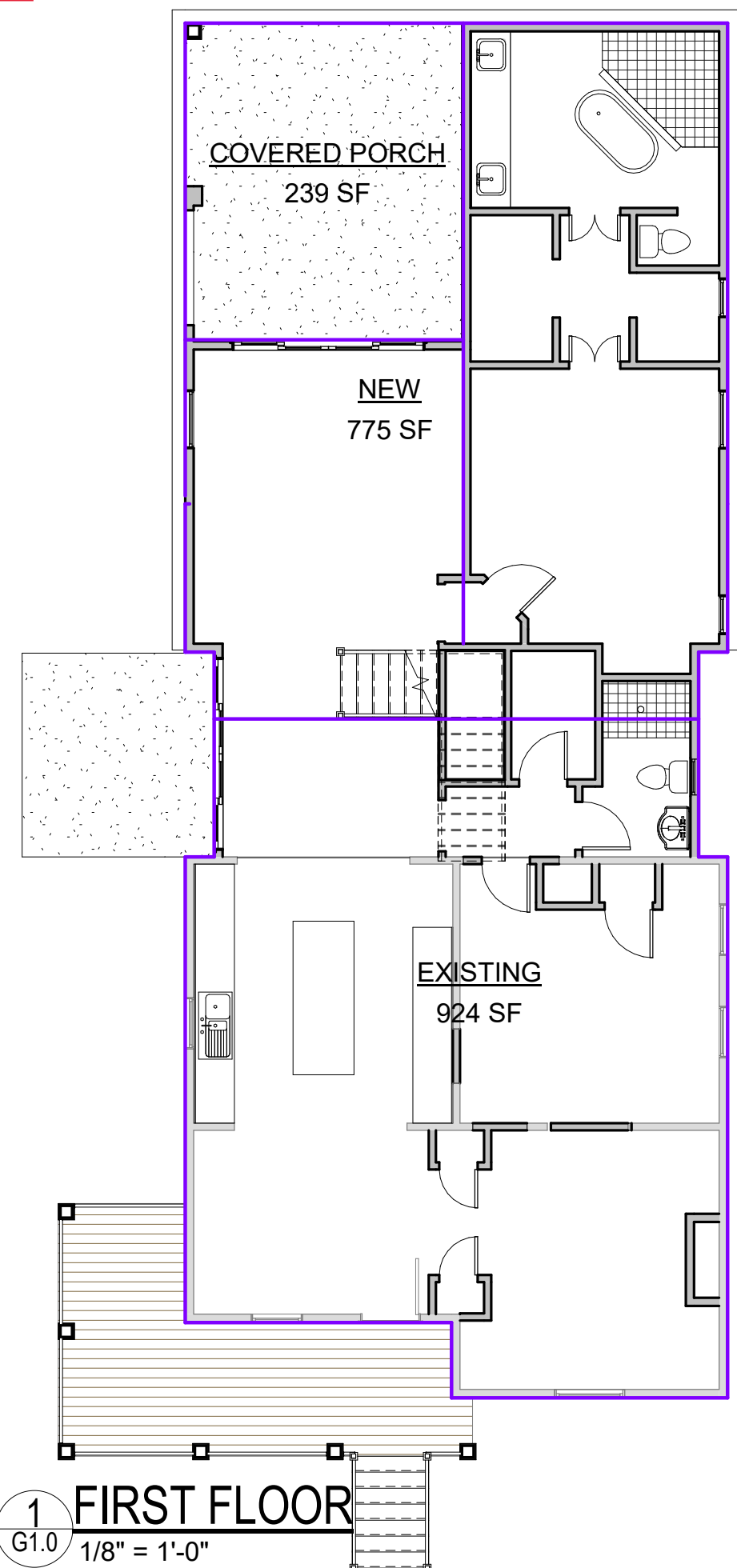
- Staff must approve the construction progress at the following points:
 - After the building footprint has been field staked
 - After the foundation wall has been constructed
 - After the first floor system has been constructed
 - After the rough framing has been completed
- The following must be submitted for final approval before purchase:
 - Windows and doors
 - Roof color
 - Masonry

