



METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

Metropolitan Historic Zoning Commission
Sunnyside in Sevier Park
3000 Granny White Pike
Nashville, Tennessee 37204
Telephone: (615) 862-7970
Fax: (615) 862-7974

STAFF RECOMMENDATION

**312 Broadway
May 19, 2021**

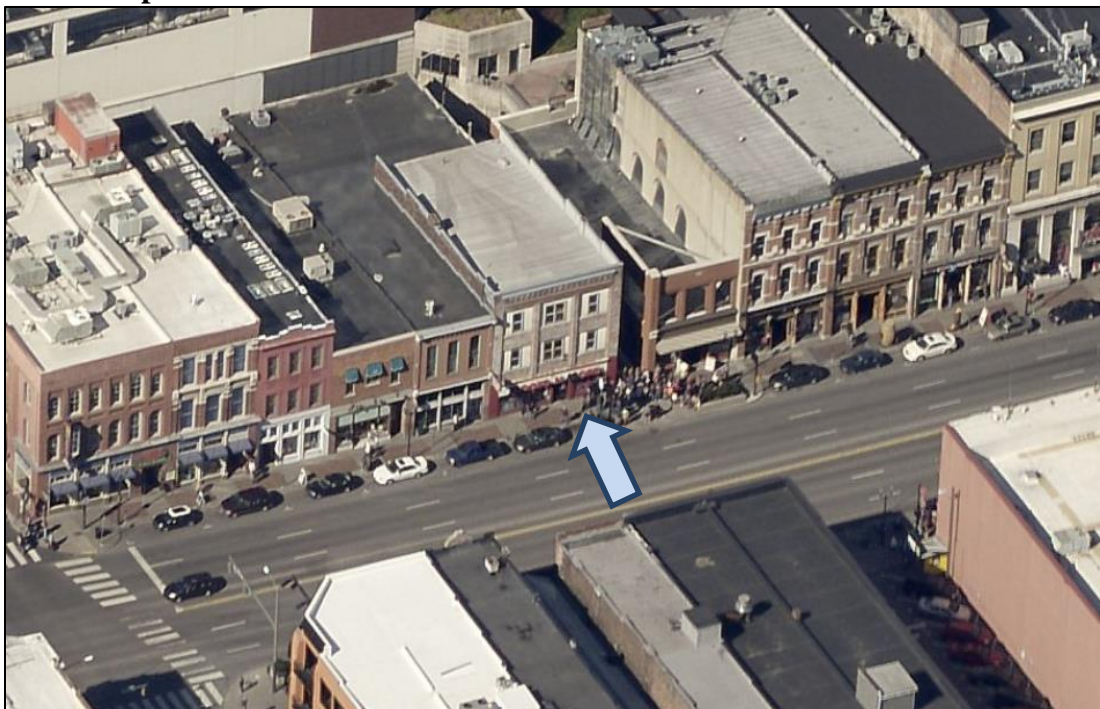
Application: Rehabilitation, New Construction, Signage
District: Broadway Historic Preservation Zoning Overlay
Council District: 19
Map and Parcel Number: 09306400500
Applicant: Zindagi LLC
Project Lead: Robin Zeigler, robin.zeigler@nashville.gov

<p>Description of Project: The applicant proposes changes to the storefront and staff recommends that violations be corrected prior to the issuance of permits.</p> <p>Recommendation Summary: Staff recommends approval of the storefront alterations with the conditions that:</p> <ol style="list-style-type: none"> 1. No permits are issued until the violations are corrected; 2. The violations (rooftop awnings and walls and the electronic signage) are removed within sixty (60) days; 3. Shingle sign be relocated to a pilaster and not be located over a window; 4. Applicant obtains approval of the shingle sign dimensions, materials and lighting; 5. Applicant obtains approval of the opaqueness of the awning and the color of the lighting beneath the awning; and, 6. Applicant obtains approval of the building illumination color and the fixture materials. <p>Meeting those conditions, staff finds that the project would meet the design guidelines for the Broadway Historic Preservation Zoning Overlay.</p>	<p>Attachments A: Plans</p>
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Vicinity Map:



Aerial Map:



Applicable Design Guidelines:

