

JOHN COOPER  
MAYOR



**METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY**

Metropolitan Historic Zoning Commission  
Sunnyside in Sevier Park  
3000 Granny White Pike  
Nashville, Tennessee 37204  
Telephone: (615) 862-7970  
Fax: (615) 862-7974

**STAFF RECOMMENDATION**

**1405 Russell Street**

**August 18<sup>th</sup>, 2021**

**Application:** New Construction-Addition/Materials

**District:** Lockeland Springs-East End Neighborhood Conservation Zoning Overlay

**Council District:** 06

**Base Zoning:** R6

**Map and Parcel Number:** 08313027500

**Applicant:** Brandon Lecompte, Lotus Builders

**Project Lead:** Melissa Baldock, melissa.baldock@nashville.gov

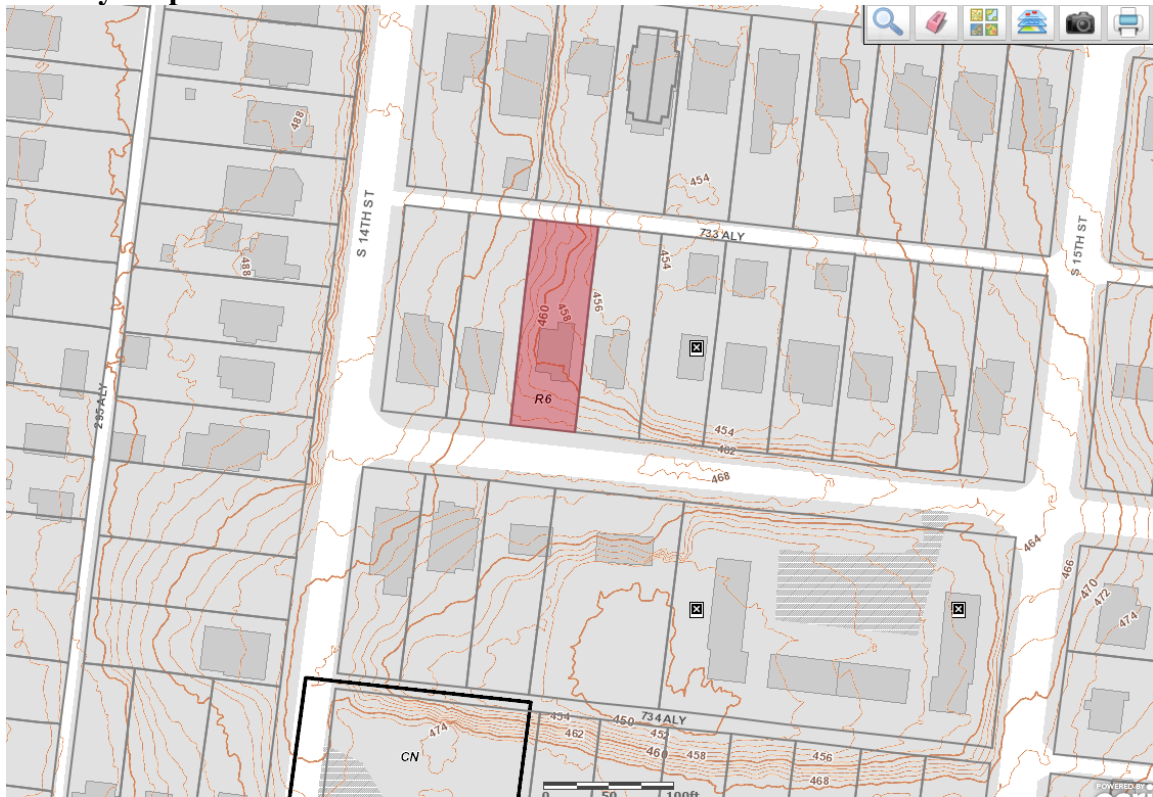
**Description of Project:** The applicant proposes to use embossed siding and vinyl windows, which are not approved in the Lockeland Springs-East End Neighborhood Conservation Zoning Overlay.

