

JOHN COOPER
MAYOR



METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

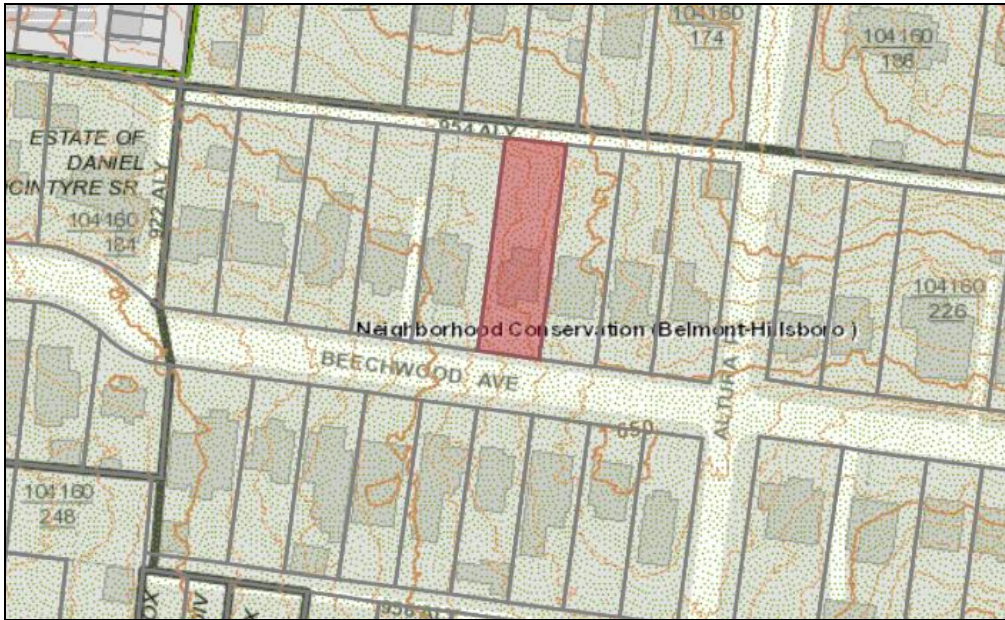
Metropolitan Historic Zoning Commission
Sunnyside in Sevier Park
3000 Granny White Pike
Nashville, Tennessee 37204
Telephone: (615) 862-7970

STAFF RECOMMENDATION
1906 Beechwood Avenue
June 16, 2021

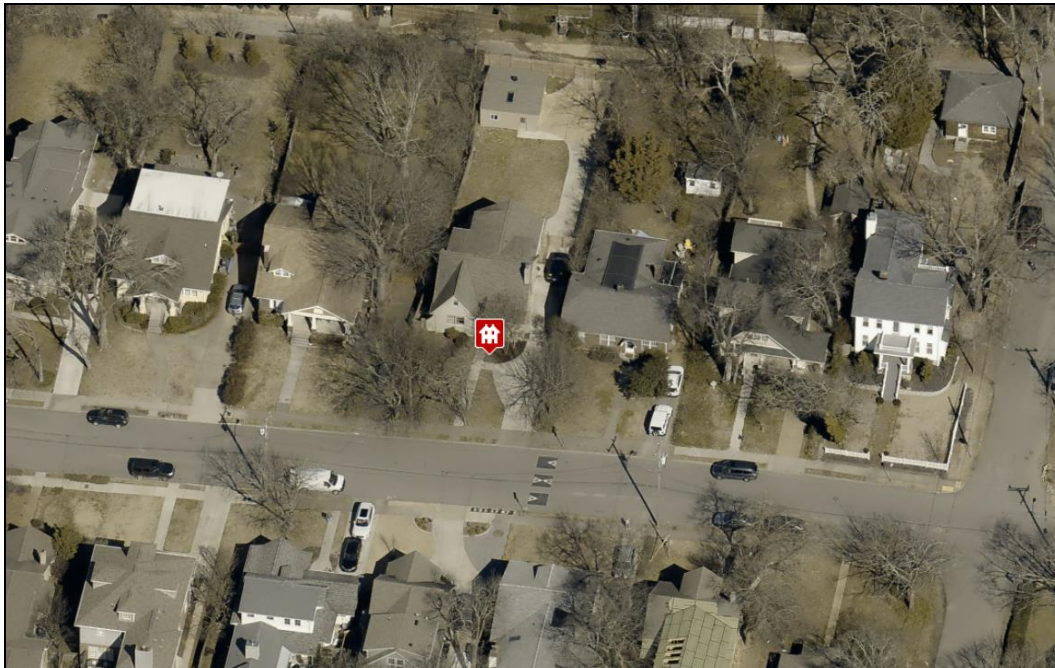
Application: Violation—Addition and Outbuilding
District: Belmont-Hillsboro Neighborhood Conservation Zoning Overlay
Council District: 18
Base Zoning: RS7.5
Map and Parcel Number: 10416017800
Applicant: Christine and Willard Younger
Project Lead: Melissa Sajid, Melissa.sajid@nashville.gov