MHZA NOTES; CALL 862-7970 IF QUESTIONS

- Structure to be constructed in accordance with attached scaled site plan and elevations. Any deviation from the approved plans could result in **changes being reversed** to reflect the approved drawings. Any alterations, whether or not approved by other Metro Departments, must be communicated to MHZA for a revision of the permit prior to construction or material purchase.
- All measurements and relationships of existing conditions and new construction shall be field checked for accuracy with approved plans at the responsibility of the applicant. Inaccuracies or differences should be reported to MHZA staff prior to continuing with the project.
- This permit does not permit use of:
 - Exterior finish materials shall be trim grade (smooth and square). Stud wall lumber or embossed wood grain is not appropriate.
 - Windows shall be single-light or fully simulated, divided light sashes. Muntins are to be factory installed with an exterior muntin, interior muntin and a spacer bar within the double paned-glass. Snap-in or between the glass muntins are never appropriate. Double and triple windows shall have 4" to 6" mullions between.
 - Four (4) inch (nominal) wood casings are required around doors, windows and vents within clapboard walls. Windows on clapboard structures shall not have brick-mold.
 - The HVAC shall be located behind the house or on either side, beyond the midpoint of the house, and utility meters shall be located on the side of the building, within 5' of the front corner. Alternative mechanical and utility locations must be approved prior to an administrative sign-off on building permit(s).
 - For non-masonry buildings, siding and trim shall be wood or smooth-faced, cement-fiberboard (e.g.: Hardiplank). Siding exposure shall have a maximum reveal of five (5) inches.
 - Four inch (nominal) wood corner-boards are required at the face of each exposed corner
 - The finished floor height shall be consistent with the finished floor heights of the adjacent historic houses, to be verified by MHZA staff in the field.
 - The front setback should be consistent with the buildings to either side, to be verified by MHZA staff in the field.



3 SECOND FLOOR
 G1.0 1/8" = 1'-0"



1 FIRST FLOOR
 G1.0 1/8" = 1'-0"

NAME	AREA
1-FIRST FLOOR	
EXISTING	924 SF
NEW	775 SF
	1699 SF
2-SECOND FLOOR	
SECOND FLOOR	976 SF
	976 SF
	2675 SF
1-FIRST FLOOR	
COVERED PORCH	239 SF
	239 SF
	239 SF

2 GENERAL NOTES G1.0 1/2" = 1'-0"

- JOB SITE SAFETY IS SOLELY THE RESPONSIBLE OF THE CONTRACTOR.
- INVESTIGATE FIELD CONDITIONS AND ASCERTAIN THAT WORK IS FEASIBLE AS SHOWN. NOTIFY THE ARCHITECT IMMEDIATELY OF ANY PROBLEMS WITH FIELD CONDITIONS.
- BEFORE COMMENCING WORK, ANALYZE CONTRACT DOCUMENTS AND REPORT IN WRITING ANY DISCREPANCIES DISCOVERED THEREIN. CONTRACTOR SHALL BE RESPONSIBLE TO CORRECT ANY DEFECTIVE WORK CAUSED BY PROCEEDING WHERE INCONSISTENCIES OR DISCREPANCIES ON THE DRAWINGS OCCUR AND A CLARIFICATION FROM THE ARCHITECT IS NOT SOUGHT.
- CONTRACTOR SHALL COMPLY WITH ALL RULES AND REGULATIONS OF AGENCIES HAVING JURISDICTION AND SHALL CONFORM TO ALL CITY, COUNTY, STATE, AND FEDERAL CONSTRUCTION, SAFETY AND SANITARY LAWS, CODES, STATUTES, AND ORDINANCES. ALL FEES TAXES, PERMITS, APPLICATIONS AND PERMITS OF INSPECTION, AND THE FILING OF ALL WORK WITH GOVERNMENTAL AGENCIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL WORK SHALL BE PERFORMED BY SKILLED AND QUALIFIED WORKERS WITH THE BEST PRACTICES OF THE TRADES INVOLVED, AND IN COMPLIANCE WITH BUILDING REGULATIONS AND GOVERNMENTAL LAWS, STATUTES AND ORDINANCES.
- ALL MATERIALS SHALL BE NEW & UNUSED. MANUFACTURED MATERIALS AND EQUIPMENT SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS AND INSTRUCTIONS.
- THESE CONTRACT DOCUMENTS ARE PROVIDED TO THE GENERAL CONTRACTOR ON A DESIGN/BUILD BASIS. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATING MECHANICAL, PLUMBING AND ELECTRICAL ISSUES.
- FRAMING AND FOUNDATION PLANS ARE PROVIDED ON A SCHEMATIC DESIGN BASIS ONLY. GENERAL CONTRACTOR IS RESPONSIBLE FOR STRUCTURAL ENGINEERING.
- NO TOPOGRAPHICAL SURVEY OR EASEMENT INFORMATION IS AVAILABLE. GENERAL CONTRACTOR IS RESPONSIBLE FOR FIELD COORDINATING FINAL FLOOR ELEVATIONS AND SITE GRADING FOR DRAINAGE.