**Recommendation Summary:** Staff recommends disapproval of the request to use embossed siding and vinyl windows, finding that these materials do not meet Section II.B.4. of the *Lockeland Springs-East End Neighborhood Conservation Zoning Overlay: Handbook and Design Guidelines* nor Section IV. (Materials) of Part I of the design guidelines for the turn of the 20<sup>th</sup> century districts and the Lockeland Springs-East End chapter of Part II. of the consolidated design guidelines.

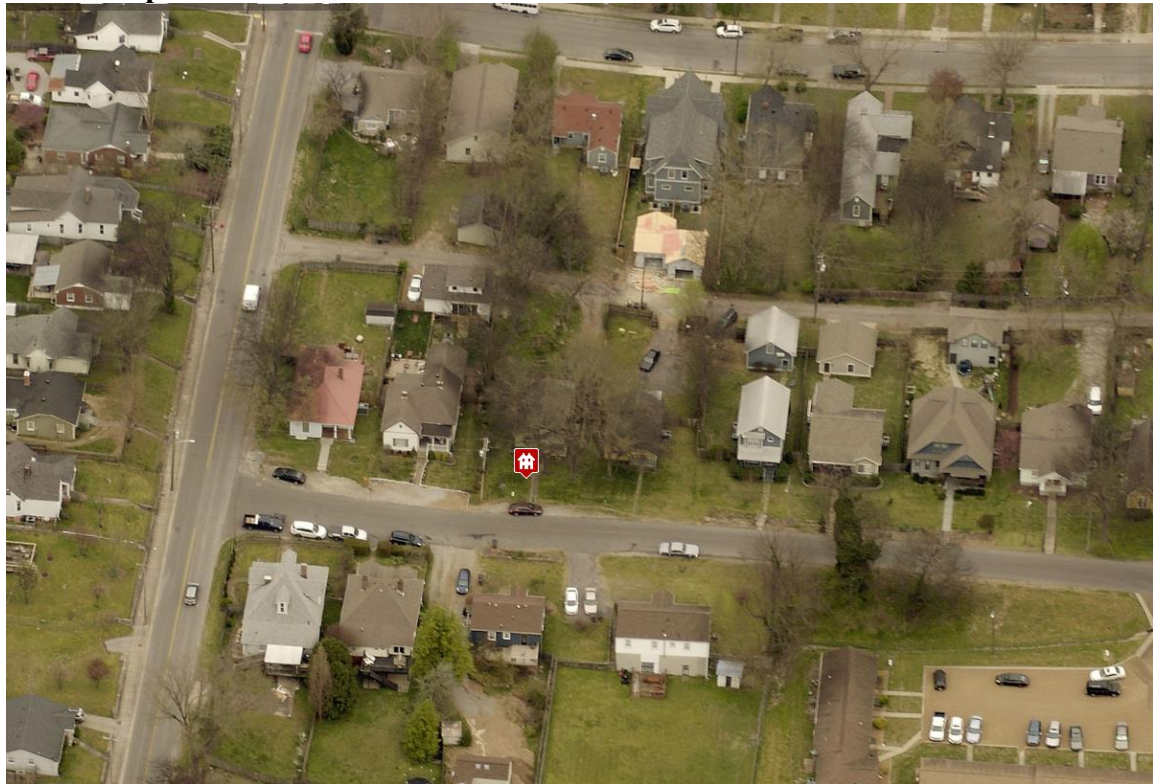
**Attachments**

A: Preservation Permit  
2021002974

**Vicinity Map:**



**Aerial Map:**



## Applicable Design Guidelines:

### Lockeland Springs-East End Neighborhood Conservation Zoning Overlay: Handbook and Design Guidelines (Guidelines applied prior to May 20<sup>th</sup>, 2021)

#### II.B. New Construction

##### 4. Relationship of Materials, Textures, Details, and Material Colors

The relationship and use of materials. Textures, details, and material color of a new building's public facades shall be visually compatible with and similar to those of adjacent buildings, or shall not contrast conspicuously.