<p>Description of Project: The request is for an addition to the front porch of the historic house and an outbuilding that were constructed without preservation permits.</p> <p>Recommendation Summary: Staff recommends approval of the outbuilding with the condition that the windows be replaced to meet the design guidelines and be approved by staff prior to purchase and installation.</p> <p>Staff recommends disapproval of the addition to the front porch, finding that it does not meet Section II.B.2.a of the <i>Belmont-Hillsboro Neighborhood Conservation District: Handbook and Design Guidelines</i>. Staff further recommends that the unpermitted front porch roof be removed and the original bracketed stoop covering beneath be retained within sixty (60) days.</p>	<p>Attachments A: Photographs B: Applicant submittal</p>
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Vicinity Map:



Aerial Map:



Applicable Design Guidelines:

II. B. GUIDELINES

a. Height

The height of the foundation wall, porch roof(s), and main roof(s) of a new building shall be compatible, by not contrasting greatly, with those of surrounding historic buildings.

b. Scale

The size of a new building and its mass in relation to open spaces shall be compatible, by not contrasting greatly, with surrounding historic buildings.

Foundation lines should be visually distinct from the predominant exterior wall material. This is typically accomplished with a change in material.

c. Setback and Rhythm of Spacing

The setback from front and side yard property lines established by adjacent historic buildings should be maintained. Generally, a dominant rhythm along a street is established by uniform lot and building width. Infill buildings should maintain that rhythm.

The Commission has the ability to determine appropriate building setbacks and extend height limitations of the required underlying base zoning for new construction, additions and accessory structures (ordinance no. BL2007-45).

Appropriate setbacks will be determined based on:

- The existing setback of the contributing primary buildings and accessory structures found in the immediate vicinity;*
- Setbacks of like structures historically found on the site as determined by historic maps, site plans or photographs;*
- Shape of lot;*
- Alley access or lack thereof;*
- Proximity of adjoining structures; and*
- Property lines.*

Appropriate height limitations will be based on:

- Heights of historic buildings in the immediate vicinity*
- Existing or planned slope and grade*

In most cases, an infill duplex should be one building, as seen historically in order to maintain the rhythm of the street. Detached infill duplexes may be appropriate in the following instances:

- There is not enough square footage to legally subdivide the lot but there is enough frontage and width to the lot to accommodate two single-family dwellings in a manner that meets the design guidelines;*
- The second unit follows the requirements of a Detached Accessory Dwelling Unit; or*
- An existing non-historic building sits so far back on the lot that a building may be constructed in front of it in a manner that meets the rhythm of the street and the established setbacks..*

d. Materials, Texture, Details, and Material Color

The materials, texture, details, and material color of a new building's public facades shall be visually

compatible, by not contrasting greatly, with surrounding historic buildings. Vinyl and aluminum siding are not appropriate.

T-1-11- type building panels, "permastone", E.F.I.S. and other artificial siding materials are generally not appropriate. However, pre-cast stone and cement fiberboard siding are approvable cladding materials for new construction; but pre-cast stone should be of a compatible color and texture to existing historic stone clad structures in the district; and cement fiberboard siding, when used for lapped siding, should be smooth and not stamped or embossed and have a maximum of a 5" reveal. The reveal for lap siding should not exceed 5". Larger reveals may be possible but should not exceed 8" and shall have mitered corners.

Shingle siding should exhibit a straight-line course pattern and exhibit a maximum exposure of seven inches (7").

Four inch (4") nominal corner boards are required at the face of each exposed corner.

Stud wall lumber and embossed wood grain are prohibited.

Belt courses or a change in materials from one story to another are often encouraged for large two-story buildings to break up the massing.

When different materials are used, it is most appropriate to have the change happen at floor lines.

Clapboard sided chimneys are generally not appropriate. Masonry or stucco is appropriate.

Texture and tooling of mortar on new construction should be similar to historic examples.

Asphalt shingle is an appropriate roof material for most buildings. Generally, roofing should not have strong simulated shadows in the granule colors which results in a rough, pitted appearance; faux shadow lines; strongly variegated colors; colors that are too light (e.g.: tan, white, light green); wavy or deep color/texture used to simulate split shake shingles or slate; excessive flared form in the shingle tabs; uneven or sculpted bottom edges that emphasize tab width or edges, unless matching the original roof.

Generally front doors should be 1/2 to full-light. Faux leaded glass is inappropriate.

e. Roof Shape

The roof(s) of a new building shall be visually compatible, by not contrasting greatly, with the roof shape, orientation, and pitch of surrounding historic buildings. With the exception of chimneys, roof-top equipment and roof penetrations shall be located so as to minimize their visibility from the street.

Roof pitches should be similar to the pitches found in the district. Historic roofs are generally between 6/12 and 12/12.

Roof pitches for porch roofs are typically less steep, approximately in the 3-4/12 range.

Generally, two-story residential buildings have hipped roofs.