PROJECT INFORMATION:

SCOPE OF WORK: RENOVATIONS AND ADDITIONS TO A SINGLE FAMILY RESIDENCE AND ATTACHED GARAGE.

OWNER:
 JAMES CROCKET/DEREK SMITH
 1112 BOSCOBEL ST.
 NASHVILLE, TN 37206

SETBACKS:
 FRONT - AVG
 SIDE - 5'-0"
 REAR - 15'-0"
 (MHZA APPROVED)

DRAWING INDEX	
NUMBER	SHEET NAME
G1.0	PROJECT DATA, SITE PLAN, INDEX
G1.1	PROJECT VIEWS
A1.1	FLOOR PLANS, DOOR SCHEDULES
A1.2	FLOOR FRAMING SCHEMATIC, ROOF PLAN, AREAS
A2.1	ELEVATIONS
A3.1	BUILDING SECTIONS
A3.2	BUILDING SECTIONS
A4.1	WALL SECTIONS
A4.2	WALL SECTIONS
A6.1	CEILING PLANS

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Additions & Renovations to
1112 BOSCOBEL STREET
 Nashville, TN 37206

PROJECT DATA,
 SITE PLAN,
 INDEX

G1.0

PROJECT : 2031
 DATE: 1-25-21 rev.

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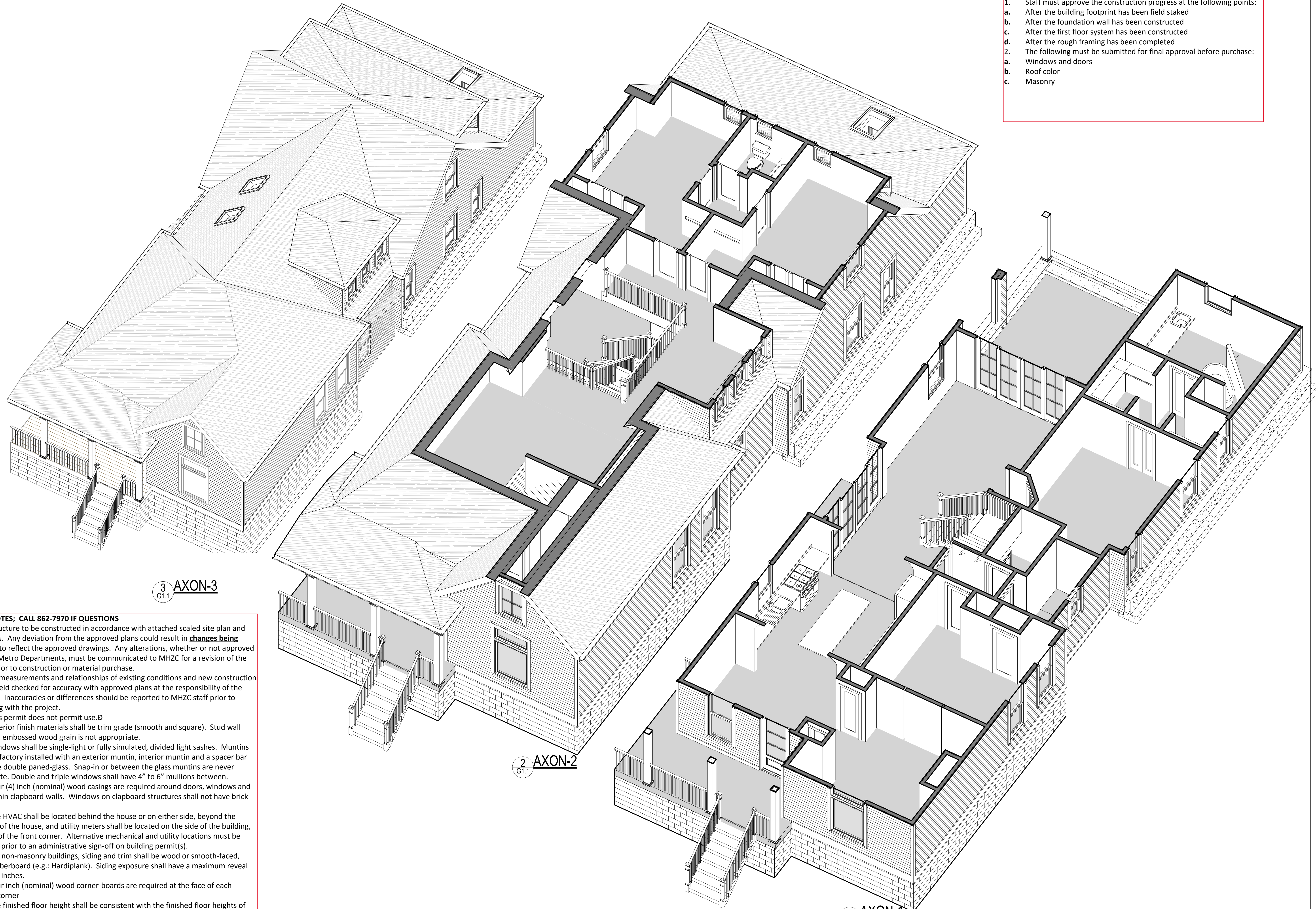
PROJECT VIEWS

G1.1

PROJECT : 2031
DATE : 1-25-21 rev.

MHQC INSPECTIONS & FINAL APPROVALS
CALL 862-7970 FOR QUESTIONS AND TO SCHEDULE INSPECTIONS

- Staff must approve the construction progress at the following points:
 - After the building footprint has been field staked
 - After the foundation wall has been constructed
 - After the first floor system has been constructed
 - After the rough framing has been completed
- The following must be submitted for final approval before purchase:
 - Windows and doors
 - Roof color
 - Masonry