*T-1-11- type building panels, "permastone", E.F.I.S. and other artificial siding materials are generally not appropriate. However, pre-cast stone and cement fiberboard siding are approvable cladding materials for new construction; but pre-cast stone should be of a compatible color and texture to existing historic stone clad structures in the district; and cement fiberboard siding, when used for lapped siding, should be smooth and not stamped or embossed and have a maximum of a 5" reveal. The reveal for lap siding should not exceed 5". Larger reveals may be possible but should not exceed 8" and shall have mitered corners.*

*Shingle siding should exhibit a straight-line course pattern and exhibit a maximum exposure of seven inches (7").*

*Four inch (4") nominal corner boards are required at the face of each exposed corner.*

*Stud wall lumber and embossed wood grain are prohibited.*

*Belt courses or a change in materials from one story to another are often encouraged for large two-story buildings to break up the massing.*

*When different materials are used, it is most appropriate to have the change happen at floor lines.*

*Clapboard sided chimneys are generally not appropriate. Masonry or stucco is appropriate.*

*Texture and tooling of mortar on new construction should be similar to historic examples.*

*Asphalt shingle is an appropriate roof material for most buildings. Generally, roofing should not have strong simulated shadows in the granule colors which results in a rough, pitted appearance; faux shadow lines; strongly variegated colors; colors that are too light (e.g.: tan, white, light green); wavy or deep color/texture used to simulate split shake shingles or slate; excessive flared form in the shingle tabs; uneven or sculpted bottom edges that emphasize tab width or edges, unless matching the original roof.*

*Primary entrances should be 1/2 to full-light doors. Faux leaded glass is inappropriate.*

*Generally front doors should be 1/2 to full-light. Faux leaded glass is inappropriate.*

### Neighborhood Conservation Zoning Design Guidelines for turn-of-the-20th Century Districts: Part I (Guidelines applied after May 20<sup>th</sup>, 2021)

#### IV. MATERIALS, TEXTURE, DETAILS & MATERIAL COLOR

Please see "Partial Demolition" for replacement siding.

A. Specific materials are italicized so that the list can be revised as more materials become available and as the quality and workability of existing materials improves. Materials listed are to provide general guidance to applicants based on the Commission's past decisions. Applicants are always welcome to propose new materials not listed as "appropriate" or re-propose materials listed as "inappropriate."

B. The texture, details, and dimensions of new materials for replacement or new construction shall be visually compatible, by not contrasting greatly, with surrounding historic buildings. Replacement materials should mimic historic materials in texture, dimensions, and workability. Materials that create a false version of a historic material

are not appropriate. For instance, a “wood-grain” fiber-cement lap siding creates a texture that did not exist historically, as wood cladding historically had a smooth finish.

1. Paint color and roof color are not reviewed. The inherent color, texture and dimensions of masonry is reviewed. *It is recommended that if multiple colors are used for a roof that they be used to create a pattern, as seen historically, rather than creating a “speckled” or random design.*

2. *INAPPROPRIATE materials include:*

Foundations

- *Stone veneer without mortar*
- *Smooth concrete block without a parge coating*

Cladding

- *Synthetic sidings such as vinyl, aluminum, permastone and E.F.IS.*
- *T-1-11- type building panels*
- *Stud wall lumber*
- *Embossed wood grain*
- *Unpainted or unstained wood*

Chimneys

- *Fiber cement panels*
- *Lap siding*

Roofing

- *Corrugated metal*
- *Snap-lock standing seam metal with big seams*
- *Metal made to look like a traditional materials such as wood shingles, slate or clay/terra cotta*

-

Windows

- *Brass comes on leaded or stained glass windows.*

3. *APPROPRIATE materials include:*

Foundations

- *Continuous or piers of pre-cast stone, split-face concrete block, parge coated concrete block, or brick as long as the primary cladding is not the same material as the foundation*
- *Foundation lines should be visually distinct from the predominant exterior wall material. This is typically accomplished with a change in material at the floor line.*

