

JOHN COOPER
MAYOR



METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

Metropolitan Historic Zoning Commission
Sunnyside in Sevier Park
3000 Granny White Pike
Nashville, Tennessee 37204
Telephone: (615) 862-7970

STAFF RECOMMENDATION
1320 Rosa L. Parks Blvd
June 16, 2021

Application: New Construction - Infill
District: Germantown Historic Preservation Zoning Overlay
Council District: 19
Base Zoning: CS
Map and Parcel Number: 081 12 0 444.00
Applicant: John Root
Project Lead: Jenny Warren, jenny.warren@nashville.gov

Description of Project: Application for the new construction of a four-story residential infill project.

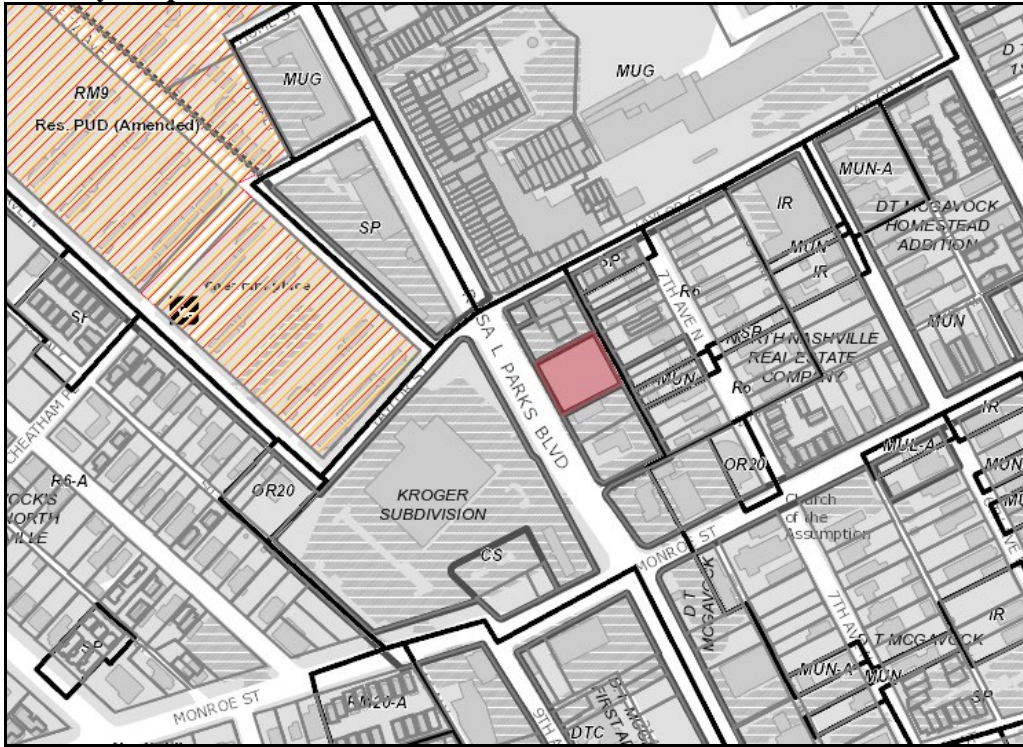
Recommendation Summary: Staff recommends approval of the project with the following conditions:

1. A revised site plan shall be provided, showing the secondary entrances on the primary façade, as well as the walkways;
2. MHZC staff shall review and approve the following materials prior to purchase and installation: brick, the metal siding, final doors, garage doors, windows, balcony railings, retaining wall and walkway materials and roofing color; and
3. Staff shall review and approve any exterior lighting, including rooftop lighting; retaining walls, or other appurtenances.

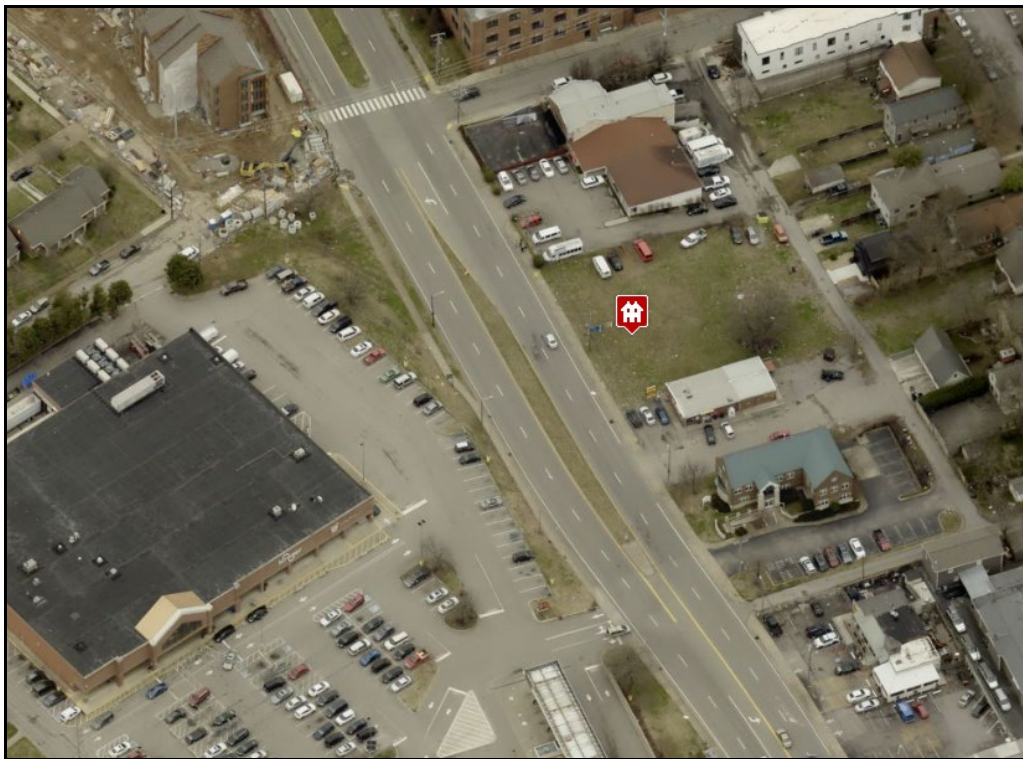
With these conditions, staff finds that the proposed project meets Section III of the *Germantown Historic Preservation Zoning Overlay design guidelines for new construction*.

Attachments
A: Photographs
B: Site Plan
C: Elevations

Vicinity Map:



Aerial Map:



Applicable Design Guidelines:

III. NEW CONSTRUCTION

A. GENERAL PRINCIPLES

Germantown is an eclectic district with distinct that contain different types of development. For this reason, the district is divided into “Development Zones” for site planning and “Building Types” for building design. Each project should meet the guidelines provided for “All Development Zones” and follow the more specific guidance for the “Building Type” and the “Development Zone” in which project is located.

Each “Development Zone” identifies the “Building Types” appropriate for that zone. The “Building Types” are very similar to those found in the Planning Department’s “Community Character Manual” but with additional information and guidance specific to Germantown.

Process for Planning New Construction in Germantown:

1. Determine the proposed “Building Type.”
2. Determine the “Development Zone” in which the project will be located. Check to be sure that the desired “Building Type” is appropriate in that “Development Zone.” If so,
3. Follow the guidelines for the “Building Type” in designing the building, the guidelines for the “Development Zone” when designing the site and the “General Design Guidelines” for both the design of the building and the site.

B. BUILDING TYPES

The Commission only reviews the design of buildings, sites and improvements. Applicants should check with the Metro Codes Department to assure that the intended use is permitted.

6. Low-Mid Rise, Mixed Use & Commercial Building Type

Low-Mid Rise, Mixed Use & Commercial types have either residences, a non-residential use or a mix of uses. At least one primary pedestrian entrance is provided along the primary street frontage. Vehicular access is from the alley. The building may occupy the full frontage of its lot, eliminating most side yards except for instances of required public pedestrian passages from the rear of the lot, or parking areas located on the side of the building. Siting of such buildings should provide desirable streetscape characteristics: pedestrian oriented businesses and shops at ground level, corner entrances, and a consistent building edge at least 12’ feet from the sidewalk. The roof form is typically flat with parapet or a pitched roof.

C. DEVELOPMENT ZONES

The district is divided into Development Zones to provide guidance on new construction that is specific to that area, particularly as relates to setback and height requirements.