3 AXON-3
G1.1

2 AXON-2
G1.1

1 AXON-1
G1.1

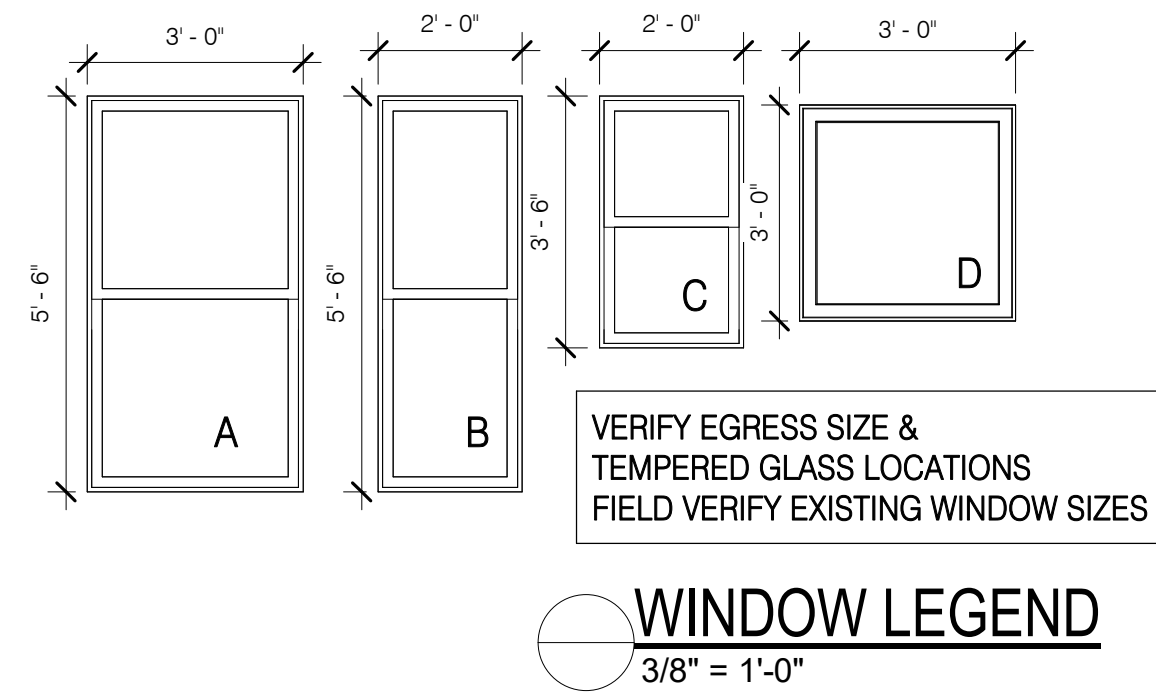
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- Four (4) inch (nominal) wood casings are required around doors, windows and vents within clapboard walls. Windows on clapboard structures shall not have brick-mold.
- The HVAC shall be located behind the house or on either side, beyond the midpoint of the house, and utility meters shall be located on the side of the building, within 5' of the front corner. Alternative mechanical and utility locations must be approved prior to an administrative sign-off on building permit(s).
- For non-masonry buildings, siding and trim shall be wood or smooth-faced, cement-fiberboard (e.g.: Hardiplank). Siding exposure shall have a maximum reveal of five (5) inches.
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WINDOW SCHEDULE					
TAG	SIZE		TYPE	TYPE	COMMENTS
	WIDTH	HEIGHT			
A	3'-0"	5'-6"		DOUBLE HUNG	
4					
B	2'-0"	5'-6"		DOUBLE HUNG	
2					
C	2'-0"	3'-6"		DOUBLE HUNG	
7					
D	3'-0"	3'-0"		FIXED	
1					
SK-1	2'-7 7/16"	3'-11 1/4"			VELUX FIXED SKYLIGHT M06
3					
X1	3'-8"	4'-10"		FIXED	EXISTING, FIELD VERIFY
1					
X1T	3'-8"	1'-8"		FIXED	EXISTING, FIELD VERIFY
1					
X2	2'-8"	6'-4"		DOUBLE HUNG	EXISTING, FIELD VERIFY
4					
X3	2'-8"	4'-2"		FIXED	EXISTING, FIELD VERIFY
1					
Grand total: 24					

