

JOHN COOPER  
MAYOR



**METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY**

Metropolitan Historic Zoning Commission  
Sunnyside in Sevier Park  
3000 Granny White Pike  
Nashville, Tennessee 37204  
Telephone: (615) 862-7970

**STAFF RECOMMENDATION**  
**119 and 121 3<sup>rd</sup> Avenue South**  
**August 18, 2021**

**Application:** New Construction—Addition  
**District:** Broadway Historic Preservation Zoning Overlay  
**Council District:** 19  
**Base Zoning:** DTC  
**Map and Parcel Number:** 09306403000 and 09306403100  
**Applicant:** Stewart Dorn, Remick Architecture  
**Project Lead:** Melissa Baldock, melissa.baldock@nashville.gov

<p><b>Description of Project:</b> Applicant proposes two rooftop additions; one over 119 3<sup>rd</sup> Avenue South and one over 121 3<sup>rd</sup> Avenue South.</p> <p><b>Recommendation Summary:</b> With the condition that staff approve all final material choices prior to purchase and installation, staff finds that the proposed rooftop additions meets Section III. of the design guidelines for the Broadway Historic Preservation Zoning Overlay.</p>	<p><b>Attachments</b> <b>A:</b> Site Plan <b>B:</b> Elevations</p>
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**Vicinity Map:**



**Aerial Map:**



## Applicable Design Guidelines:

### III. New Construction.

#### G. Guidelines: Relationship of Materials, Texture, Details, and Material Color

The relationship and use of materials, texture, details and material colors of a new building's public facades shall be visually compatible with or similar to those of adjacent buildings, or shall not contrast conspicuously.

Masonry materials were primarily used in the historic district, and should continue to be predominant. Contemporary materials may be used if they possess characteristics similar in scale, design, finish, texture, durability, and detailing to historic materials and meet *The Secretary's Standards*. Exterior Insulation Finish Systems and vinyl are not appropriate exterior materials.

3. Wood, brick, stone, and metal were used for window, door and storefront surrounds and should be used for new buildings.
4. Storefront façade materials may vary in keeping with the materials of the existing buildings. Stone, glazed tile, painted wood, and brick are all appropriate materials.
5. Tinted glass, reflective glass, or colored glass may not be used for windows.
6. Large expanses of featureless materials are not appropriate.
7. The color of new building materials should be compatible with historic buildings within the district.

#### I. Additions to Existing Buildings

1. Additions to existing buildings should be compatible in scale, materials, and texture; additions should not be visually jarring or contrasting. Additions to historic buildings should be minimal. Additions normally not recommended on historic structures may be appropriate for non-historic buildings, if the addition will result in a building that is more compatible with the district.
2. Rooftop additions should not exceed one story (or 15') in height and should be set back a minimum of 30 feet from the main façade of the building and 20 feet from the secondary street if it is a corner building.

*Rooftop railings and decking should sit back from each street facing wall by a minimum of 8'. Railings should not be used to support additional elements such as speakers, lighting, plants or signage.*

*In locations where railings are visible from the street, the materials should minimize the impact of the railing.*

*Materials such as butt-joint glass or horizontal steel cable, Additions should not obscure or contribute to the loss of historic character-defining features or materials.*

**Background:** 119 and 121 3<sup>rd</sup> Avenue South are two separate structures. 121 3<sup>rd</sup> Avenue South is a two-story commercial structure constructed c. 1890 (Figure 1). 119 3<sup>rd</sup> Avenue South is a two-story commercial structure constructed c.1920 (Figure 2). Both structures contribute to the Broadway Historic Preservation Zoning Overlay.