1. National Register District Development Zone: properties located within the National Register of Historic Places boundaries.
2. Werthan Complex Development Zone: properties located within the Tennessee Manufacturing Company (Werthan Bag) National Register district.
3. Rosa L. Parks Blvd. Development Zone: properties facing Rosa L. Parks Blvd. between the Werthan Complex to the north and Jefferson Street on the south.
4. East Development Zone: properties that face Second Avenue North, Third Avenue North and Fourth Avenue North roughly between Monroe and Madison Streets, and the east side Fifth Avenue North between Monroe and Madison Streets.

5. Jefferson Street Development Zone: properties primarily along Jefferson Street. The corner lot at Jefferson and Rosa L. Parks shall follow guidance for the Rosa L. Parks Blvd. Development Zone.
6. North Development Zone: includes properties on the north side of Van Buren Street.

D. DESIGN GUIDELINES BY DEVELOPMENT ZONE

3. Rosa L. Parks Development Zone

- a. Appropriate Building Types: House Court, Low-mid-Rise Mixed Use & Commercial, Corner Commercial, and Civic
- b. Setbacks
 - Siting of buildings should provide desirable streetscape characteristics: pedestrian oriented businesses and shops at ground level, corner entrances and a consistent building edge within 12’ of the sidewalk, similar to the Werthan complex.
- c. Height
 - Buildings are permitted to be up to 4 stories (~45’) along Rosa L. Parks with the potential of a 5th story stepped back from all street facing facades a minimum of 10’. Darker colors are encouraged for the stepped back level to help mitigate the perception of additional height. The first level may be 12’-16’ tall with upper levels being less than the first floor level. Upper levels should not exceed the height of the ground floor.
 - The height should taper down to 2 stories (35’ for a pitched roof and 30’ for a flat roof), including the basement level, if the building continues into the back second half of the lot. The lower height is to transition from the height and massing appropriate on Rosa L. Parks and the historic “interior” of the neighborhood, which is much smaller in scale.

E. DESIGN GUIDELINES FOR NEW CONSTRUCTION IN ALL ZONES

1. General Policy

- a. This section provides design guidelines for all new construction. Additional guidance is provided based on the Building Type proposed and the Development Zone in which the project will be located.
- b. Guidelines apply only to the exterior of new construction. Public facades shall be more carefully reviewed than non-public facades. Public facades are visible from the public right-of-way, street, alley or greenway. Non-public facades are not visible from the public right-of-way, street, alley, or greenway.
- c. Construction in the District has taken place continuously from the mid- 19th century through the present and a variety of building styles and building types have resulted. This variety reflects the style, culture, and values of the District over time. New construction that imitates historic architectural styles may compromise the value of authentic historic structures by confusing genuine history with reproduction. Exterior building design should avoid the creation of themed environments that create a false sense of being in an alternate time or place. The architectural building types of new buildings should be appropriate to the general context of the historic portions of the neighborhood but may be contemporary in design.
- d. Because new buildings should relate to an established pattern and rhythm of existing buildings as viewed along both the same and opposite sides of a street, a dominance of the pattern and rhythm should be respected and not be disrupted.
- e. New construction should be consistent and compatible with existing buildings along a street in terms of height, scale, setback, relationship of materials, texture and color; roof shape; orientation; and proportion and rhythm of openings.

2. Setbacks

- a. Specific setbacks will depend the “Development Zone” in which the property is located, the “Building Type” proposed, and the immediate context.
- b. It is the intent of these guidelines to avoid the arbitrary establishment of setbacks resulting in haphazard building placement and a resulting interruption or absence of visual order within the District.
- c. *Setback Determinations. The Commission has the ability to determine the bulk standard (setbacks and height) requirements (ordinance no. 17.40.410) for each lot. When the Commission finds that a setback is less than what is required by the zoning code’s bulk standard is appropriate, it is called a “Setback Determination”.*
 - *Setback determinations may be appropriate when:*
 - *The existing setbacks of the contributing primary building does not meet bulk standards;*
 - *Original setbacks of like structures historically found on the site as determined by historic maps, site plans or photographs; or*
 - *Shape and size of lot makes meeting bulk standards unreasonable.*

3. Orientation

- a. The orientation of a structure's primary facade shall be consistent with those of adjacent historic buildings or existing buildings where there is little historic context. This typically means that a primary entrance faces the street and has walkways leading from the entrance to the sidewalk.
- b. Vehicular orientation is typically an access from the alley. Porte cocheres, front-yard parking and front loading driveways are atypical of the district.
- c. The intent is to encourage pedestrian oriented development, interaction with the street environment and allow for transition between the street/public domain and the interior of the building/ private domain. Entries that are visible from the street generally make a building more approachable and create a sense of association among users, customers and neighbors. Clear entries should be provided off of public streets not solely from parking lots.

4. Façade Articulation

- a. New structures shall employ design techniques that avoid large expanses of unbroken façade planes and/or materials, particularly on public facades.
- b. For multi-story buildings, the width of any unbroken façade shall not exceed the building height. This width to height ratio is considered a minimum – more modulation is encouraged. Some appropriate techniques for building articulation include but are not limited to:
 - Modulating the façade by stepping back or extending forward a portion of the façade. Articulating a building’s façade vertically and/or horizontally in intervals are informed by existing patterns or structures within the Germantown is encouraged;
 - Pilasters, recesses and or projections;
 - Repeating window patterns at an interval that equals the articulation interval; and/or
 - Changing the roof line by varying parapet heights, alternating dormers, stepped roofs, gables or other roof elements to reinforce the modulation or articulation interval and changing materials with a change in building plane. Changes in a materials, texture or color are appropriate techniques – however changes solely in paint color alone are generally not sufficient to meet the intent of this guideline.

5. Materials

- a. The relationship and use of materials, texture, details and material color of a new buildings shall be visually compatible with and similar to or shall not contrast conspicuously with those of adjacent historic buildings.
- b. The MHZC does not review paint color on wood. The MHZC reviews the inherent color of new materials, such as masonry and metal. Generally, painting masonry materials is inappropriate for existing and new construction.
- c. The color of masonry should be similar to historic colors of the same or similar materials. Traditional brick colors range from red-oranges to dark red. The use of “antique” reproduction or multi-colored brick is not permitted.
- d. Materials not listed in section e and f may be appropriate, if they possess characteristics similar in scale, design, finish, texture, durability, workability and detailing to historic materials and meet The Secretary of the Interior’s Standards.
- e. Foundation Materials:
 - Appropriate materials: brick, limestone, pre-cast stone if of a compatible color and texture to existing historic stone clad structures in the district, split-face concrete block, parge-coated concrete block
 - Inappropriate materials: dry-stack stone and “rubble stone” veneers
 - Intervening spaces of pier foundations may be filled with an open lattice work.
 - Slab-on-grade foundations may be appropriate for commercial building types but they are generally not appropriate for residential building types.
- f. Facade Materials:
 - All facades shall be at least 80% brick. Appropriate accent materials include stucco, fiber-cement or metal panels, fiber-cement, milled and painted wood, or metal horizontal siding. A greater percentage of accent materials may be used on facades that are not visible from a public right-of-way. A greater percentage of accent materials may be appropriate to create a more varied and appropriately neighborhood scaled building façade and massing with the Werthan and Rosa L. Parks Development zone.
 - Lap and horizontal siding should have reveals that do not exceed 5”.
 - Inappropriate materials: T-1-11- type building panels, "permastone", E.F.I.S., vinyl, aluminum, rustic and/or unpainted wood siding, stud wall lumber, embossed wood grain materials. Stone, board-and-batten and half-timbering are uncommon cladding materials in Germantown and are generally not appropriate.
 - Texture and tooling of mortar on new construction should be similar to historic examples.
 - Four inch (4”) nominal corner boards are required at the face of each exposed corner for non-masonry walls.
 - Belt courses or a change in materials from one story to another are often encouraged for large two-story buildings to break up the massing. When different wall materials are used, it is most appropriate to have such changes occur at floor lines.
- g. Accent and Trim Materials:
 - Appropriate materials: wood or fiber cement
 - Shingle siding is appropriate as an accent material and should exhibit a straight-line course pattern or a fish scale pattern and exhibit a maximum exposure of seven inches (7”).
 - Wood trim and accents were typically painted and milled. Rustic timbers and unpainted wood is generally inappropriate.
 - Composite materials may be appropriate for trim if they match the visual and durability characteristics of wood.