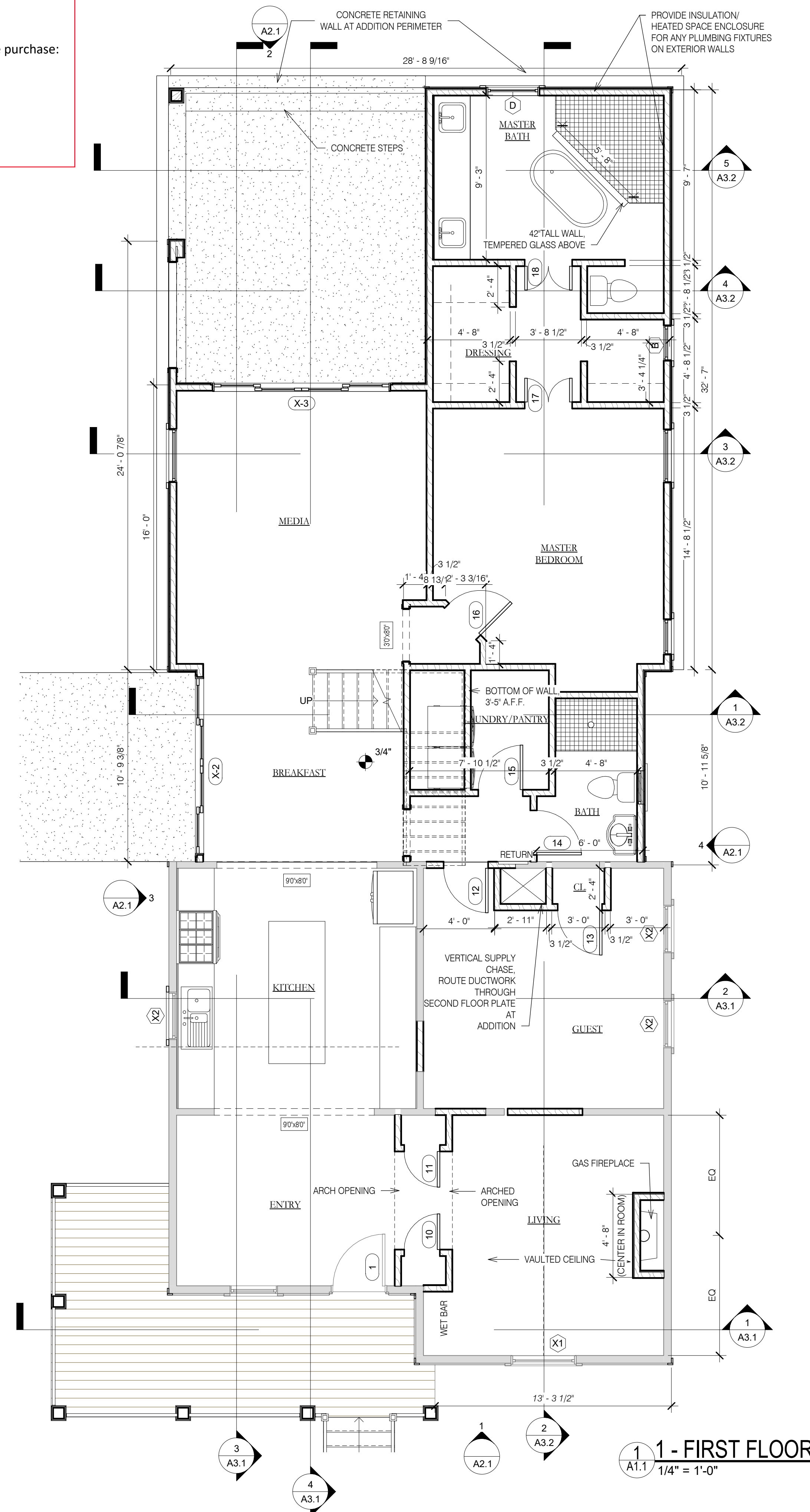
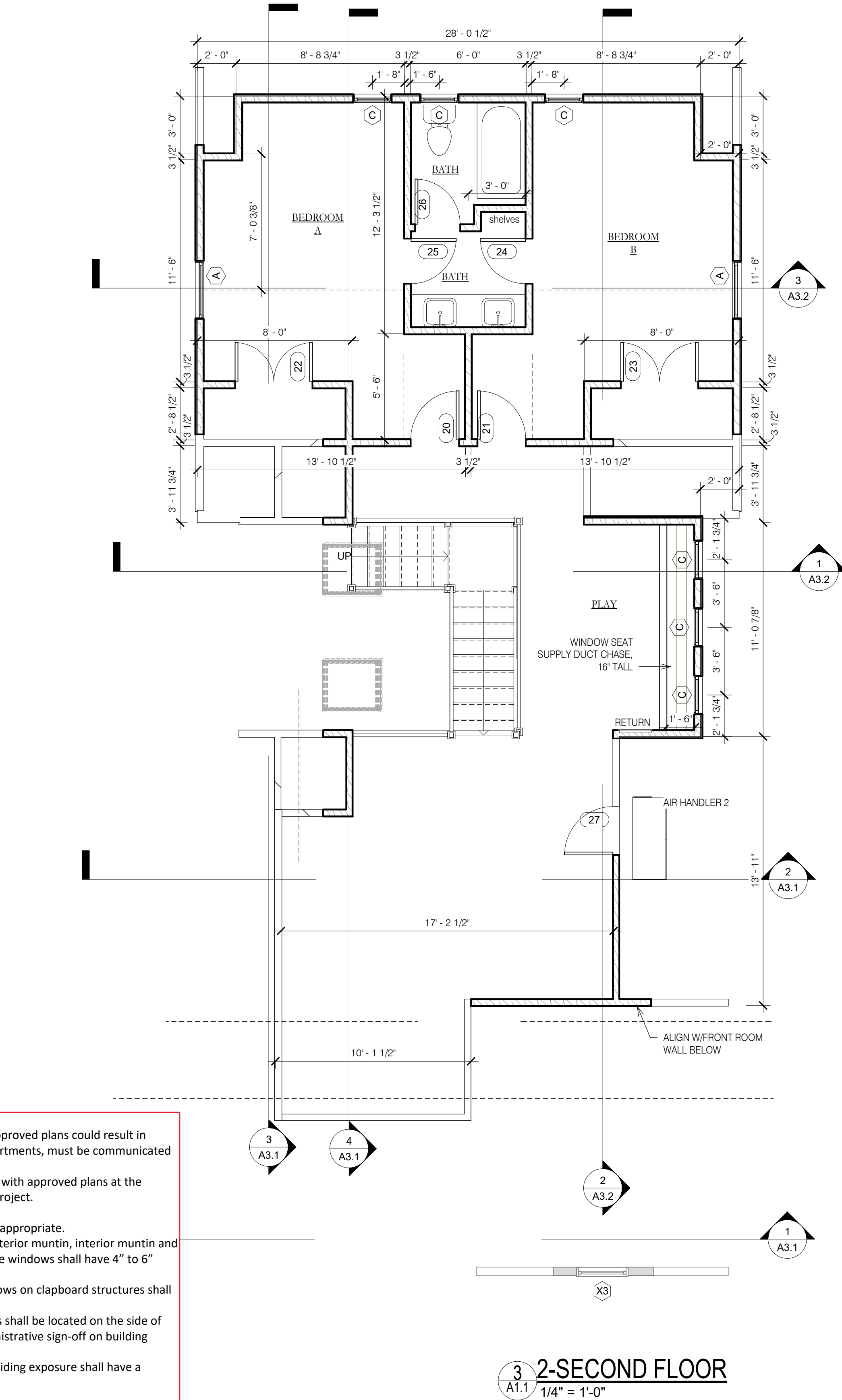
DOOR SCHEDULE - EXTERIOR				
TAG	ROOM	SIZE		NOTES
		WIDTH	HEIGHT	
1-FIRST FLOOR				
1		3'-1 7/16"	7'-11 1/2"	
X-2		10'-0"	7'-11 1/2"	
X-3		10'-0"	7'-11 1/2"	
Grand total: 3				