Generally, dormers should be located on the roof. Wall dormers are not typical in the historic context and accentuate height so they should be used minimally and generally only on secondary facades. When they are appropriate they should be no wider than the typical window openings and should not project beyond the main wall.

f. Orientation

The orientation of a new building's front facade shall be visually consistent with surrounding historic buildings.

Porches

New buildings should incorporate at least one front street-related porch that is accessible from the front street.

Side porches or porte cocheres may also be appropriate as a secondary entrance, but the primary entrance should address the front.

Front porches generally should be a minimum of 6' deep, have porch racks that are 1'-3' tall and have posts that include bases and capitals.

Parking areas and Driveways

Generally, curb cuts should not be added.

Where a new driveway is appropriate it should be two concrete strips with a central grassy median. Shared driveways should be a single lane, not just two driveways next to each other. Sometimes this may be accomplished with a single lane curb cut that widens to a double lane deeper into the lot.

Duplexes

Infill duplexes shall have one or two doors facing the street, as seen on historic duplexes. In the case of corner lots, an entrance facing the side street is possible as long as it is designed to look like a secondary entrance.

In the case of duplexes, vehicular access for both units should be from the alley, where an alley exists. A new shared curb cut may be added, if no alley and no driveway exists, but the driveway should be no more than 12' wide from the street to the rear of the home. Driveways should use concrete strips where they are typical of the historic context. Front yard parking or driveways which end at the front of the house are not consistent with the character of the historic neighborhoods.

Multi-unit Developments

For multi-unit developments, interior dwellings should be subordinate to those that front the street.

Subordinate generally means the width and height of the buildings are less than the primary building(s) that faces the street.

For multi-unit developments, direct pedestrian connections should be made between the street and any interior units. The entrances to those pedestrian connections generally should be wider than the typical spacing between buildings along the street.

g. Proportion and Rhythm of Openings

The relationship of width to height of windows and doors, and the rhythm of solids (walls) to voids (door and window openings) in a new building shall be compatible, by not contrasting greatly, with surrounding historic buildings.

Window openings on the primary street-related or front façade of new construction should be representative of the window patterns of similarly massed historic structures within the district.

In most cases, every 8-13 horizontal feet of flat wall surface should have an opening (window or door) of at least 4 square feet. More leniencies can be given to minimally visible side or rear walls.

Double-hung windows should exhibit a height to width ratio of at least 2:1.

Windows on upper floors should not be taller than windows on the main floor since historically first floors have higher ceilings than upper floors and so windows were typically taller on the first floor.

Single-light sashes are appropriate for new construction. If using multi-light sashes, muntins should be fully simulated and bonded to the glass, and exhibit an interior bar, exterior bar, as well as a spacer between glass panes.

Four inch (nominal) casings are required around doors, windows and vents on non-masonry buildings.

Trim should be thick enough to extend beyond the clapboard. Double or triple windows should have a 4" to 6" mullion in between.

Brick molding is required around doors, windows and vents within masonry walls but is not appropriate on non-masonry buildings.

h. Utilities

Utility connections such as gas meters, electric meters, phone, cable, and HVAC condenser units should be located so as to minimize their visibility from the street.

i. Outbuildings

(Although the MHZC does not review use itself there are additional ordinance requirements for buildings that have are or have a Detached Accessory Dwelling Unit (DADU) required by ordinance 17.16.030 that are reviewed by the MHZC. This information is provided for informational purposes only and does

not replace ordinance 17.16.030.)

- 1) A new garage or storage building should reflect the character of the period of the house to which the outbuilding will be related. The outbuilding should be compatible, by not contrasting greatly, with surrounding historic outbuildings in terms of height, scale, roof shape, materials, texture, and details.

Outbuildings: Height & Scale

- *On lots less than 10,000 square feet, the footprint of a DADU or outbuilding shall not exceed seven hundred fifty square feet or fifty percent of the first floor area of the principal structure, whichever is less.*
- *On lots 10,000 square feet or greater, the footprint of a DADU or outbuilding shall not exceed one thousand square feet.*
- *The DADU or outbuilding shall maintain a proportional mass, size, and height to ensure it is not taller or wider than the principal structure on the lot. The DADU or outbuilding height shall not exceed the height of the principal structure, with a maximum eave height of 10' for one-story DADUs or outbuildings and 17' for two-story DADUs or outbuildings. The roof ridge height of the DADU or outbuilding must be less than the principal building and shall not exceed 25' feet in height.*

Outbuildings: Character, Materials and Details

- *Historically, outbuildings were either very utilitarian in character, or (particularly with more extravagant houses) they repeated the roof forms and architectural details of the houses to which they related. Generally, either approach is appropriate for new outbuildings. DADUs or out buildings located on corner lots should have similar architectural characteristics, including roof form and pitch, to the existing principal structure.*
- *DADUs or outbuildings with a second story shall enclose the stairs interior to the structure and properly fire rate them per the applicable life safety standards found in the code editions adopted by the Metropolitan Government of Nashville.*