- Stucco/parge coating may be appropriate cladding for a new chimney or a foundation.
- h. Roofs and Chimneys Materials:
- Appropriate roof materials: Asphalt shingle and standing seam metal Generally, asphalt shingle roofing should not have strong simulated shadows in the granule colors which results in a rough, pitted appearance; faux shadow lines; strongly variegated colors; colors that are light (e.g.: tan, white, light green); wavy or deep color/texture used to simulate split shake shingles or slate; excessive flared form in the shingle tabs; uneven or sculpted bottom edges that emphasize tab width or edges, unless matching the original roof.
 - Rolled roofing material, such as EPDM, is appropriate for low-sloped roof planes that are not visible from the right-of-way.
 - Appropriate chimney materials: masonry or stucco.
 - Inappropriate chimney materials: clapboard/lap siding.
- i. Door & Window Materials:
- Front doors shall be painted or stained wood or painted metal and be at least half-glass.
 - Tinted, reflective, or colored glass are generally inappropriate for windows or doors.
 - For new commercial structures a significant portion of the street level façade (i.e., doors and windows) shall be transparent to provide visual interest and pedestrian access.
 - Windows on residential buildings or upper level facades of commercial/mixed-use buildings may be fixed, casement, single or double hung window sashes. Single-light (also known as 1/1) window sashes are appropriate for new construction. If using multi-light sashes, muntins should be fully simulated and bonded to the glass, and exhibit an interior bar, exterior bar, as well as a spacer between glass panes.
 - Four inch (nominal) casings are required around doors, windows and vents on non-masonry buildings. Trim should be thick enough to extend beyond the clapboard. Double or triple windows should have a 4” to 6” mullion in between.
 - Brick molding is required around doors, windows and vents within masonry walls. The use of brick molding on non-masonry buildings is inappropriate.
 - Door openings should be recessed (2” minimum) on masonry buildings, as they are traditionally, rather than flush with the rest of the wall.
- j. Walkways, Sidewalks & Curbing Materials:
- For the purpose of these design guidelines, “sidewalks” are those that parallel the street in the public realm and “walkways” are typically on private property and lead from the sidewalk to a principal entrance.
 - Materials for new appurtenances should be in keeping with the look, feel and workability of existing historic materials.
 - New sidewalks shall be brick, with the exception of sidewalks on Rosa L. Parks Blvd and Jefferson Street, which may be brick or concrete.
 - Brick, concreted, concrete pavers, stone and stepping stones are appropriate walkway materials.
 - Planting strips are not appropriate in the interior of the district but may be appropriate on Rosa L. Parks Blvd.

6. Rhythm Of Solids-To-Voids & Proportions Of Openings

- a. Large expanses of featureless wall surface are not appropriate. *In most cases, every 8-13 horizontal feet of flat wall surface should have an opening (window or door) of at least 4 square feet. More leniencies can be given to minimally visible side or rear walls.*
- b. The relationship of width to height of doors and windows and the rhythm of solids (walls) to voids (windows and doors) should be compatible with surrounding buildings.
- c. Exterior doors often have transoms, giving them a tall, narrow proportions.
- d. Window openings on the primary street-related or front façade of new construction should be representative of the window patterns of similarly massed historic structures within the district.

- e. Double-hung windows should exhibit a height to width ratio of at least 2:1.
- f. Windows on upper floors should not be taller than windows on the main floor since historically first floors have higher ceilings than upper floors and so windows were typically taller on the first floor.
- g. On corner commercial buildings, glazing shall address both streets.

7. Primary Entrances

- a. Within the district, front porches, stoops and hoods, and recessed entries are common on residential and commercial buildings.
- b. Primary entrances shall be in locations similar to those used historically for primary entrances.
- c. New construction (specifically residential) shall provide an entry that utilizes elements of a porch or recessed entry to create a transition from the outside (public domain) to the inside (private domain).
- c. Entrances to commercial buildings should be recessed.

8. Roof

- a. The roofs of new buildings should be visually compatible by not contrasting significantly with the roof shape, pitch, and orientation of surrounding buildings. See Building Type descriptions.
- b. Roof-top equipment, skylights, and roof penetrations located on or attached to the roof shall be located so as to minimize their visibility from the street. Typically screening does not meet the requirement for “minimal visibility” as if often alters the look and perceived height of a building. Generally, rooftop equipment should be placed behind the mid-point of the building. (For solar panels, please see “utilities.”)

10. Utilities / Mechanical

- a. Utility connections such as gas meters, electric meters, electric service mast and power lines, phone, cable, satellite TV and HVAC condenser units should be located so as to minimize their visibility from the street.
- b. Exterior utilities and mechanical equipment shall generally be located in the rear or side yard and screened when visible from the street.
- c. Solar panels should be located on the back of pitched roofs or on outbuildings, where possible. They should be installed to be flush with the roof pitch unless hidden behind a parapet wall, in which cases; they should not protrude above the parapet wall.
- d. Satellite dishes shall be located beyond the midpoint of the building. In the case of corner lots, a satellite dish should be located on the interior side, beyond the midpoint.
- e. Modern rooftop elements such as mechanical units, ducts, antenna, and vents should not be readily visible from the public right-of-way.
- f. Security cameras should be installed in the least obtrusive location possible. Select camera models that are as small in scale as possible.

11. Sidewalks & Walkways

For the purpose of these design guidelines, “sidewalks” are those that parallel the street in the public realm and “walkways” are typically on private property and lead from the sidewalk to a principal entrance. (Please also see “materials.”)

- a. Curb cuts on public streets are generally not appropriate. Removal of existing curb cuts on primary streets (where a lot can be accessed from the alley) is encouraged to bring non-conforming properties into conformance.
- b. Original sidewalks and walkways, including details such as original retaining walls, stone and concrete edgings, and brick sidewalks, etc., shall be preserved in their original state as closely as possible. Special care shall be taken to preserve existing trees and significant landscape elements.
- c. Where historic sidewalks are no longer in existence, new sidewalks should be of brick in the dominant pattern closest to the development. A typical pattern for the neighborhood is a herringbone pattern or running bond.
- d. Pathways and walkways providing access to buildings shall be serviceable and relate to the building in scale, width, placement and type of material.

12. Exterior Lighting

See *“Rooftop Decks”* for lighting guidance regarding rooftop decks.

- a. Exterior lighting fixtures shall be compatible in style, size, scale and material with the character of the structure and neighborhood.
- b. Lighting shall not spill onto adjacent structures, or properties.
- c. Permanently installed lighting may be used to highlight architectural features and to illuminate walkways, parking, and signage and should be a daylight color.
 - Lighting to illuminate walkways and parking should be ground-mounted with the light directed toward the ground, rather than be pole mounted.
 - Building lighting should be directed toward the façade instead of outward. Architectural features may be illuminated through uplights. It is inappropriate to wash an entire building or façade with light.
 - Ground mounted spotlights shall be screened from public view.
 - Dark metals or a color that matches the wall the light is installed on are appropriate materials for light fixtures.
 - Inappropriate types of lighting including: flashing, chasing or moving lights, neon lighting, multi-colored lighting.
 - Rope and string lighting is only appropriate in ground-floor locations where neither the fixture nor the illumination is visible from a public right-of-way or where it is located beneath ground-floor awnings or canopies.
 - See section for “signage” for illuminating of signage.

13. Open Space & Surface Parking

- a. Removal or demolition of existing historic buildings, or portions of buildings, to create open space or surface parking is not appropriate.
- b. Generally, surface parking should have its vehicular access on the alley.
- c. The most appropriate treatment for vacant lots is construction of a new building; however, when that is not possible, the area may be used as open space with features such as:
 - Visual and pedestrian access into the site from the public sidewalk;
 - Walking surface of attractive pavers;
 - Pedestrian scaled site lighting;
 - Public art;
 - Outdoor seating or dining (also see design guidelines for sidewalk cafes).