DOOR SCHEDULE - INTERIOR				
TAG	ROOM	SIZE		NOTES
		WIDTH	HEIGHT	
1-FIRST FLOOR				
10	ENTRY	2'-0"	6'-8"	
11	ENTRY	2'-0"	6'-8"	
12	GUEST	2'-6"	6'-8"	
13	GUEST	2'-6"	6'-8"	
14	BATH	2'-6"	6'-8"	
15	LAUNDRY/PANTRY	2'-6"	6'-8"	
16		2'-6"	6'-8"	
17	DRESSING	2'-8"	6'-8"	
18	MASTER BATH	2'-8"	6'-8"	
2-SECOND FLOOR				
20	BEDROOM A	2'-6"	6'-8"	
21	PLAY	2'-6"	6'-8"	
22		4'-0"	6'-0"	
23	BEDROOM B	4'-0"	6'-0"	
24	BEDROOM B	2'-4"	6'-8"	
25	BATH	2'-4"	6'-8"	
26	BATH	2'-4"	6'-8"	
27	PLAY	2'-6"	4'-0"	
Grand total: 17				



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Additions & Renovations to
1112 BOSCOBEL STREET
 Nashville, TN 37206

FLOOR PLANS,
 DOOR
 SCHEDULES

A1.1

PROJECT : 2031
 DATE: 1-25-21 rev.

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 Nashville, TN 37206

ELEVATIONS

A2.1

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 DATE: 1-25-21 rev.