Cladding

- *Smooth-finished cement fiberboard or smooth-finished wood lap sidings are both appropriate. The siding should be not be stamped or embossed and the reveal should not exceed 7”. Wider reveals may be appropriate if a wider reveal meets the immediate historic context and if the building is only one-story with mitered corners rather than a corner board, to be in keeping with typical conditions of historic wide siding reveals.*
- *Shingle siding is only appropriate as an accent material, an upper level, or a feature such as a bay.*
- *Fiber-cement or wood panels, board-and-batten, and half-timbering are only appropriate as accent materials such as cladding for a bay, a gable field or an upper level.*
- *When different cladding materials are used on one building, it is most appropriate to have the change happen at floor lines.*

- *Masonry cladding should have the color, dimensions, textures, and mortar tooling of like historic examples. Four inch (4") nominal corner boards are required at the face of each exposed corner of a frame building, unless the lap siding is mitered.*
- *All wood, or materials to substitute for wood, should be milled and painted, with the exception of shingles which could be painted or stained.*

#### Chimneys

- *Masonry or stucco is appropriate for chimneys.*

#### Roofing

- *Asphalt and architectural shingles, slate and slate substitutes, and metal are appropriate roofing materials. Clay tile, or clay tile substitutes may be appropriate in areas where this a common historic roofing material.*
- *Clay tile ridges are appropriate.*
- *Types of appropriate metal roofing include 5-V, low-profile snap-lock, rolled standing seam*

#### Trim & Architectural Features

- *All wood or materials to substitute for wood should be milled and painted.*
- *Composite materials are appropriate for trim and decking*

C. Windows with single-light sashes are appropriate for new construction. If using multi-light sashes, muntins should be fully simulated and bonded to the glass, and exhibit an interior bar, exterior bar, as well as a spacer between glass panes.

D. Four inch (nominal) casings are required around doors, windows, and vents on non-masonry buildings. Trim should be thick enough to extend beyond the clapboard. Paired and ribbons of multiple single- or double-hung windows should have a four inch to six inch (4" to 6") mullion in between each window.

E. Brick moulding is required around doors, windows, and vents within masonry walls but is not appropriate on non-masonry buildings.

**Background:** 1405 Russell is a c.1951-57 front-facing gabled house that does not contribute to the historic character of the Lockeland Springs-East End Neighborhood Conservation Zoning Overlay (Figure 1). Although the Property Assessor’s page states that the house is from c. 1930, staff’s review of the 1950s Sanborn maps shows that the house was not extant in 1951 but it does appear by 1957 (Figures 2 & 3). The house is a 1950s house.



Figure 1. 1405 Russell Street.

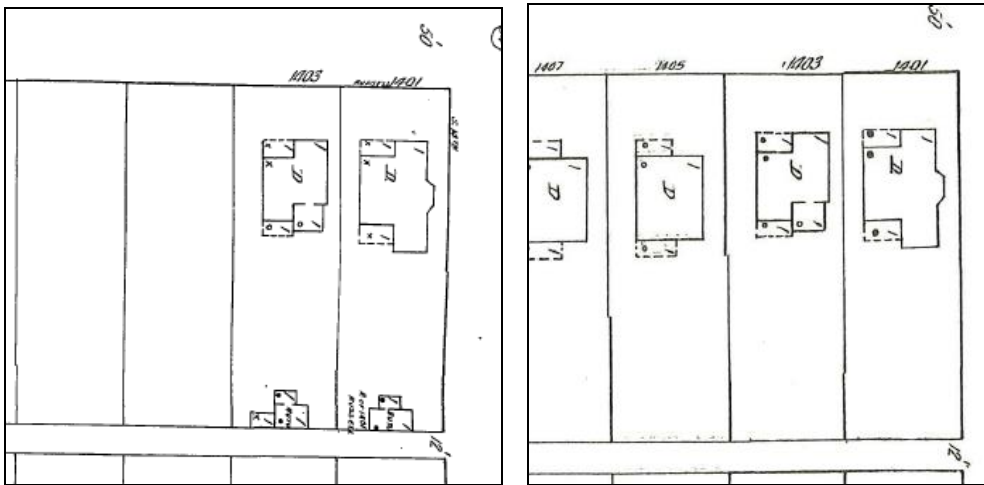


Figure 2 (left) is the c. 1951 Sanborn map. 1405 Russell does not appear on this map. Figure 3 (right) is the 1957 Sanborn map. 1405 Russell does appear on this map.