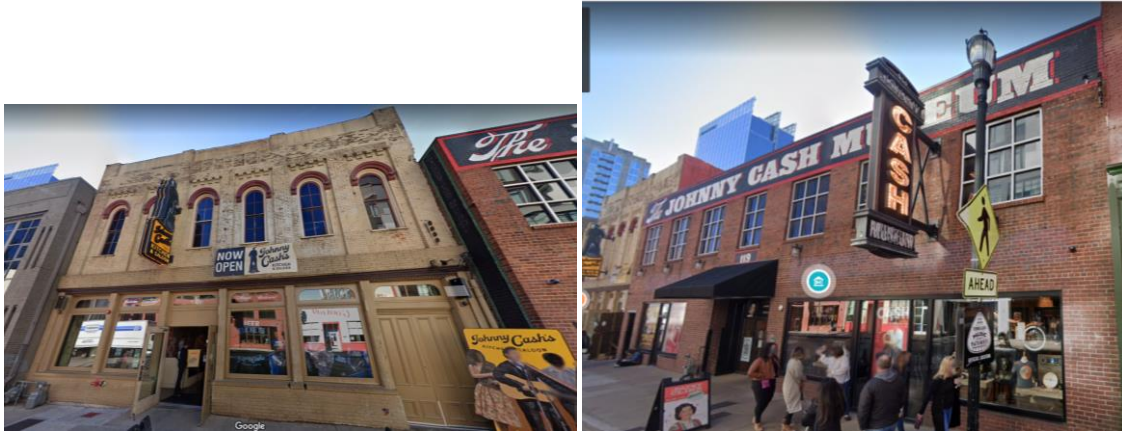


Figure 1 (left) is 121 3<sup>rd</sup> Avenue South. Figure 2 (right) is 119 3<sup>rd</sup> Avenue South.

**Analysis and Findings:** Applicant proposes two rooftop additions; one over 119 3<sup>rd</sup> Avenue South and one over 121 3<sup>rd</sup> Avenue South.

Rooftop Additions Height, Scale and Setback. Rooftop additions are proposed for both 119 and 121 3<sup>rd</sup> Avenue South. Although both historic structures are two-stories in scale, they are different heights. 121 3<sup>rd</sup> Avenue South is approximately ten feet (10') taller than 119 3<sup>rd</sup> Avenue South. Most of the rooftop additions on both structures meet the requirement that the rooftop addition should not be taller than one story and fifteen feet (15') above any parapet. The rooftop additions also meet the requirement that they be stepped back thirty feet (30') from the front façade.