II. Rehabilitation

A. Awnings

1. Awnings should be placed in locations historically used for awnings and should not obstruct transoms, columns, cornices, or other architectural features. Appropriate storefront placement is across the storefront above the transom.
2. Awnings may be fixed or retractable.
3. Storefront awnings should project no more than seven feet from the building and should cover no more than one-third of a storefront window display height.
4. The most appropriate design for awnings is a shed form. The use of shed awnings for upper façade windows is also appropriate. Curved forms are not appropriate, unless there is historical evidence for their use on a building.
5. Awnings may contain graphics or signage but may not be backlit. Spotlighting of awnings from above is appropriate.
6. Opaque canvas, cotton duck, or similar natural materials are appropriate for awnings. Plastic or vinyl awnings should not be used.

III. New Construction

D. Additions to Existing Buildings

1. Additions to existing buildings should be compatible in scale, materials, and texture; additions should not be visually jarring or contrasting. Additions to historic buildings should be minimal. Additions normally not recommended on historic structures may be appropriate for non-historic buildings, if the addition will result in a building that is more compatible with the district.
2. Rooftop additions should not exceed one story in height and should be set back a minimum of 30 feet from the main façade of the building and 20 feet from the secondary street if it is a corner building.
3. Additions should not obscure or contribute to the loss of historic character-defining features or materials.

IV. Signage

G. Building Sign: Shingle Sign

Description

A single sign is a smaller building sign that projects outward, typically at a ninety degree angle, and hangs from a bracket or support that is located over or near a building entrance.

General Provisions

- Signs shall be located within 8 feet of an active pedestrian building entrance. This does not include service entries or entries that primarily remain locked.
- An active pedestrian entrance at the corner of a building is allowed signs on both streets.
- A shingle sign shall be located below the window sills of the second story.
- A shingle sign shall not be internally illuminated.
- A shingle sign cannot cover windows or architectural details.

Design Standards

- A** Area (max)—9 square feet
- B** Height (max)—3 feet
- C** Spacing from façade (min)—6 inches
- D** Width (max)—3 feet
- E** Depth (max)—6 inches

K: Design Guidelines: Changeable Copy/Electronic Signage

Changeable copy signs shall be in accordance with the following requirements:

Description

- Manual changeable copy sign. A sign or portion of a sign that has a readerboard for the display of text information in which each alphanumeric character, graphic or symbol is defined by objects, not consisting of an illumination device. Changeable copy is changed or re-arranged manually or mechanically without altering the face or the surface of the sign.
- Electronic changeable copy sign. A sign or portion of a sign that displays information in which each alphanumeric character, graphic, or symbol is defined by a small number of matrix elements using different combinations of light emitting diodes (LED's), fiber optics, light bulbs or other illumination devices within the sign.

Usage

- Manual and Electronic changeable copy is allowed for Tourist Oriented Businesses only when used in conjunction with a wall sign or a monument sign provided the changeable copy portion is no greater than 50% of the built sign area.
- An electronic changeable copy sign is not allowed in a Redevelopment District or on Interstate frontage.

Spacing

- The closest edge of an electronic changeable copy sign must be a minimum distance of 100 feet from any residential zoning district.
- An electronic changeable copy sign must be separated from another electronic changeable copy sign by at least 50 feet.

Duration

- Transition time must be immediate.
- No portion of the image or message may flash, scroll, twirl, change color or in any manner imitate movement.

Brightness

- The sign must not exceed a maximum illumination of 7,500 nits during daylight hours and a maximum illumination of 750 nits between dusk to dawn as measured from the sign's face at maximum brightness.
- Electronic changeable copy signs must have an automatic dimmer control to produce a distinct illumination change from a higher illumination level to a lower level.

Background: A rooftop addition was approved in 2015. Multiple violations have taken place each year since 2016, associated with signage, lighting, the storefront, and the rooftop addition. The most recent violations that have not yet been corrected are side walls and awnings on the rooftop and electronic signage. The applicant has also applied for building illumination, awnings, and a shingle sign. Because staff recommends that no permits are issued until violations are corrected, the violations are reviewed in this report, as well as the application request. An abatement letter was sent April 30, 2021.