- d. Open space or surface parking shall maintain the pattern of the street wall with a 3' wall, fence, planter box or other barrier located at the appropriate front-setback.
- e. Outdoor furniture (seating, tables, umbrellas, etc.) that are not permanently installed, shall not be reviewed.
- f. Signage is generally not appropriate in open space areas, with the exception of wayfinding and historical marker signage.
- g. Audio/visual equipment, such as televisions and speakers, is not appropriate on the exterior of buildings or in open space areas.
- h. Preparation equipment, service areas and furnishings that require piping including a water supply and/or drainage or a permanent utility line; readily movable appliances operated by a portable propane gas tank, such as a barbecue grill, or a furnishing using temporary piping such as a garden hose should be screened from view and shall not be covered.
- i. Food and beverage storage shall be screened from view of the public right-of-way.
- j. Open space should generally not be covered. Exceptions may be made for small garden structures.

14. Sidewalk Cafes & Commercial Plazas

Sidewalk cafes must meet the public right-of-way encroachment requirements as required by city ordinance and cannot cause a sight distance issue or obstruct the sidewalk/pedestrian path of travel. The process for approval of an encroachment in or over a public right-of-way begins in the Metro Public Works Permits Office.

- a. Front plazas are only appropriate for the Low-mid Rise Mixed Use & Commercial Building Type.
- b. Use of metal or wood materials with a simple open design, movable posts and rope, or narrow planter boxes, no more than 32" tall, to fence in sidewalk café areas or plazas, are appropriate.
- c. Sidewalk café or plaza elements should not be attached to the building.
- d. Sidewalk café and plaza elements shall not be covered or enclosed (roof, walls), in any way, temporarily or permanently. Tables may be covered by non-permanent canvas umbrellas.
- e. A/V equipment, such as televisions and speakers, and signage are not appropriate in sidewalk cafes or plazas.

17. Appurtenances

Appurtenances include, but are not limited to, features such as curbs, steps, pavement, gravel, fountains, pergolas, pools and ponds, street furniture, bike racks, outdoor fireplaces/pits, vending, public art and mailboxes.

- a. Appurtenances and other work planned in public spaces by any individual, group or agency shall be presented to the MHZC for review of compatibility with the character of the district.
- b. Appurtenances related to new buildings, should be visually compatible with the environment established by surrounding existing buildings and the site on which they are located. They should not contrast greatly with the style of associated buildings in terms of design, size, materials, material color and location and should not contrast greatly with comparable original features of surrounding buildings.

- c. Generally, mailboxes should be attached to the front wall of the house or a porch post. In most cases, street-side mailboxes are inappropriate. Screened group mailboxes (cluster mailboxes) are appropriate for the House Court Building Type. For denser Building Types, such mailboxes should be located inside a building's common area.
- d. Permanently installed front-yard fixtures such as fountains, ponds, or waterfalls are atypical for the district and not appropriate for new construction. They may be appropriate as new construction in front of historic buildings if there is documentary, physical, or pictorial evidence showing a similar original feature.
- e. An appropriate location for flags is attached to the front of a building, on a porch or near a front entrance. Front yard, free-standing flag poles are atypical, except in front of Civic Building types.
- f. Swimming pools are to be located in the rear yard or appropriately screened from view and set back from the street; fencing around swimming pools required by zoning ordinance must comply with these design guidelines.
- g. Structures such as gazebos and pergolas that are appropriately sized to the scale of the principle building should generally be located in rear or side yards.
- h. Historic curbing, edging, brick sidewalks and stone retaining walls should be retained.
- i. Vending/ATMs should be located inside. In instances where outside locations are necessary, they are only appropriate for new construction and should only be located on buildings directly associated with the use of the vending. For instance, an ATM is only appropriate on a bank building. Where such is appropriate, they should not be located on primary facades and should be pedestrian oriented rather than vehicular oriented.
- j. Foundation/basement access doors shall be located on the side or rear of the building.
- k. Dumpsters and other trash containers shall be located with techniques that minimize interruption to the sidewalk network and the pedestrian environment. The most appropriate location for dumpsters and trash containers is in the rear yard or alley and screened from public view.

Background: The application is for the construction of a four-story residential building on a vacant lot along Rosa L. Parks Boulevard.



Figure 1. Vacant lot at 1320 Rosa L. Parks

Analysis and Findings: The application is to construct a new four-story residential building along Rosa L. Parks Boulevard, within the Rosa L. Parks Blvd. Development Zone. This block of Rosa L. Parks Boulevard, between Taylor and Monroe Streets, is on the edge of the overlay and has no contributing buildings. The historic Werthan Mills structure sits across Taylor Street.



Figure 2. Proposed front elevation, along Rosa L. Parks

Building Type: The applicant is proposing a four-story residential building. This is a Low-Mid Rise, Mixed Use & Commercial Building Type under the design guidelines.

As allowed by the guidelines for Low-Mid Rise Buildings, the proposed structure will contain residences. There is a primary pedestrian entrance and two additional entrances along the primary street frontage on Rosa L. Parks Blvd. The guidelines allow such buildings to occupy the full frontage of the lot, this one leaves about twelve feet (12') on the left side and about five feet, six inches (5'6") on the right. The guidelines further recommend "desirable streetscape features such as pedestrian oriented businesses and shops at ground level, corner entrances and a consistent building edge." As this is a mid-block residential project, it does not incorporate the businesses or corner entries, but the building does include three pedestrian entrances with walkways from the main street. The guidelines allow for flat roofs with parapets or pitched roofs. This structure combines these two with a partial gabled roof at Rosa L. Parks and a flat roof below and beyond this. Staff finds that this type of building is appropriate for this location within the Rosa L. Parks Blvd Development Zone. Staff finds that the infill meets Section III.B.6 for type.

Height: The guidelines for height on Rosa L. Parks read as follows:

- *Buildings are permitted to be up to 4 stories (~45') along Rosa L. Parks with the potential of a 5th story stepped back from all street facing facades a minimum of 10'.*

The proposed building is four stories with a maximum height of about forty-seven feet (47') on Rosa L. Parks. A partial fifth floor is proposed- this is mostly covered seating and open seating areas, but also includes fully enclosed spaces for a fitness room, bathroom and storage areas. (See Figure 5) The enclosed sections sit more than twenty feet (20') back from the building face on Rosa L. Parks. Staff finds the infill meets Section III.D.3.c of the design guidelines for height.

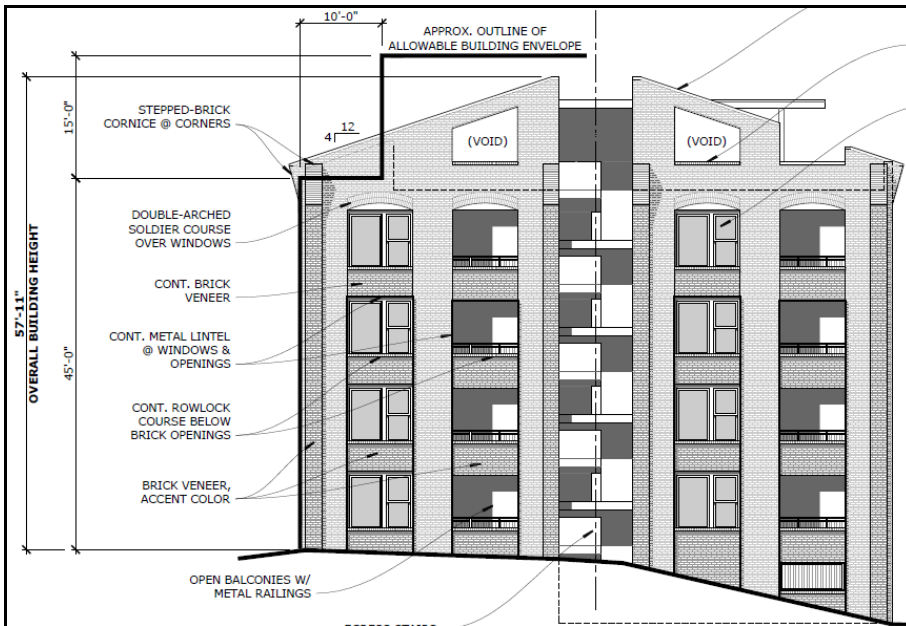


Figure 3. North elevation

Setbacks: The guidelines state that setbacks along Rosa L. Parks Blvd should be approximately twelve feet (12') from the sidewalk, in order to be consistent with the historic Werthan campus. The front setback from Rosa L. Parks is proposed to be approximately seventeen feet (17'). Although the proposal exceeds the twelve foot (12') setback, it does so because it has a residential use where additional space between street and building is desired. Because the building is oriented to the street, does not include a storefront and does protrude into the back half of the lot, staff finds the additional front setback to be appropriate.