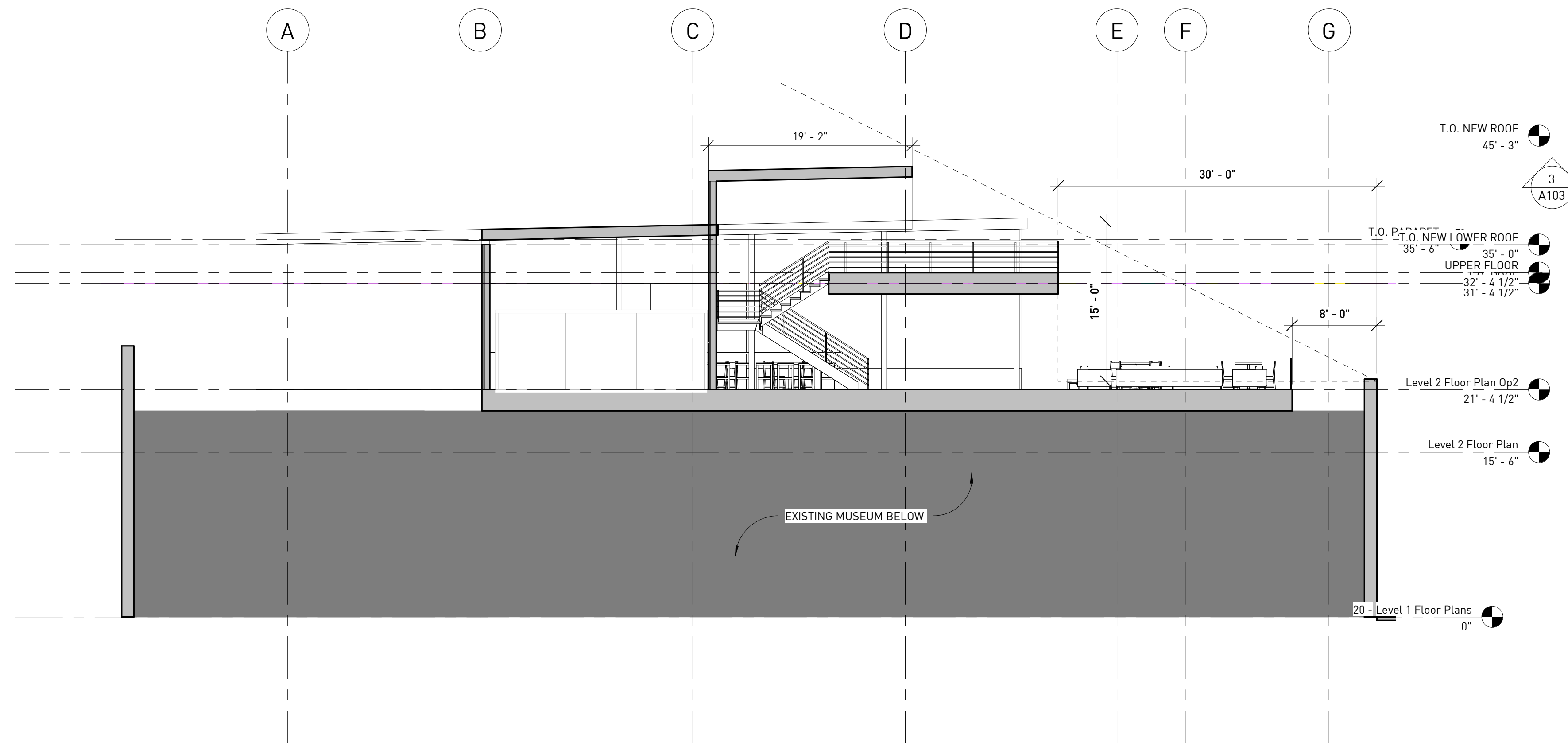
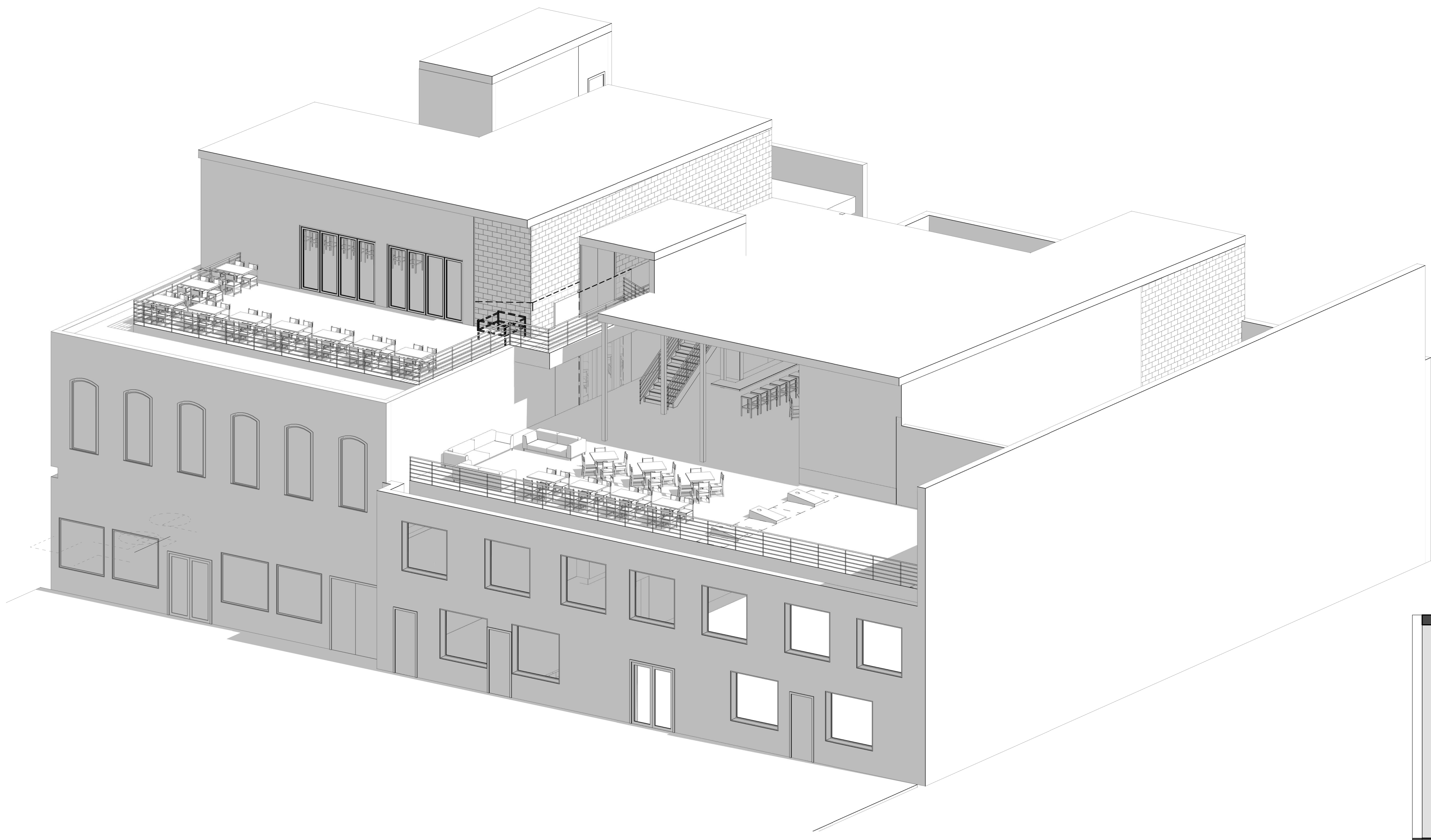
Because the two roofs are at separate heights, share the same owner, and the owner wishes to connect the two rooftop spaces, there is a small portion of the rooftop addition over 119 3<sup>rd</sup> Avenue South that exceeds the fifteen foot (15') tall requirement and is twenty-five feet (25') tall. Staff finds this taller portion to be appropriate in this instance for two reasons. One, the taller portion only covers a small portion of the roof over 119 3<sup>rd</sup> Avenue south – it is just approximately ten feet (10') wide, whereas the overall width of the roof is close to eighty feet (80'). And two, the application has stepped this taller portion of the addition back approximately forty-five feet (45'), helping to reduce its visibility and impact on the scale of the historic structure. Overall, staff finds that this taller portion is modest in scale and will not be highly visible.