Outbuildings: Roof

- *Roof slopes on simple, utilitarian buildings do not have to match the roof slopes of the main structure, but generally should maintain at least a 4/12 pitch.*
- *The DADU or outbuilding may have dormers that relate to the style and proportion of windows on the DADU and shall be subordinate to the roof slope by covering no more than fifty percent of the roof plane and should sit back from the exterior wall by 2'.*

Outbuildings: Windows and Doors

- *Publicly visible windows should be appropriate to the style of the house.*
- *Double-hung windows are generally twice as tall as they are wide and of the single-light sash variety.*
- *Publicly visible pedestrian doors must either be appropriate for the style of house to which the outbuilding relates or be flat with no panels.*
- *Metal overhead doors are acceptable on garages when they are simple and devoid of overly decorative elements typical on high-style wooden doors. Decorative raised panels on publicly visible garage doors are generally not appropriate.*
- *For street-facing facades, garages with more than one-bay should have multiple single doors rather than one large door to accommodate more than one bay.*

Outbuildings: Siding and Trim

- *Brick, weatherboard, and board-and-batten are typical siding materials.*
- *Exterior siding may match the existing contributing building's original siding; otherwise, siding should be wood or smooth cement-fiberboard lap siding with a maximum exposure of five inches (5"), wood or smooth cement-fiberboard board-and-batten or masonry.*
- *Four inch (4" nominal) corner-boards are required at the face of each exposed corner.*
- *Stud wall lumber and embossed wood grain are prohibited.*
- *Four inch (4" nominal) cornerboards and casings around doors, windows, and vents within clapboard walls is required. Trim should be thick enough to extend beyond the clapboard. Double or triple windows*

should have a 4" to 6" mullion in between.

Brick molding is required around doors, windows, and vents within masonry walls but is not appropriate on non-masonry clad buildings.

2) Outbuildings should be situated on a lot as is historically typical for surrounding historic buildings.

Generally new garages should be placed close to the alley, at the rear of the lot, or in the original location of an historic accessory structure.

Lots without rear alleys may have garages located closer to the primary structure. The appropriate location is one that matches the neighborhood or can be documented by historic maps.

Generally, attached garages are not appropriate; however, instances where they may be are:

- Where they are a typical feature of the neighborhood; or*
- When the location of the attached garage is in the general location of an historic accessory building, the new garage is located in the basement level, and the vehicular access is on the rear elevation.*

Setbacks & Site Requirements.

· To reflect the character of historic outbuildings, new outbuildings for duplexes should not exceed the requirements for outbuildings for the entire lot and should not be doubled. The most appropriate configurations would be two 1-bay buildings with or without parking pads for additional spaces or one 2-bay building.

· A DADU or outbuilding may only be located behind the principal structure in the established rear yard. The DADU or outbuilding is to be subordinate to the principal structure and therefore should be placed to the rear of the lot.

· There should be a minimum separation of 20' between the principal structure and the DADU or outbuilding.

· At least one side setback for a DADU or outbuilding on an interior lot, should generally be similar to the principle dwelling but no closer than 3' from each property line. The rear setback may be up to 3' from the rear property line. For corner lots, the DADU or outbuilding should match the context of homes on the street. If there is no context, the street setback should be a minimum of 10'.

Driveway Access.

· On lots with no alley access, the lot shall have no more than one curb-cut from any public street for driveway access to the principal structure as well as the detached accessory dwelling or outbuilding.

· On lots with alley access, any additional access shall be from the alley and no new curb cuts shall be provided from public streets.

Parking accessed from any public street shall be limited to one driveway for the lot with a maximum width of twelve feet.

Additional Requirements for DADUs from Ordinance 17.16.030. See requirements for outbuildings for additional requirements.

· The lot area on which a DADU is placed shall comply with Table 17.12.020A.

· The DADU may not exceed the maximums outlined previously for outbuildings.

· No additional accessory structure shall exceed two hundred square feet when there is a DADU on the lot. Density.

· A DADU is not allowed if the maximum number of dwelling units permitted for the lot has been met. Ownership.

a. No more than one DADU shall be permitted on a single lot in conjunction with the principal structure.

b. The DADU cannot be divided from the property ownership of the principal dwelling.

· The DADU shall be owned by the same person as the principal structure and one of the two dwellings shall be owner-occupied.

· Prior to the issuance of a permit, an instrument shall be prepared and recorded with the register's office covenanting that the DADU is being established accessory to a principal structure and may only be used under the conditions listed here.

Bulk and Massing.

- *The living space of a DADU shall not exceed seven hundred square feet.*

j. Public Spaces

Landscaping, sidewalks, signage, lighting, street furniture and other work undertaken in public spaces by any individual, group or agency shall be presented to the MHZC for review of compatibility with the character of the district.

Generally, mailboxes should be attached to the front wall of the house or a porch post. In most cases, street-side mailboxes are inappropriate.

2. ADDITIONS

- a. *Generally, an addition should be situated at the rear of a building in such a way that it will not disturb either front or side facades. To distinguish between the historic structure and an addition, it is desirable to set the addition in from the building side wall or for the addition to have a different cladding. Additions not normally recommended on historic structures may be appropriate for non-historic structures. Front or side alterations to non-historic structures that increase space or change exterior height should be compatible by not contrasting greatly with adjacent historic buildings.*

Placement

Additions should be located at the rear of an existing structure.