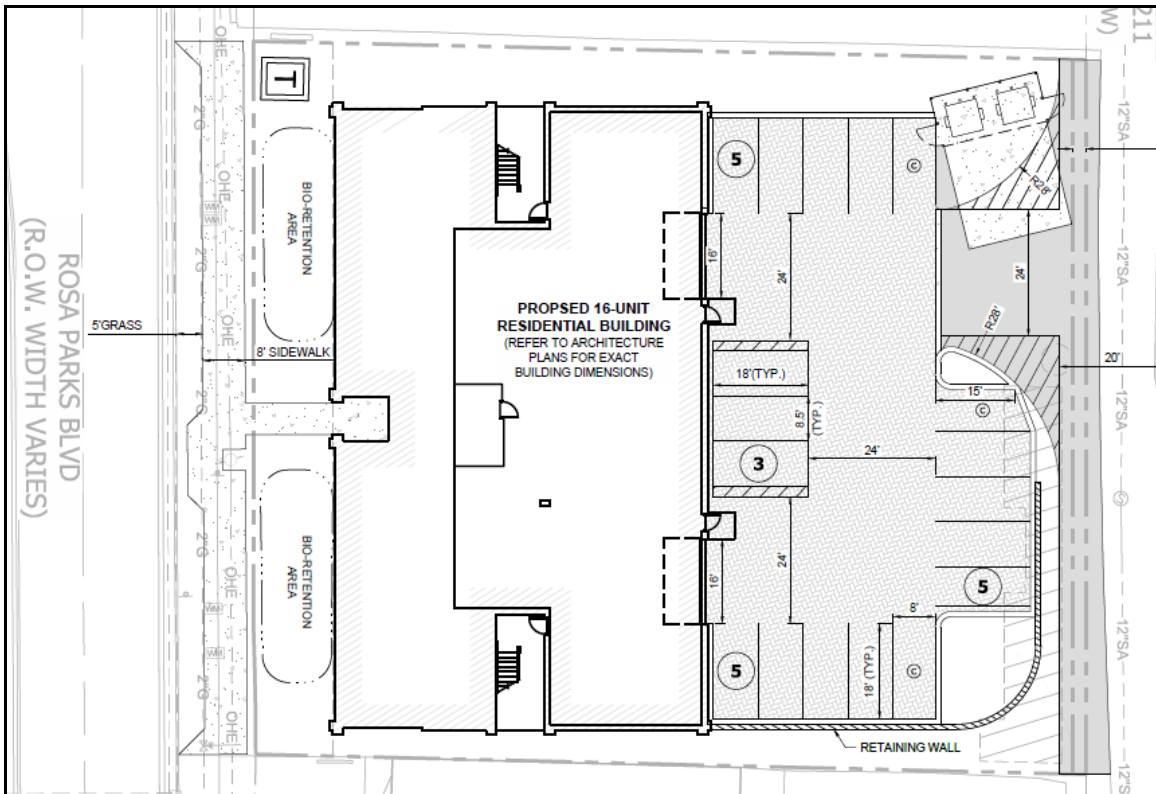


Figure 4. Site plan. Secondary entrances and walkways not showing here, but will be provided.

Orientation: The proposed building will face west onto Rosa L. Parks Blvd, consistent with other buildings on the block. The primary entrance will face the street and there will be a walkway from the sidewalk to the primary entry, as per the guidelines. Two additional entrances and walkways are shown in elevation, plan and on the rendering (See Figures 2 & 5) but are missing on the site plan—the applicant is revising the site plan to include these features. Vehicular access will be provided from the alley. Staff finds that with the condition that the site plan is revised to show the secondary entrances and walkways, the project will meet Section III.E.3. for orientation.

Facade Articulation & Proportions of Openings: The building includes articulation to help break up the massing, including bays of windows every five feet (5') or so, a projecting canopy over the recessed central entry bay and recessed secondary entries. The secondary side and rear elevations include recessed balcony openings and open recessed stairwells on the side elevations. There are no expanses of wall that measure

eight to thirteen feet (8'-13') without an opening. As specified in the guidelines, the double hung windows are twice as tall as they are wide. The fixed windows are not quite twice as tall as they are wide, but they still maintain a vertical proportion. Staff finds that the proposal meets Section III.E.4 and 6 for façade articulation and rhythm of solids-to-voids and proportions of openings.

Materials:

	Proposed	Color/Texture/ Make/ Manufacturer	Approved Previously or Typical of Neighborhood	Requires Additional Review
Foundation	Brick Veneer	Unknown	Yes	Yes
Primary Cladding	Brick Veneer	unknown	Yes	Yes
Secondary Cladding	Vertical Metal Siding	Unknown	Yes	Yes
Cornice	Brick	Unknown	Yes	Yes
Windows	Aluminum-clad	Unknown	Yes	Yes
Canopy at Entry	Metal	Unknown	Yes	No
Balcony Railings	Metal	Unknown	Yes	Yes
Entry Doors	Double doors, full light	Unknown	Yes	Yes
Rear Doors	Unknown	Unknown	Unknown	Yes
Garage Doors	Metal	Unknown	Unknown	Yes
Roofing	Architectural Shingle	Unknown	Yes	Yes
Retaining Wall	Not indicated	Unknown	Yes	Yes
Walkway	Concrete	Unknown	Yes	No

With staff level approval of the brick, the metal siding, final doors, garage doors, windows, balcony railings, retaining wall and walkway materials and roofing color the proposal meets Section III.E.5 for materials.



Figure 5. Proposed primary façade. Note prominent entrance and secondary entrances.

Primary Entrances: The primary entrance is located along Rosa L. Parks Blvd and emphasized by a recessed vertical bay with a change in material. Above the double doored entry is a projecting canopy. While not a porch, as a traditional single-family house would exhibit, staff finds this treatment to be appropriate as an entry to a residential structure of this scale. Two recessed secondary entrances are provided in bays two and nine.

Staff finds that the primary entrance meets Section III.E.7. of the design guidelines.

Roof Form: The main roof form is flat, behind a parapet. However, the side walls will have an angled gable-like parapet. On the Rosa L. Parks side, there will be about a ten foot (10') deep section of gabled roof, covered in architectural shingle. Staff finds that the proposed roof forms are common in the historic district and meet Section III.E.8. of the design guidelines.

Roof Top Decks: While not quite a rooftop deck, the project does propose an active rooftop at the fifth level. (Figure 5) There will be covered seating and open seating areas. The rooftop uses will not cantilever from the building, no lighting will be permitted more than forty-two inches (42") above the floor level and the useable space will sit back from the front wall more than ten feet (10'). The rooftop use meets Section III.E.9 of the guidelines. In addition, the building itself does not extend into the rear half of the lot; therefore, the rooftop deck will not be hanging over the smaller scale of the interior of the neighborhood.