The project includes rooftop railings that are stepped back at least 8' from the front wall.

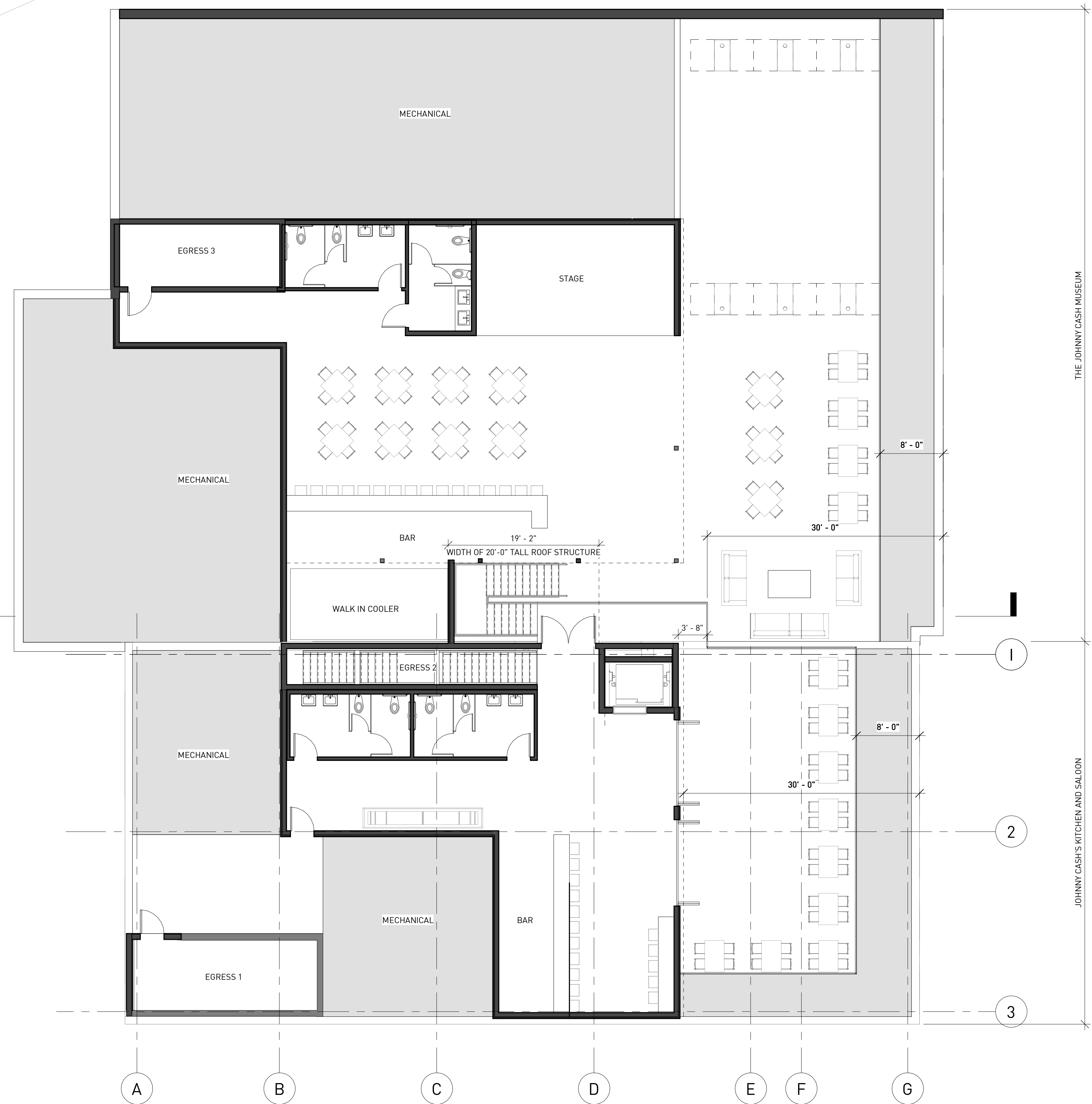
Staff finds that the proposed rooftop additions to meet Section III.I. of the design guidelines.

Materials: The materials for the rooftop structure and railings have not yet been determined, but the applicant indicated that they will be largely steel and glass. Staff finds that these materials would be appropriate for a rooftop addition but recommends approval of all final material choices prior to purchase and installation in order to ensure they meet Section III.G. of the design guidelines.

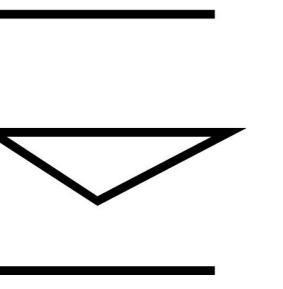
**Recommendation Summary:** With the condition that staff approve all final material choices prior to purchase and installation, staff finds that the proposed rooftop additions meets Section III. of the design guidelines for the Broadway Historic Preservation Zoning Overlay.