Connections to additions should, as much as possible, use existing window and door openings rather than remove significant amounts of rear wall material.

Generally, one-story rear additions should inset one foot, for each story, from the side wall.

Additions should be physically distinguished from the historic building and generally fit within the shadow line of the existing building.

Additions should be a minimum of 6" below the existing ridge.

In order to assure that an addition has achieved proper scale, the addition should:

No matter its use, not be larger than the existing house, not including non-historic additions, in order to achieve compatibility in scale. This will allow for the retention of small and medium size homes in the neighborhood. The diversity of housing type and size is a character defining feature of the historic districts.

- *Additions which are essentially a house-behind-a-house with a long narrow connector are not appropriate, as the form does not exist historically. Short or minimal connections that do not require the removal of the entire back wall of a historic building are preferred.*
- *Generally be shorter and thinner than the existing building. Exceptions may be made when unusual constraints make these parameters unreasonable, such as:*
 - *An extreme grade change*
 - *Atypical lot parcel shape or size**In these cases, an addition may rise above or extend wider than the existing building; however, generally the addition should not higher and extend wider.*

When an addition needs to be taller:

Whenever possible, additions should not be taller than the historic building; however, when a taller addition is the only option, additions to single story structures may rise as high as 4' above the shadow line of the existing building at a distance of 40' from the front edge of the existing building. In this instance, the side walls and roof of the addition must set in as is typical for all additions. The portion of the roof that can be seen should have a hipped, side gable or clipped gable roof to help decrease the visual mass of the addition.

When an addition needs to be wider:

Rear additions that are wider than an existing historic building may be appropriate when the building is narrower than 30' or shifted to one side of the lot. In these instances, a structural alcove or channel must separate the existing building from the new addition. The structural alcove should sit in a minimum of 1' and be at least twice as long as it is deep. In addition, a rear addition that is wider should not wrap the rear corner.

Ridge raises

Ridge raises are most appropriate for one-story, side-gable buildings, (without clipped gables) and that require more finished height in the attic. The purpose of a ridge raise is to allow for conditioned space in the attic and to discourage large rear or side additions. The raised portion must sit in a minimum of 2' from each side wall and can be raised no more than 2' of total vertical height within the same plane as the front roof slope.

Sunrooms

Metal framed sunrooms, as a modern interpretation of early green houses, are appropriate if they are mostly glass or use appropriate cladding material for the district, are located at the rear in a minimally visible location, are minimally attached to the existing structure, and follow all other design guidelines for additions.

Foundation

Foundation walls should set in from the existing foundation at the back edge of the existing structure by one foot for each story or half story. Exception: When an addition is a small one-room deep (12' deep or less) addition that spans the width of the structure, and the existing structure is masonry with the addition to be wood (or appropriate substitute siding). The change in material from masonry to wood allows for a minimum of a four inch (4") inset.

Foundation height should match or be lower than the existing structure.

Foundation lines should be visually distinct from the predominant exterior wall material. This is generally accomplished with a change in materials.

Roof

The height of the addition's roof and eaves must be less than or equal to the existing structure.

Visually evident roof slopes should match the roof slopes of the existing structure, and roof planes should set in accordingly for rear additions.

Skylights should not be located on the front-facing slope of the roof. Skylights should be flat (no bubble lenses) with a low profile (no more than six inches tall) and only be installed behind the midpoint of the building).

Rear & Side Dormers

Dormer additions are appropriate for some historic buildings as they are a traditional way of adding ventilation and light to upper stories.

The addition of a dormer that would require the removal of historic features such as an existing dormer, chimneys, cupolas or decorative feature is not appropriate.

Rear dormers should be inset from the side walls of the building by a minimum of two feet. The top of a rear dormer may attach just below the ridge of the main roof or lower.

Side dormers should be compatible with the scale and design of the building. Generally, this can be accomplished with the following:

- New dormers should be similar in design and scale to an existing dormer on the building.*
- New dormers should be similar in design and scale to an existing dormer on another historic building that is similar in style and massing.*
- The number of dormers and their location and size should be appropriate to the style and design of the building. Sometimes dormer locations relate to the openings below. The symmetry or lack of symmetry within a building design should be used as a guide when placing dormers.*
- Dormers should not be added to secondary roof planes.*

- Eave depth on a dormer should not exceed the eave depth on the main roof.
- The roof form of the dormer should match the roof form of the building or be appropriate for the style.
- The roof pitch of the dormer should generally match the roof pitch of the building.
- The ridge of a side dormer should be at least 2' below the ridge of the existing building; the cheeks should be inset at least 2' from the wall below or adjacent valley; and the front wall of the gable should setback a minimum of 2' from the wall below. (These minimum insets will likely be greater than 2' when following the guidelines for appropriate scale.)
- Dormers should generally be fully glazed and aprons below the window should be minimal.
- The exterior material cladding of side dormers should match the primary or secondary material of the main building.