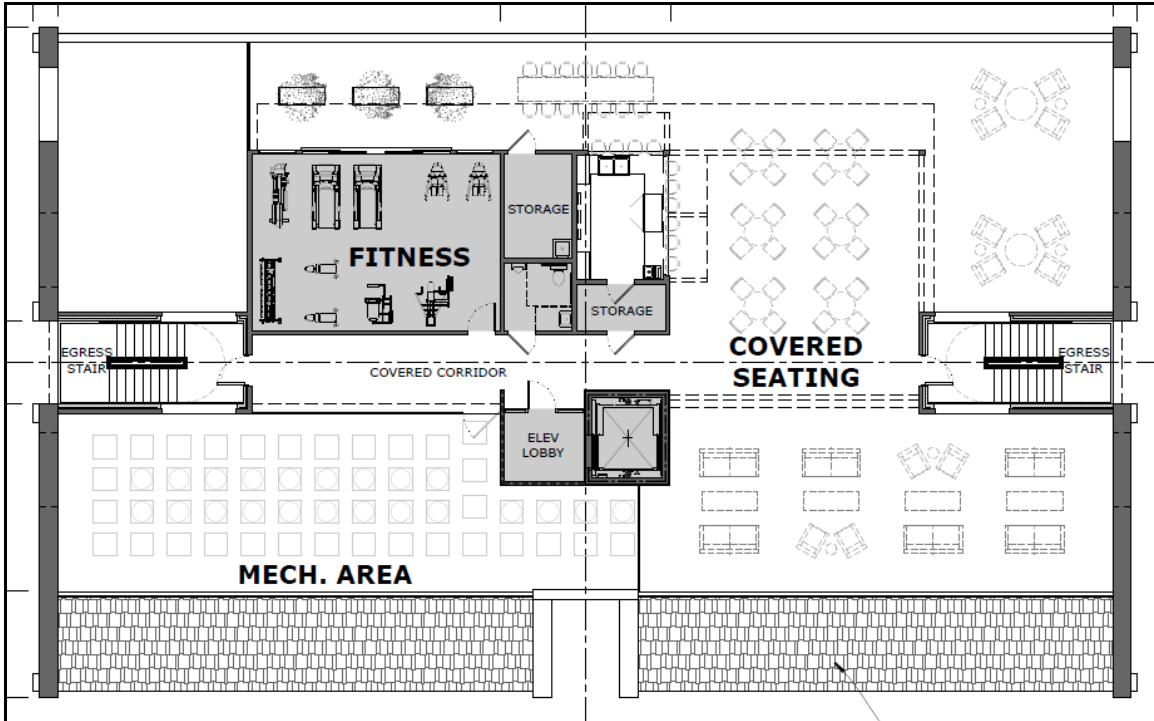


Figure 5. Fifth Level/Rooftop plan. Note seating areas and mechanical units screened by partially gabled roof

Utilities/Mechanicals: The mechanical units are shown on the roof and will be screened behind the partial gabled roof section on the front and the angled parapet on the side. The proposal meets Section III.E.10 of the design guidelines.

Sidewalks and Walkways: As per Figure 1, there are currently no curb cuts on the site and none are proposed, as vehicular access will be from the alley. The public sidewalk to the front, along Rosa L Parks, will be rebuilt to today’s sidewalk standards, including a five foot (5’) grass buffer from the street. Although brick sidewalks are required in the interior of the district, they are not on this edge along Rosa L. Parks Blvd. (See Section III.E.5.j of the design guidelines.) The design of the three walkways from the sidewalk to the front door is appropriate to the site. See Figure 4 for the site plan. The proposal meets Section III.E.11. of the design guidelines.

Exterior Lighting: No exterior lighting is indicated on the plans. Staff recommends approval of all exterior lighting fixtures prior to purchase and installation to ensure compliance with Section III.E.12. of the design guidelines.

Open Space and Surface Parking: The guidelines state that “the most appropriate treatment for vacant lots is the construction of a new building”. The project is meeting this guideline. As specified further, the surface parking will be provided in the rear, with access on the alley. The open space and surface parking meeting Section III.E.13 of the guidelines.

Appurtenances: The dumpsters will be located in the rear, along the alley, in accordance with the guidelines. Staff recommends approval of all appurtenances, including, but not

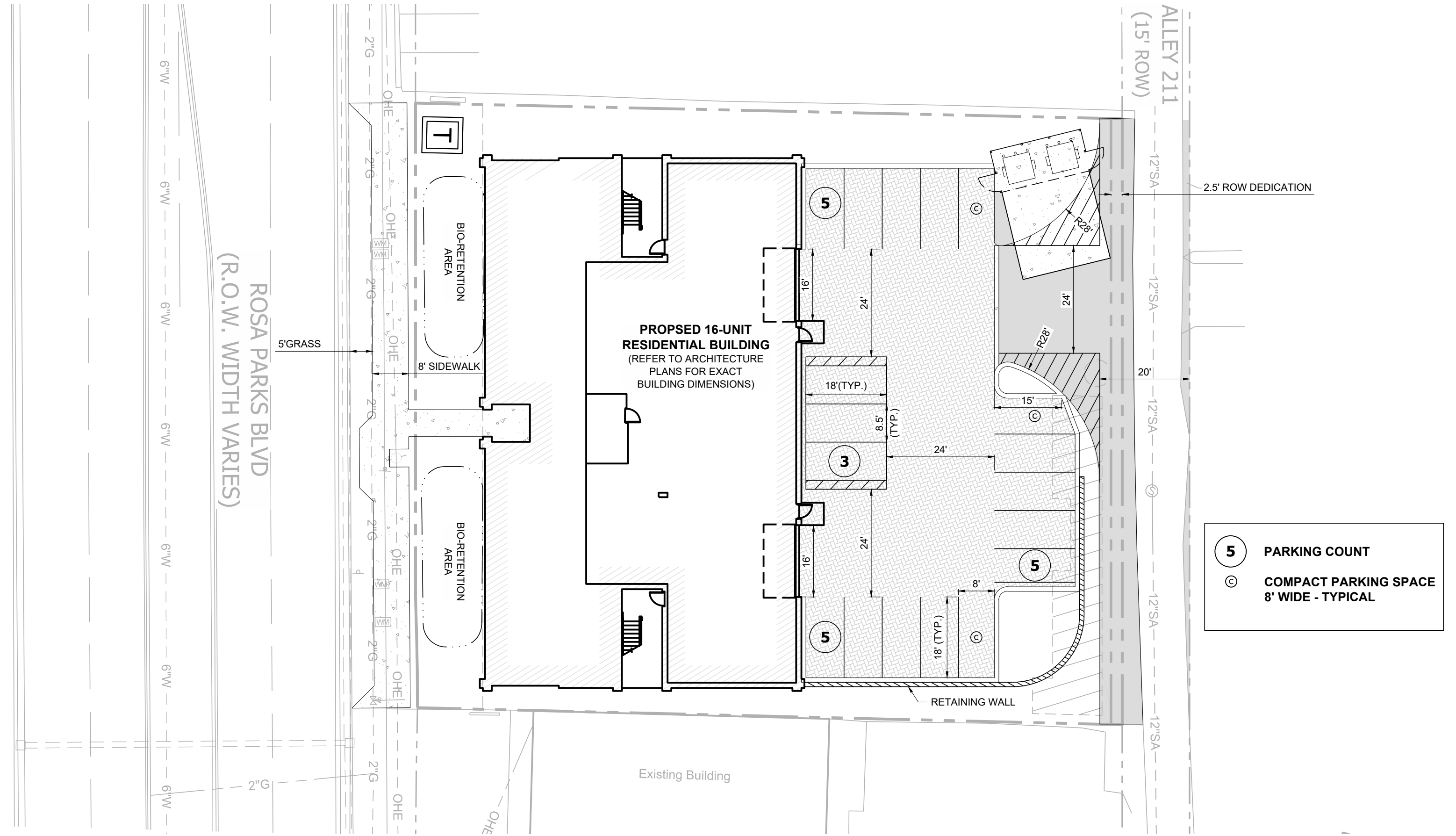
limited to, any fencing, lighting, retaining walls, pavers, etc., in order to ensure compliance with Section III.E.17. of the design guidelines.

Signage: No signage is indicated on the plans. If signage is proposed, it will need to be reviewed and approved by staff and a separate preservation permit will need to be issued to ensure that any signage meets the guidelines.

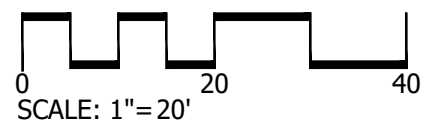
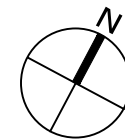
Recommendation Summary: Staff recommends approval of the project with the following conditions:

1. A revised site plan shall be provided, showing the secondary entrances on the primary façade, as well as the walkways;
2. MHZC staff shall review and approve the following materials prior to purchase and installation: brick, the metal siding, final doors, garage doors, windows, balcony railings, retaining wall and walkway materials and roofing color; and
3. Staff shall review and approve any exterior lighting, including rooftop lighting; retaining walls, or other appurtenances.