MHZC approved an addition to 1405 Russell in July 2019. The addition was not constructed prior to March 2020, when the house was damaged by the March 3, 2020 tornado. (Figures 4 & 5). After the tornado, MHZC issued a permit to rebuild the front porch and make other roof repairs. At that time, MHZC did not review the replacement of windows and siding in conservation overlays like Lockeland Springs. As such, the owner replaced the siding with wide embossed siding and the windows with vinyl windows (Figure 6 & 7).



Figure 4 (left) shows 1405 Russell Street prior to the tornado. Figure 5 (right) shows the house after the 2020 tornado damage.



Figures 6 & 7 show the siding and the windows installed after the tornado.

By January 2021, the permit for the addition to 1405 Russell Street expired. MHZC cancelled that permit and issued a new permit for the addition. In April 2021, the Commission adopted new design guidelines for the Lockeland-Springs East End Neighborhood Conservation Zoning Overlay; these design guidelines became effective May 20, 2021.

**Analysis and Findings:** The applicant proposes to use embossed siding and vinyl windows, which are not approved in the Lockeland Springs-East End Neighborhood Conservation Zoning Overlay.

Since the design guidelines have been updated and revised in between the time the permit was issued for the addition and time when staff received the request to install materials, staff will analyze the proposed materials under both sets of design guidelines.

Siding. The existing house's siding is the Select Cedarmill Hardie Plank (cement fiberboard) line with an eight and one-fourth inch (8 ¼") size which results in a seven inch (7") reveal. This siding is embossed with a wood grain texture. The applicant would like to use this siding on the addition as well.

The design guidelines that were in effect when this preservation permit was issued state, *"cement fiberboard siding, when used for lapped siding, should be smooth and not stamped or embossed and have a maximum of a 5" reveal. The reveal for lap siding should not exceed 5"."*

The design guidelines that became effective in May 2021 now state, *"Smooth-finished cement fiberboard or smooth-finished wood lap sidings are both appropriate. The siding should be not be stamped or embossed and the reveal should not exceed 7".*" It further lists embossed wood grain siding as an inappropriate material.

Both sets of design guidelines specifically require smooth lap siding and prohibit embossed lap siding for additions. Because the design guidelines now in effect allow for a seven inch (7") reveal, staff finds that the proposed reveal is appropriate but the embossed wood grain is not. Staff recommends that the Commission require smooth siding as the textured siding on the existing house could be replaced at some time with a material more appropriate for the district.

Windows. The existing house's windows are the YKK residential, style-view series / sliders. These are a vinyl window. (<https://www.ykkap.com/residential/product/slider-windows/styleview-slider-windows/#inspire=/quote/585ef1fc-4965-4a85-b2b1-f2e270dcb476/configure?brandID=4>). The applicant would like to use these windows in the addition.

Because window manufacturers and lines are updated frequently and new models come on the market at a fast pace, neither set of design guidelines provide specifics about window selection. However, the Commission's decision when it approved the addition in 2019 contained a condition that MHZC staff "approve the final details, dimensions and materials of windows and doors prior to purchase and installation."

Typically, when looking at windows, staff assesses the material, design/construction details; such as heat/solvent-welded mitered corners, and vent/weep-holes in the sash frames, type of grills, or the material does not allow for appropriate dimensions. There are very few vinyl windows that staff has found meets our window standards. In this



case, staff finds that the heat/solvent-welded mitered corners and vent/weep-holes in the sash frames do not meet MHZC's standards. In addition, the style of window should be a single- or double-hung rather than sliding windows, to be consistent with the historic context and past decisions.

Staff recommends disapproval of the YKK residential, style-view series / sliders, finding that they do not meet the standards of window choices for neighborhood conservation zoning overlay.