3 SECTION AT NEW STAIR  
1/8" = 1'-0"



1 UPPER FLOOR  
1/8" = 1'-0"



FOR REFERENCE

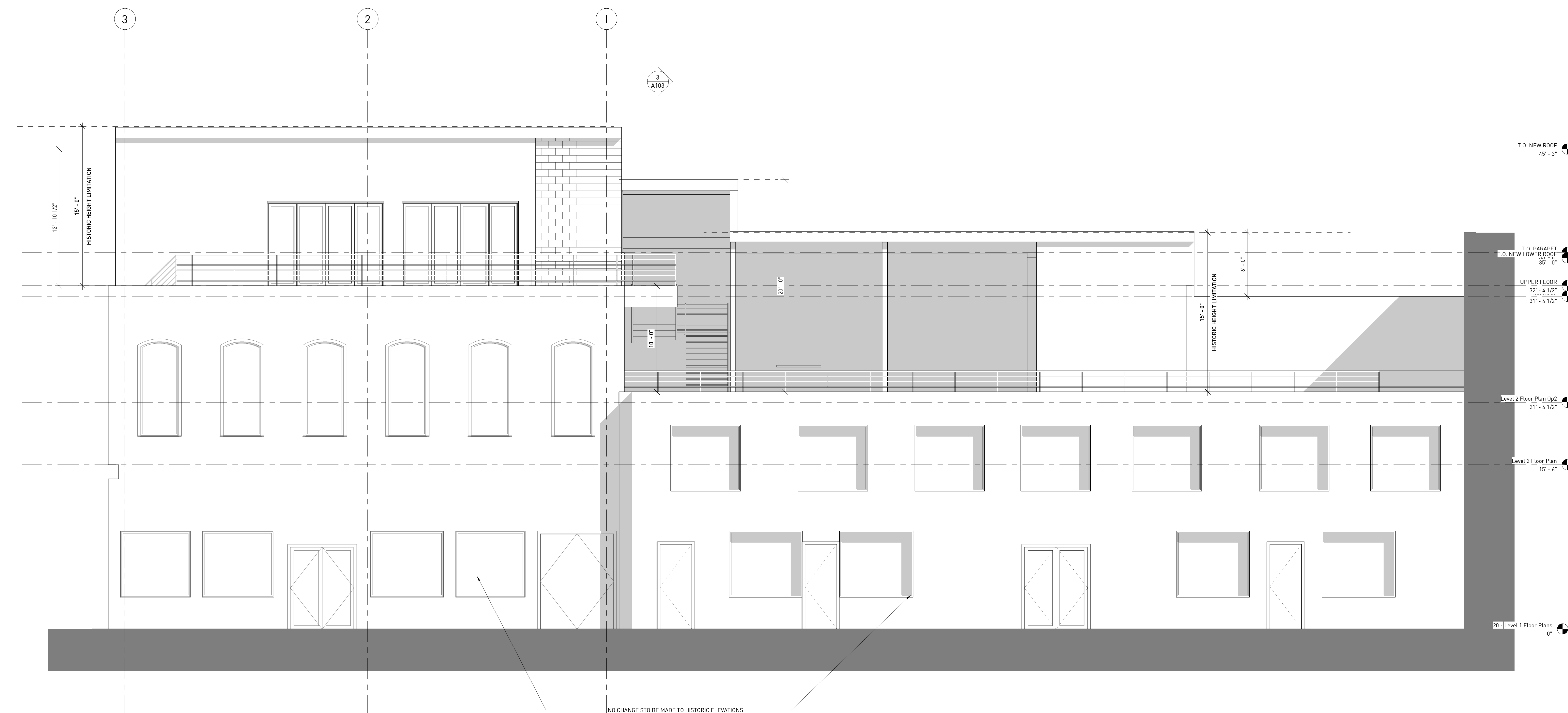
JOHNNY CASH ROOFTOP

RA PROJECT #2126  
121.3RD AVE S  
NASHVILLE, TN 37201

ROOFTOP ADDITION

A103

SCHEMATIC DESIGN  
07/27/2021



1 3RD AVE ELEVATION  
1/4" = 1'-0"

FOR REFERENCE

JOHNNY CASH ROOFTOP  
RA PROJECT #2126  
121.3RD AVE S  
NASHVILLE, TN 37201

ELEVATION

**A104**  
SCHEMATIC  
DESIGN  
07/27/2021