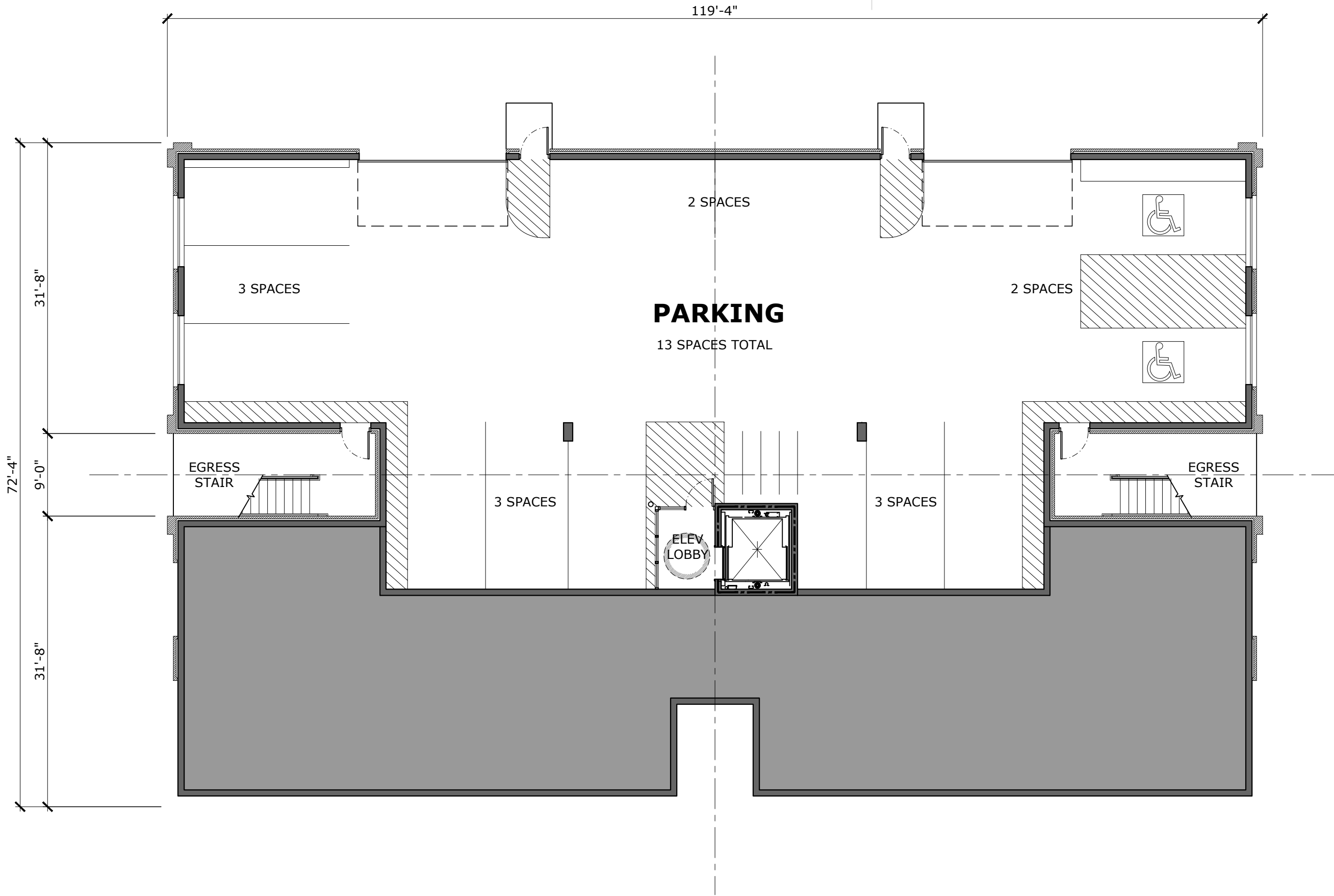
With these conditions, staff finds that the proposed project meets Section III of the *Germantown Historic Preservation Zoning Overlay design guidelines for new construction*.



- 5** PARKING COUNT
- C** COMPACT PARKING SPACE 8' WIDE - TYPICAL



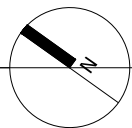
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BASEMENT LEVEL

3/32" = 1'-0"

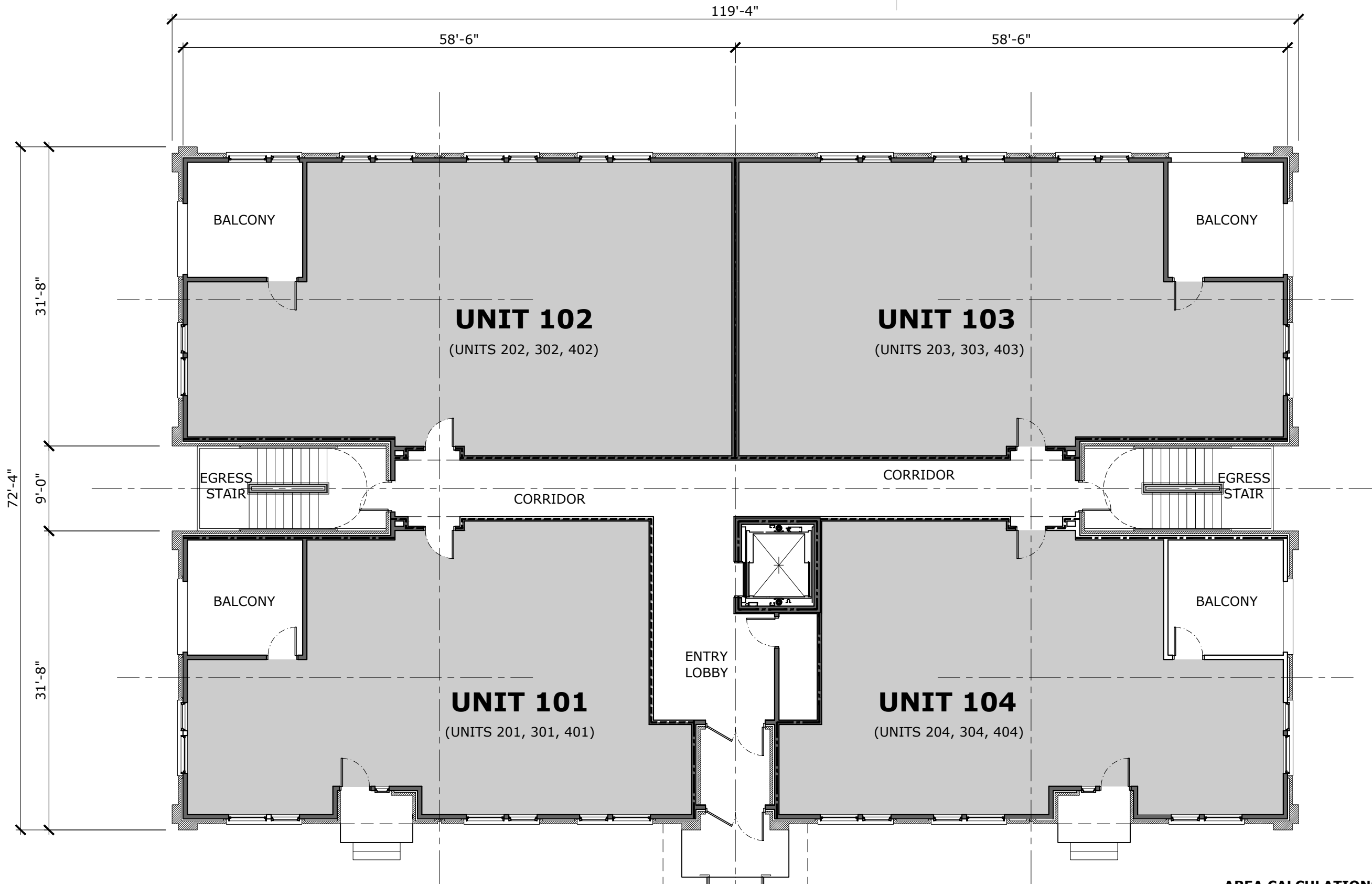
0 5 10 30



ROSA L. PARK BLVD

06.07.21

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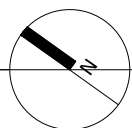
ROSA L. PARK BLVD