Side Additions

b. When a lot exceeds 60 feet or the standard lot width on the block, it may be appropriate to add a side addition to a historic structure. The addition should set back from the face of the historic structure and should be subservient in height, width and massing to the historic structure.

Side additions should be narrower than half of the historic building width and exhibit a height of at least 2' shorter than the historic building.

To deemphasize a side addition, the roofing form should generally be a hip or side-gable roof form.

Commercial buildings that desire a covered open-air side additions generally should not enclose the area with plastic sides. Such applications may be appropriate if: the addition is located on the ground level off a secondary facade, is not located on a street facing side of a building, has a permanent glass wall on the portion of the addition which faces the street, and the front sits back a minimum of three (3') from the front or side wall, depending on placement of the addition.

c. The creation of an addition through enclosure of a front porch is not appropriate. The creation of an addition through the enclosure of a side porch may be appropriate if the addition is constructed in such a way that the original form and openings on the porch remain visible and undisturbed.

Side porch additions may be appropriate for corner building lots or lots more than 60' wide.

d. Contemporary designs for additions to existing properties are not discouraged when such additions do not destroy significant historical, architectural, or cultural material; and when such design is compatible, by not contrasting greatly, with the size, scale, color, material, and character of the property, neighborhood, or environment.

e. A new addition should be constructed in such a manner that if the addition were to be removed in the future, the essential form and integrity of the original structure would be unimpaired.

Connections should, as much as possible, use existing window and door openings rather than remove significant amounts of rear wall material.

f. Additions should follow the guidelines for new construction.

V. DEMOLITION

1. Demolition is not appropriate

- a. if a building, or major portion of a building, is of such architectural or historical interest and value that its removal would be detrimental to the public interest; or
- b. if a building, or major portion of a building, is of such old or unusual or uncommon design and materials that it could not be reproduced or be reproduced without great difficulty and expense.

2. Demolition is appropriate

- a. if a building, or major portion of a building, has irretrievably lost its architectural and historical integrity and significance and its removal will result in a more historically appropriate visual effect on the district;
- b. if a building, or major portion of a building, does not contribute to the historical and architectural character and significance of the district and its removal will result in a more historically appropriate visual effect on the district; or
- c. if the denial of the demolition will result in an economic hardship on the applicant as determined by the MHZC in accordance with section 17.40.420 (Historic Zoning Regulations), Metropolitan Comprehensive Zoning Ordinance.

Background: The house located at 1906 Beechwood Avenue is a c. 1938 Tudor-Minimal Traditional transitional house that contributes to the historic character of the Belmont-Hillsboro Neighborhood Conservation Zoning Overlay (Figure 1).

On February 12, 2021, staff observed that the front porch had been altered and an outbuilding was constructed without permits (Figures 2 & 3); a notice of abatement was sent to the property owner that was listed on the Property Assessor's site at that time. The owner at that time did not respond to the abatement letter, so a new abatement letter was sent to the current property owners on April 14, 2021. The current property owners are working with staff to address the violations but would like to request to keep the alterations to the front porch.



Figure 1. 1906 Beechwood Avenue, c. 2005.



Figure 2. Front porch after alterations.



Figure 3. Outbuilding.

Analysis and Findings: The request is for an addition to the front porch of the historic house and an outbuilding that both were constructed without preservation permits.

Height & Scale: The new porch roof extends to match the front wall of house and includes a gabled portion that was built around the existing bracketed gable stoop covering; the new gabled roof ties into a shed roof (Figure 4). The new porch roof includes posts to the ground and to an existing brick pedestal.



Figure 4. Bracketed stoop covering in relation to front porch alterations.

The 1951 Sanborn map does not show a covered porch associated with this house (Figure 5), and the c. 1968 Property Assessor’s photo shows the pre-addition porch configuration (Figure 6). There is no physical evidence of a different porch roof or a porch with posts to the ground. The bracketed stoop covering is typical of the era of construction, which is c. 1938.

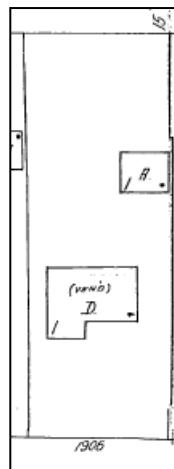


Figure 5. 1951 Sanborn map.



Figure 6. Property Assessor’s photo, c. 1968.

In order to meet the design guidelines, additions to historic buildings should be located at the rear in a way that will not disturb the front façade. In addition, porches and primary entrances are typically “character defining features” which the Secretary of Interior Standards requires be preserved. For these reasons, staff finds the front porch addition does not meet Section II.B.2.a of the design guidelines for Belmont-Hillsboro and recommends that it be removed and the original bracketed stoop covering remain.

Design, Location & Removability: Generally an addition should be located at the rear of the building in a way that will not disturb the front façade. The porch is not appropriate as it alters the design of the front of the historic building. Staff finds that the addition does not meet Sections II.B.2.a, II.B.2.a, and II.B.2.f since it alters a highly visible character-defining feature of the historic house.