**Recommendation Summary:** Staff recommends disapproval of the request to use embossed siding and vinyl windows, finding that these materials do not meet Section II.B.4. of the *Lockeland Springs-East End Neighborhood Conservation Zoning Overlay: Handbook and Design Guidelines* nor Section IV. (Materials) of Part I of the design guidelines for the turn of the 20<sup>th</sup> century districts and the Lockeland Springs-East End chapter of Part II. of the consolidated design guidelines.



**\*3915815\***  
3915815

## METRO HISTORIC ZONING COMMISSION

Sunnyside at Sevier Park  
3000 Granny White Pike  
Nashville TN 37204  
(615) 862-7970  
historicalcommission@nashville.gov

### HISTORICAL COMMISSION PERMIT - 2021002974

Entered on: 15-Jan-2021

**Historic District:** Lockeland Springs-East End

**Site Address**

1405 RUSSELL ST  
NASHVILLE TN, 37206

**Parcel Owner**

LEVY, NATHAN  
1405 RUSSELL ST  
NASHVILLE, TN 37206

**Purpose:** Construct Rear Addition. This addition replaces HCP 2019039071, which expired.

**ROOFING**

- Roofing material shall be asphalt composite shingles. Color shall match existing or if not, it shall be approved by the MHZC prior to purchase.
- Gutters shall be simple metal gutters.

**WINDOWS & DOORS**

- Windows shall have single-light or fully-simulated, divided-light sashes. Muntins are to be factory installed with an exterior muntin, interior muntin, and a spacer within the double-paned glass. Window manufacturer and type must be approved by MHZC staff prior to installation. Double and triple windows shall have a 4" to 6" mullion between.
- Door manufacturer and type must be approved by MHZC staff prior to installation.
- Four (4) inch (nominal) wood casings are required around doors, windows, and vents within clapboard walls.
- Windows on clapboard structures shall not have brick-mold.

**SIDING & TRIM**

- Siding and trim shall be wood or smooth-faced, cement-fiberboard (e.g.: Hardiplank). If siding exposure is not matched to that of the existing house, then it shall have a maximum reveal of five (5) inches.
- 4 inches (nominal) wood corner-boards are required at the face of each exposed corner.

**HVAC**

- HVAC/Mechanical/Utility vents, pipes, lines, and all associated components, condensers or boxes shall be located behind the midpoint of the structure on a non-street facade.

**GENERAL SPECIFICATIONS**

- Alterations to be constructed in accordance with attached elevations. Any deviation from the approved plans could result in changes being reversed to reflect the approved drawings. Please note: MHZC staff may have added notes to the submitted drawings.
- All measurements and relationships of existing conditions and new construction shall be field checked for accuracy with approved plans at the responsibility of the applicant. Inaccuracies or differences should be reported to MHZC staff prior to continuing with the project.
  - Any substitutions or deviation from the approved work requires further review and approval by the MHZC PRIOR to work being undertaken.
- The work items listed are approved in accordance with the adopted design guidelines and are NOT applicable beyond the unique facts and circumstances of this particular application.
  - This permit becomes invalid TWELVE months after issue date. Expired permits must be reissued prior to work being undertaken.
- Removal of cladding, windows and roofing on the existing building all-together is "partial-demolition" and must be reviewed by the MHZC prior to work taking place.

Approval of design should not be considered approval of a particular use. - THIS IS NOT A BUILDING PERMIT. No work can begin without the appropriate review and approval by the Metropolitan Department of Codes Administration: Howard School Building Campus (615) 862-6500.

**APPLICANT:** Nathan Levy

**Activities to be Completed - Call: (615) 862-7970 or Email: [historicalcommission@nashville.gov](mailto:historicalcommission@nashville.gov)**