Analysis and Findings:

Violation, Rooftop Wall & Canopy: The side walls and awning were installed on the rooftop without a permit. The construction does not meet section III.D for rooftop additions as it is located within the 30' setback area. Section III.D.5 states that rooftop additions should be set back a minimum of 30 feet from the main façade of the building and the walls and awning are located within that 30' area. Staff recommends that the walls and awnings are removed within sixty (60) days.



Figure 2: The horizontal wood wall and overhead awnings were constructed without a permit.

Violation, Electronic Signage: An electronic menu board has been installed on the outside of the building. Electronic signage does not meet design guideline IV.K, which prohibits electronic signage for all buildings except for fixed-seat entertainment venues of a certain size. If the signage were moved to be on the interior of a window, it would not be reviewed. Staff recommends that the sign is removed within sixty (60) days.



Figure 3: Electronic signage added at 312 Broadway

Proposed shingle sign: The proposed shingle sign is approximately nine square feet (9 sq ft) which meets the design guidelines for shingle signs. Information regarding thickness of the sign, materials and lighting were not provided. The location appears to be over a window. To meet the design guidelines, it should be relocated to a pilaster.

Proposed Awning: The canvas awning has a depth of 5' 6", which is less than the maximum allowed by the design guidelines. The material is canvas, which is typical of historic awnings. Lighting is proposed beneath an awning, which can meet the design guidelines as long as the awning is opaque so that the awning itself does not glow and the light is white. Staff recommends a condition that these two conditions be required.

Proposed Building Illumination: Four up-down wall lights are proposed at the street-level. The fixtures are each 7" 1/16 tall, 2" 3/16 wide and 3" deep. The material of the signage and the illumination color was not provided. Staff recommends that the material information is provided for review and that the building illumination be white lighting only.

Recommendation:

Staff recommends approval of the storefront alterations with the conditions that:

1. No permits are issued until the violations are corrected;
2. The violations (rooftop awnings and walls and the electronic signage) are removed within sixty (60) days;
3. Shingle sign be relocated to a pilaster and not be located over a window;
4. Applicant obtains approval of the shingle sign dimensions, materials and lighting;
5. Applicant obtains approval of the opaqueness of the awning and the color of the lighting beneath the awning; and,
6. Applicant obtains approval of the building illumination color and the fixture materials.

Meeting those conditions, staff finds that the project would meet the design guidelines for the Broadway Historic Preservation Zoning Overlay.



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Date _____

Name _____

Client _____

Project name _____

Quote# _____

Type/Quantity _____

Listings

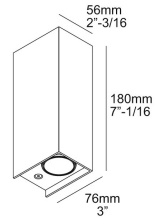
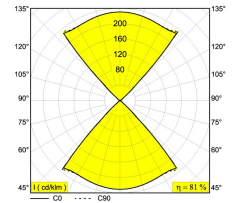
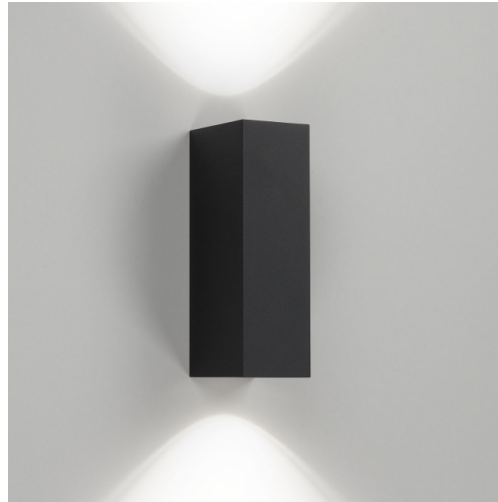


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Specification Sheet

MONO II DOWN-UP LED 1 930
6 223 531 812 930

[Weblink](#)



Available colors: ALU GREY (6 223 531 812 930 A)
 DARK GREY (6 223 531 812 930 N)

NONADJUSTABLE
 2 x (LED 7,1W / CRI>90 / 3000K / 774lm)
 INCL.2 x LENS
 EXCL.LED POWER SUPPLY 48V-DC (non dimmable)
 For other CRI or KELVIN, contact factory

LED Technics: Light source: 1548 lm // 14 W // 116 lm/W
 Luminaire: 1259 lm // 16 W // 77 lm/W

48V-DC

Class 2: Yes
 Ada: N.a.
 Installation methods: 1/2" EMT INSTALLATION
 MUD KIT INSTALLATION

Weight: 1.6 LBS
 Protection level: IP54 - suitable for wet locations
 Minimum distance: n.a.