Materials: The materials of the porch include milled and painted wood and roof shingles to match the house. While these materials can meet Section II.B.1.d of the design guidelines, the addition of a front porch on an historic house that did not have one originally does not meet the design guidelines.

Roof form: The porch roof is gabled with a pitch to match the existing front gable and includes a lower pitched shed element. The porch itself is not appropriate, as discussed previously; therefore, the shed roof form proposed is not appropriate. The project does not meet Section II.B.1.e.

Outbuilding: A single-story outbuilding that does not include a dwelling unit was also constructed on the site (see Figure 3).

Massing Planning: The lot is greater than 10,000 square feet, at about ten thousand, four hundred, fifty-nine square feet (10,459 sq. ft.).

	Lot is greater than 10,000 square feet	Proposed DADU
Maximum Square Footage	1000 sq. ft. max	441 sq. ft.

	Potential maximums under Ordinance	Existing House	DADU
Ridge Height	25' unless existing building is less	~24'	14'
Eave Height	10'	~10'	9'

Staff finds that the height and scale of the outbuilding meet the design guidelines.

Roof Form:

Element	Outbuilding	Typical of district?
Primary form	Gable	Yes
Primary roof slope	~ 6/12	Yes

Staff finds that the proposal meets Section II.B.1.i of the design guidelines for roof shape.

Materials:

	Outbuilding	Color/Texture	Needs final approval?
Foundation	Slab	Natural	No
Primary cladding	Board-and-batten	Smooth	No
Trim	Wood	Smooth, painted	No
Roofing	Asphalt shingles	Black or dark brown	No
Windows	Vinyl	Unknown	Yes
Doors	Fiberglass	Unknown	No
Garage door	Fiberglass	Unknown	No

The materials for the outbuilding meet the design guidelines with the exception of the windows. Vinyl windows that do not meet the design guidelines were installed. The owners are working with staff to replace the windows so that they meet the design guidelines. With staff’s final approval of the windows, the materials can meet the design guidelines.

General requirements for Outbuildings/DADUs:

	YES	NO
If there are stairs, are they enclosed?	N/A	
If a corner lot, are the design and materials similar to the principle building?	N/A	
If dormers are used, do they cover less than 50% of the roof plane where they are located as measured from side-to-side?	N/A	
If dormers are used, do they sit back from the wall below by at least 2’?	N/A	
Is the roof pitch at least 4/12?	Yes	
If the building is two-bay and the vehicular doors face the street, are there two different doors rather than one large door?	N/A	
Is the building located towards the rear of the lot?	Yes	

Site Planning & Setbacks:

	MINIMUM	OUTBUILDING
Building located towards rear of lot	-	Yes
Space between principal building and garage	20'	~63'
Rear setback	3'	10'
Interior right-side setback	3'	~31'
Interior left-side setback	3'	3'
How is the building accessed?	-	From alley
Two different doors rather than one large door (if street facing)?	-	N/A

With the condition that the windows on the outbuilding be replaced to meet the design guidelines, staff finds that the height, scale, roof form, dormers, materials, location, and setbacks meet Section II.B.1.i. of the design guidelines.

Recommendation: Staff recommends approval of the outbuilding with the condition that the windows be replaced to meet the design guidelines and be approved by staff prior to purchase and installation.

Staff recommends disapproval of the addition to the front porch, finding that it does not meet Section II.B.2.a of the *Belmont-Hillsboro Neighborhood Conservation District: Handbook and Design Guidelines*. Staff further recommends that the unpermitted front porch roof be removed and the original bracketed stoop covering beneath be retained within sixty (60) days.

ATTACHMENT A: PHOTOS (MHZC STAFF ON 4.29.21)













Metropolitan Historic Zoning Commission

RE: 1906 Beechwood Avenue, Nashville, TN, 37212

To Whom It May Concern:

We purchased our home at 1906 Beechwood Avenue in February 2021 from Candi Bainbridge. We were unaware the porch roof was an addition to the house and was done without proper permission from the Metropolitan Historic Zoning Commission (“Historic”). While we had a routine inspection and appraisal done of the property prior to closing, those did not cover whether all additions were done with proper permits and approvals. As we are first time home buyers and nervous to be taking on the commitment of owning a house, we asked our realtor to reach out to Historic and inquire about the property and ensure it was actually in the historic zoning area (which was something we greatly valued when looking at homes).

We received the attached correspondence from our realtor (Melanie Baker) between Sean Alexander and her on January 8, 2021, which confirmed the house was indeed in the historic overlay and put us on notice that we would need to have any construction, additions or outbuildings reviewed by Historic. Notably, our realtor asked if there was anything we should know about the property and assumed if there had been any issues with the property we would have been told at that time.