AREA CALCULATIONS: GROSS

1ST - 4TH FLOORS:	7,279 SQFT
TOTAL:	29,116 SQFT

FIRST FLOOR PLAN

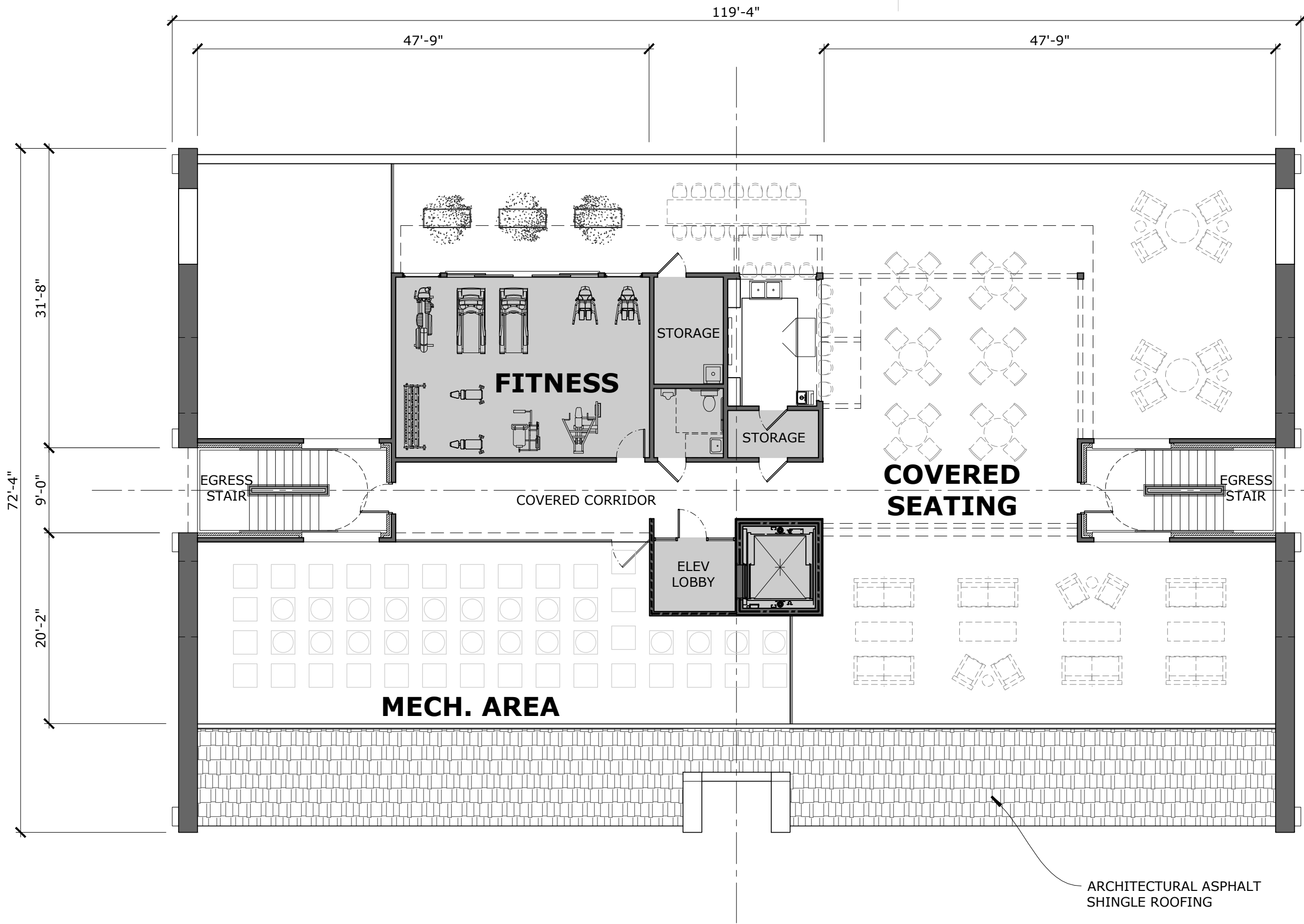
3/32" = 1'-0"



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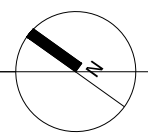
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ROSA L. PARK BLVD

ROOF FLOOR PLAN

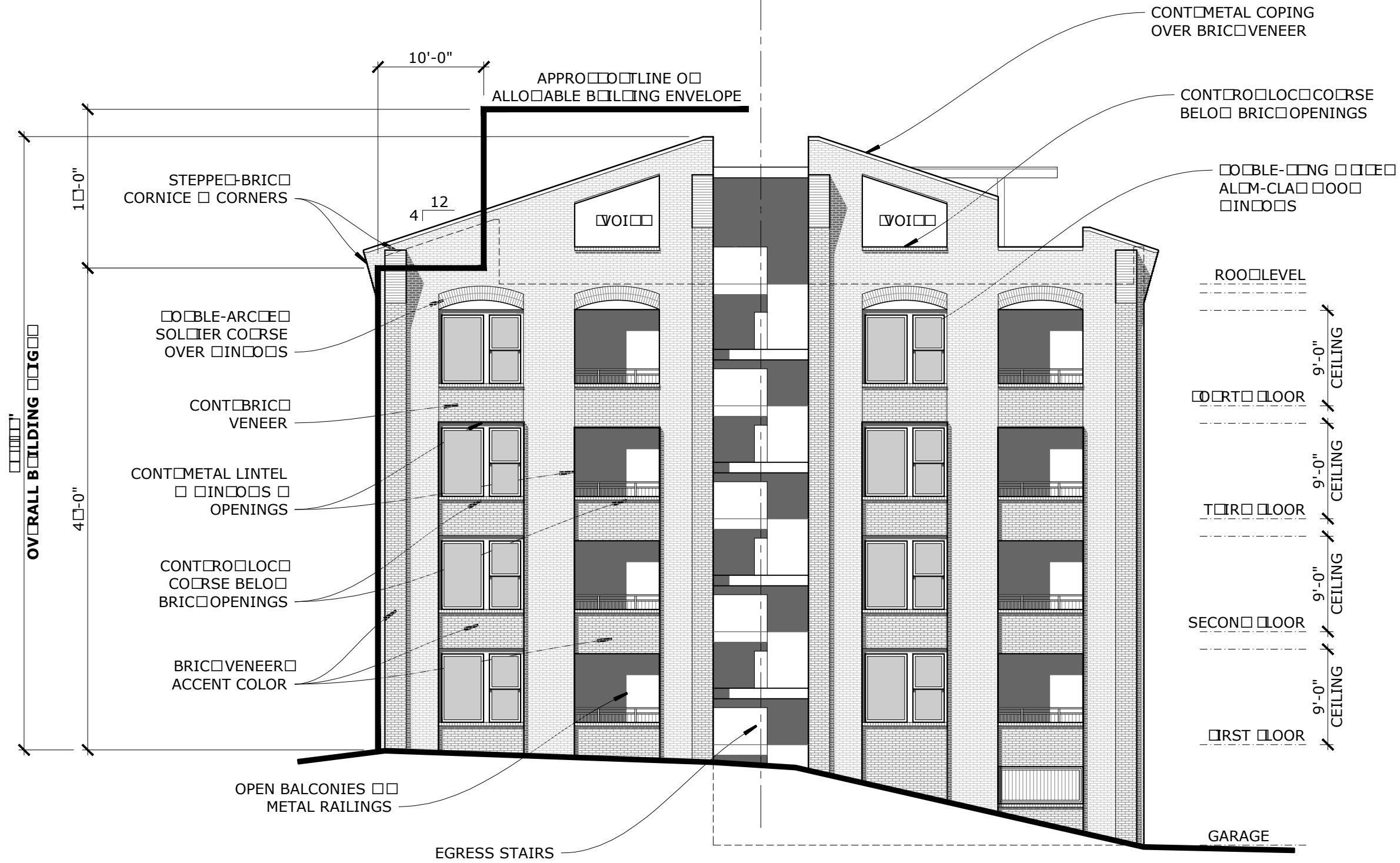
3/32" = 1'-0" 0 5 10 30



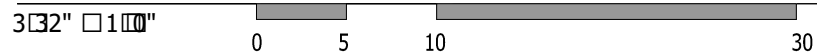
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SOFT ELEVATION NORTH SIMILAR



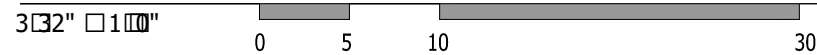
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VIEW ALONG ALLEY EAST ELEVATION





PERSPECTIVE ALONG ROSA L. PARKS BLVD.

NTS

06.07.21



PERSPECTIVE ALONG ALLEY

NTS