Options: MUD KIT 1
 COVERPLATE S 122

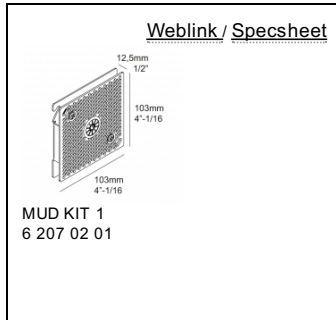
Requirements :
 LED POWER SUPPLY 48V-DC (Remote)

For detailed installation instructions, please consult the manual. [6_223_531_812_XXX_HAND.pdf](#)

MONO II DOWN-UP LED 1 930
6 223 531 812 930

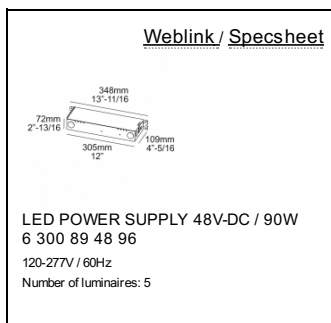
Related references

MUD KITS



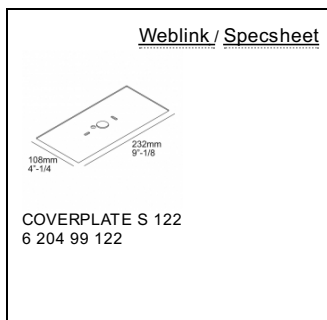
Related references

LED POWER SUPPLIES - REMOTE



Related references

COVER PLATES



MONO II DOWN-UP LED 1 930
6 223 531 812 930

Related project picture of product family:



THE VALENTINE

312 Broadway Nashville, Tennessee 37201

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PROPOSED EXTERIOR RENOVATIONS



project scope:

Refresh the front facade by cleaning the brick, a new awning, and new street-level lighting.

project team:

ARCHITECT:

LINES inc. | interiors + architecture
213 Overlook Cir. Suite B-1
Brentwood, TN 37027
(615)891.3098
Taylor Slay
taylor@lines615.com

CONTRACTOR:

DWC Construction
800 6th Ave S., Suite 100
Nashville, TN 37203
(615) 690-3752
CONTACT: Tyler Glover
tyler.glover@dwcinteriors.com

CLIENT'S REP:

The Valentine
312 Broadway
Nashville, TN 37201
CONTACT: Benjie Shirah
benjie@southcapitalpartners.com