We were surprised to receive the Notice of Abatement, dated April 14, 2021, from Historic that the front porch roof was built without proper approval by Historic. Since receipt of the letter, we learned that the seller had constructed the extension of the front porch roof for structural purposes to alleviate the flow of water near the foundation of the house, which had given rise to foundation issues, including lateral movement in the foundation, that had required repair. Attached please find a letter from the sellers describing their reasoning for the additional roof along with the report of USS Structural Engineers, describing the work done to remedy the foundation issues.

Subsequent to learning of the reasoning behind this change, we discussed the issue with structural engineers including Michael Garman and USS. Documentation regarding those discussions is not available as of the date hereof, though the overwhelming thrust of our conversations was that the structural issues with the foundation of a nearly 100 year old house are best served by a solution such as the one the owners put in place to divert water from the foundation.

We engaged Hidden Trail Exteriors, LLC to evaluate the issue as well. Their assessment, sent by Matt Sturdivant on May 28, 2021, is attached hereto.

We are wholly supportive of the Metropolitan Historic Zoning Commission’s mission and the historic overlay in our neighborhood was one of the major factors that drew us here. While we find the façade as it existed prior to 2016 to be more aesthetically pleasing, we ask that Historic consider the structural concerns that removing the additional roof would raise. We are committed to reaching a mutually agreeable solution with Historic, and welcome any suggestions as to how the existing roof structure could be beautified or otherwise changed while preserving the benefits

May 26, 2021

To whom it may concern:

As previous owners of 1906 Beechwood Ave, we added the stoop to divert rain water run off. United Structural Systems (USS), a hired contractor, explained rain water run off from the front of the house was contributing to additional ground water pressure on the foundation.

We looked at the paperwork from USS and while it doesn't mention the stoop specifically, the conversations we had with the engineers mentioned issues with our water run off being a problem.

Best regards,

Warren and Candi Bainbridge



Christine Younger <christinenyounger@gmail.com>

Front Porch

Matt Sturdivant <matt@hiddentrailexteriors.com>
To: christinenyounger@gmail.com

Fri, May 28, 2021 at 3:41 PM

To whom it may concern,

I visited the home at 1906 Beechwood Ave, Nashville, TN 37212 on May 27, 2021. During this time, I inspected the front porch roof and assessed its effect.

It is my opinion that the front porch structure is a necessary addition. It helps to channel water away from the foundation of the historic structure and prevents erosion around the front of the home. Given the history of water getting into the basement, we believe the roof extension greatly helps redirect water further away, thereby increasing the integrity of the original structure.

Regards,

--

Matt Sturdivant
Hidden Trail Exteriors, LLC
(615) 308-2160
matt@hiddentrailexteriors.com



Christine & Willard Younger <christineandwillard@gmail.com>

FW: Metro Historic Commission - 1906 Beechwood Avenue

1 message

Melanie Baker <melanie.baker@zeitlin.com>
To: Christine & Willard Younger <christineandwillard@gmail.com>

Fri, Jan 8, 2021 at 1:52 PM

See below from Sean Alexander regarding the property and the email I sent him. Let me know if you would like be to ask him any other questions.

From: Alexander, Sean (Historical Commission) <Sean.Alexander@nashville.gov>
Sent: Friday, January 8, 2021 1:47 PM
To: Melanie Baker <melanie.baker@zeitlin.com>
Subject: RE: Metro Historic Commission - 1906 Beechwood Avenue

Hi Melanie,

Yes, that property is in the Belmont-Hillsboro Neighborhood Conservation Zoning Overlay, and the house is considered to be historic. We would review constructing and new additions or outbuildings, but general repairs and painting do not need our approval. The [design guidelines](#) for the neighborhood are posted on our website along with information about how to apply for a [permit](#).

If you or your clients have any other questions, let me know.

Thanks,

-Sean

[Sean Alexander](#)
Metropolitan Historic Zoning Commission
tel: (615) 862-7970 ext. 79775

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From: Melanie Baker <melanie.baker@zeitlin.com>
Sent: Friday, January 8, 2021 1:18 PM
To: Alexander, Sean (Historical Commission) <Sean.Alexander@nashville.gov>
Subject: Metro Historic Commission - 1906 Beechwood Avenue

Attention: This email originated from a source external to Metro Government. Please exercise caution when opening any attachments or links from external sources.

Hi Sean,

One of my clients has [1906 Beechwood Avenue, Nashville TN 37212](#) under contract and was wondering if you can confirm that the home will be under the Historic Commission Guidelines (Belmont Hillsboro) if they ever decide to do an addition to the house in the future? Also, if there is any information about this this property that we need to know about, could you send to me or connect me with another member of your staff.

Thanks so much!

Melanie

Melanie Shadow Baker

Affiliate Broker

CRS ABR SFR E-PRO

Zeitlin Sotheby's International Realty

[4301 Hillsboro Road, Suite 100 | Nashville, TN 37215](#)

c: 615.300.8155 | o: 615.383.0183

melanie.baker@zeitlin.com

www.zeitlin.com

agent #270937 | office #58989

to the structural integrity of the home to ensure that it will last for yet another hundred years or more.

Thank you for your consideration of this application.

Sincerely,

Willard and Christine Younger