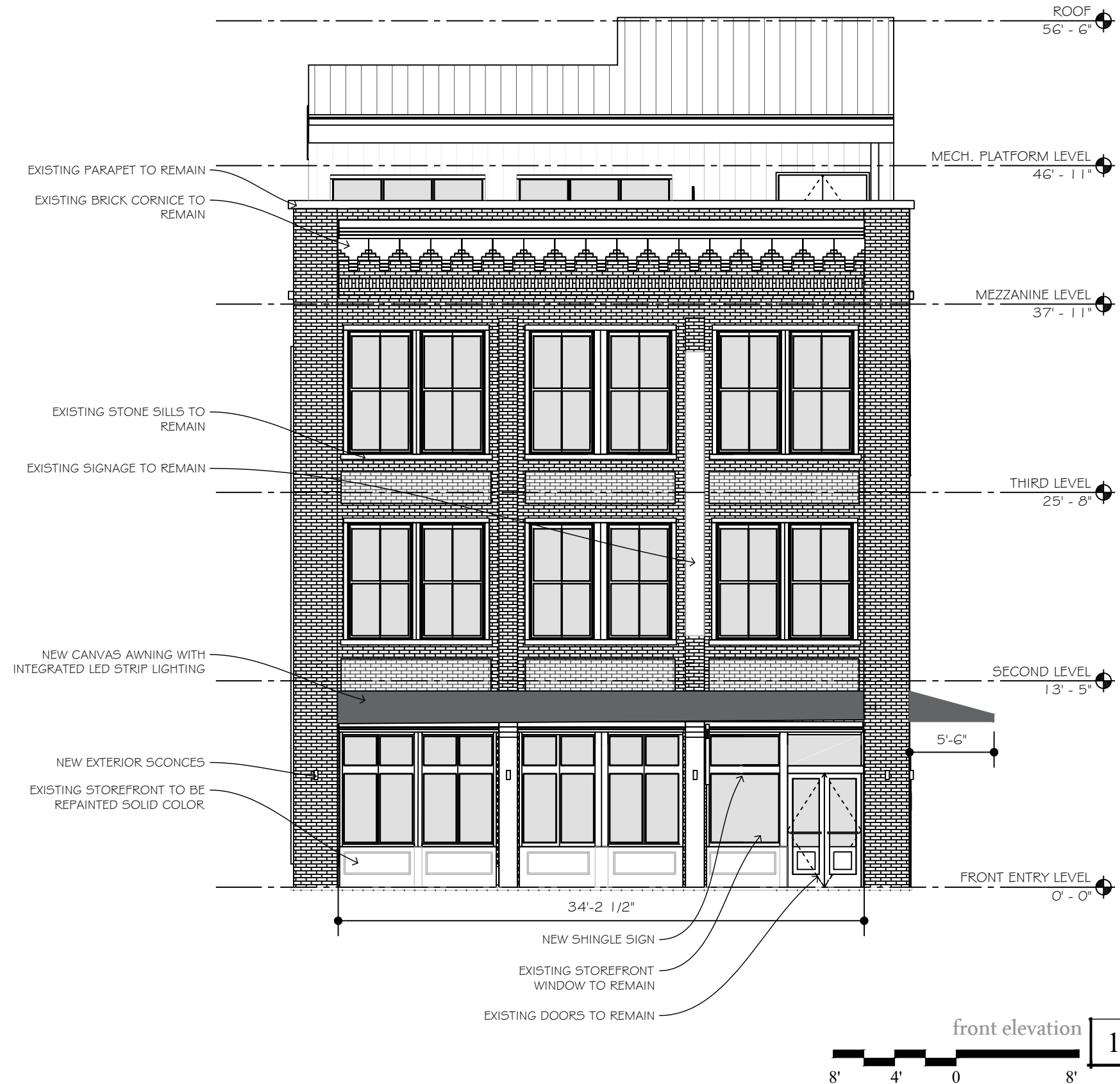
MAP LOCATION



drawing index:

- G0.0 GENERAL INFORMATION
- A1.1 FRONT ELEVATION
- A1.2 RIGHT SIDE ELEVATION
- A1.3 FLOOR PLANS
- A1.4 EXISTING CONDITIONS
- A1.5 RENDERINGS

EXTERIOR SCNCE
 MANUFACTURER: DELTALIGHT
 PRODUCT: MONO II DOWN-UP LED 1 930
 DIMENSIONS: 2-3/16"W X 7-1/16"H X 3"D
 FINISH: DARK GREY



CONTRACT DOCUMENTS

LINES interiors + architecture



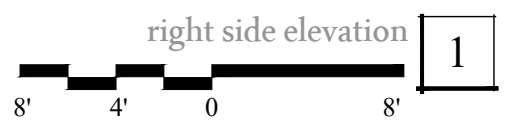
THE VALENTINE
 312 Broadway
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front elevation

A1.1

april 30 2021
 LINES-2002.1

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lighting schedule

EXTERIOR SCONCE
 MANUFACTURER: DELTALIGHT
 PRODUCT: MONO II DOWN-UP LED 1 930
 DIMENSIONS: 2-3/16"W X 7-1/16" H X 3"D
 FINISH: DARK GREY

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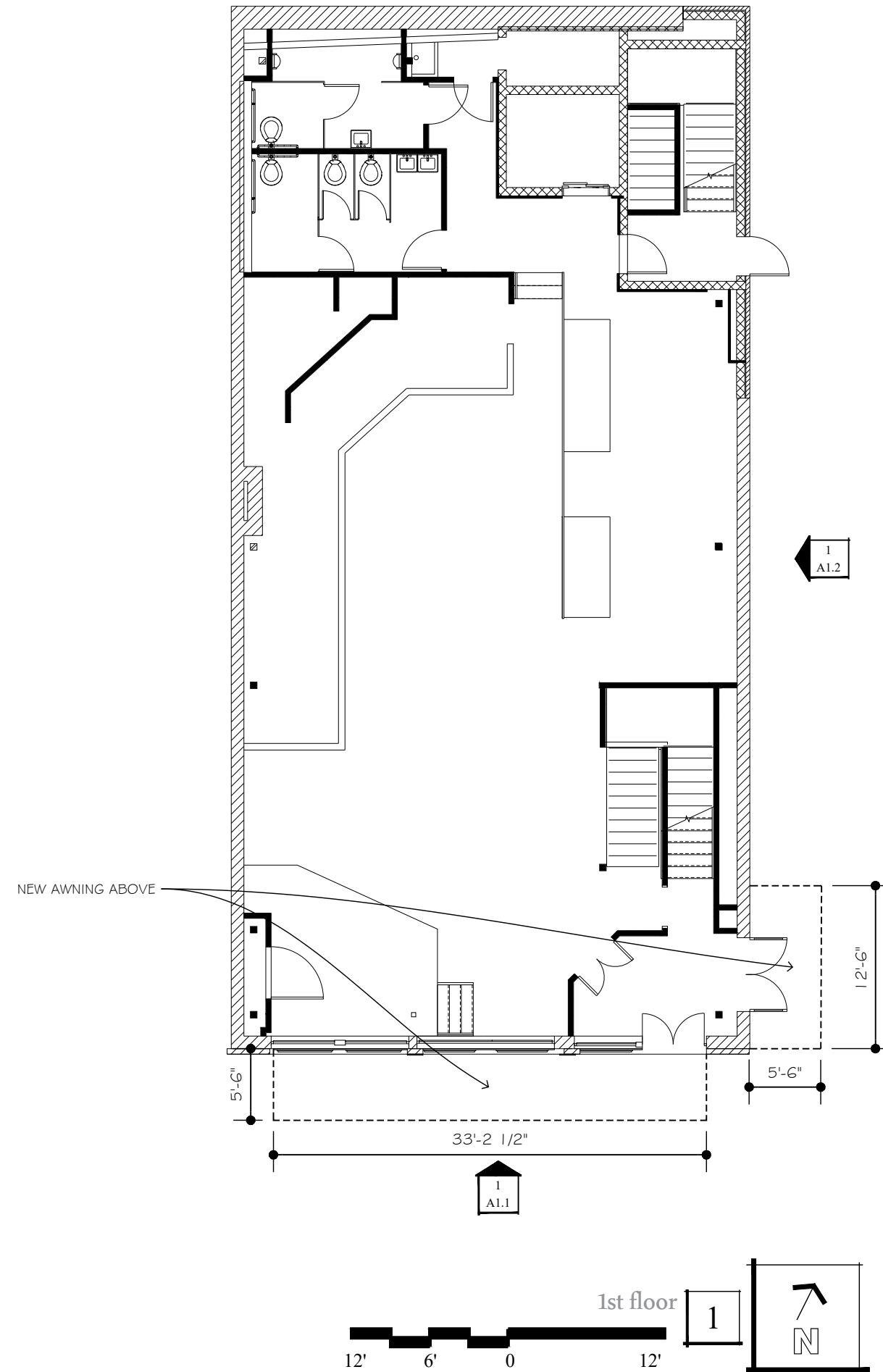
right side elevation
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 April 30 2021
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architectural plan symbols

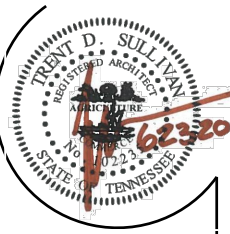


ELEVATION TAG:
Elevation Reference
Sheet Reference



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floor plans

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front facade 1



right facade 2

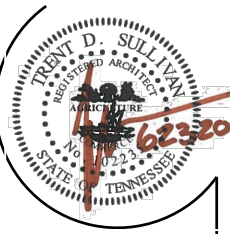


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existing conditions

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renderings
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