**REVIEWS REQUIRED:**

ROOFING COLOR APPROVAL PRIOR TO INSTALL - HZ

WINDOWS APPROVAL PRIOR TO INSTALL - HZ

DOOR APPROVAL PRIOR TO INSTALL - HZ

MASONRY APPROVAL PRIOR TO INSTALL - HZ

HVAC LOCATION - HZ

**INSPECTIONS REQUIRED:**

FIELD STAKING INSPECTION - HZ

FOUNDATION CHECK INSPECTION - HZ

ROUGH FRAMING INSPECTION - HZ

PROGRESS INSPECTION – HZ

FINAL INSPECTION – HZ

**Issued Date:** 15-Jan-2021

**Issued By:** Melissa Baldock

REV	DATE	DESCRIPTION
△		
△		

CONSTRUCTION  
DRAWINGS

PLOT TO FULL SCALE  
ON 22" X 34" PAPER

PLOT TO HALF SCALE  
ON 11" X 17" PAPER

SCALE: AS NOTED

A100

SITE PLAN AND  
DEMOLITION PLAN

**MHHC NOTES; CALL (615) 862-7970 FOR QUESTIONS**

- Structure to be constructed in accordance with attached scaled site plan and elevations. Any deviation from the approved plans could result in **changes being reversed** to reflect the approved drawings. Any alterations, whether or not approved by other Metro Departments, must be communicated to MHZC for a revision of the permit prior to construction or material purchase.
- All measurements and relationships of existing conditions and new construction shall be field checked for accuracy with approved plans at the responsibility of the applicant. Inaccuracies or differences should be reported to MHZC staff prior to continuing with the project.
- Exterior finish materials shall be trim grade (smooth and square). Stud wall lumber or embossed wood grain is not appropriate.
- Windows shall be single-light or fully simulated, divided light sashes. Muntins are to be factory installed with an exterior muntin, interior muntin and a spacer bar within the double paned-glass. Snap-in or between the glass muntins are never appropriate. Double and triple windows shall have 4" to 6" mullions between.
- Four (4) inch (nominal) wood casings are required around doors, windows and vents within clapboard walls. Windows on clapboard structures shall not have brick-mold.
- Removal all of the cladding, windows, doors and roofing on a contributing house is considered partial demolition and must be reviewed by the MHZC. Removal of one of these items alone, in a neighborhood conservation zoning overlay, is not reviewed.
- Retention of original casings and replacement of just window sashes is encouraged where window replacement is necessary.
- Alteration of original windows sizes is considered partial demolition and must be reviewed by the MHZC.
- HVAC/Mechanical/Utility vents, pipes, lines, and all associated components, condensers or boxes shall be located behind the midpoint of the structure on a non-street facade.
- For non-masonry buildings, siding and trim shall be wood or smooth-faced, cement-fiberboard (e.g.: Hardiplank). If siding exposure is not matched to that of the existing house, then it shall have a maximum reveal of five (5) inches.
- For non-masonry buildings, 4 inches (nominal) wood corner-boards are required at the face of each exposed corner.

**MHHC INSPECTIONS & FINAL APPROVALS  
CALL 862-7970 FOR QUESTIONS AND TO  
SCHEDULE INSPECTIONS**

- Please refer to notes on page 1.
- Staff must approve the construction progress at the following points:
  - After the building footprint has been field staked
  - After the foundation wall has been constructed
  - After the rough framing has been completed
- The following must be submitted for final approval before purchase:
  - Windows and doors
  - Roof color


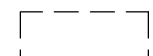

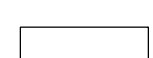
**SITE PLAN NOTES**

THIS SITE PLAN WAS SCALED AND CREATED FROM THE NASHVILLE PLANNING DEPARTMENT ONLINE PARCEL VIEWER. THE PROPERTY LINES AND EXISTING HOME LOCATION ARE ONLY APPROXIMATE.

THE SOLE PURPOSE OF THIS SITE PLAN IS TO SHOW THE APPROXIMATE LOCATION OF THE PROPOSED STRUCTURE AS IT RELATES TO THE BUILDING SETBACK AND PROPERTY LINES AND SHOULD NOT BE USED FOR CALCULATING IMPERVIOUS AREAS.

A BOUNDARY AND TOPOGRAPHICAL SURVEY WAS NOT PERFORMED AND IF REQUIRED FOR PERMITTING PURPOSES IT SHALL BE THE RESPONSIBILITY OF THE HOMEOWNER OR CONTRACTOR TO HIRE A LICENSED LAND SURVEYOR TO PERFORM THESE DUTIES.

**WALL TYPE LEGEND**

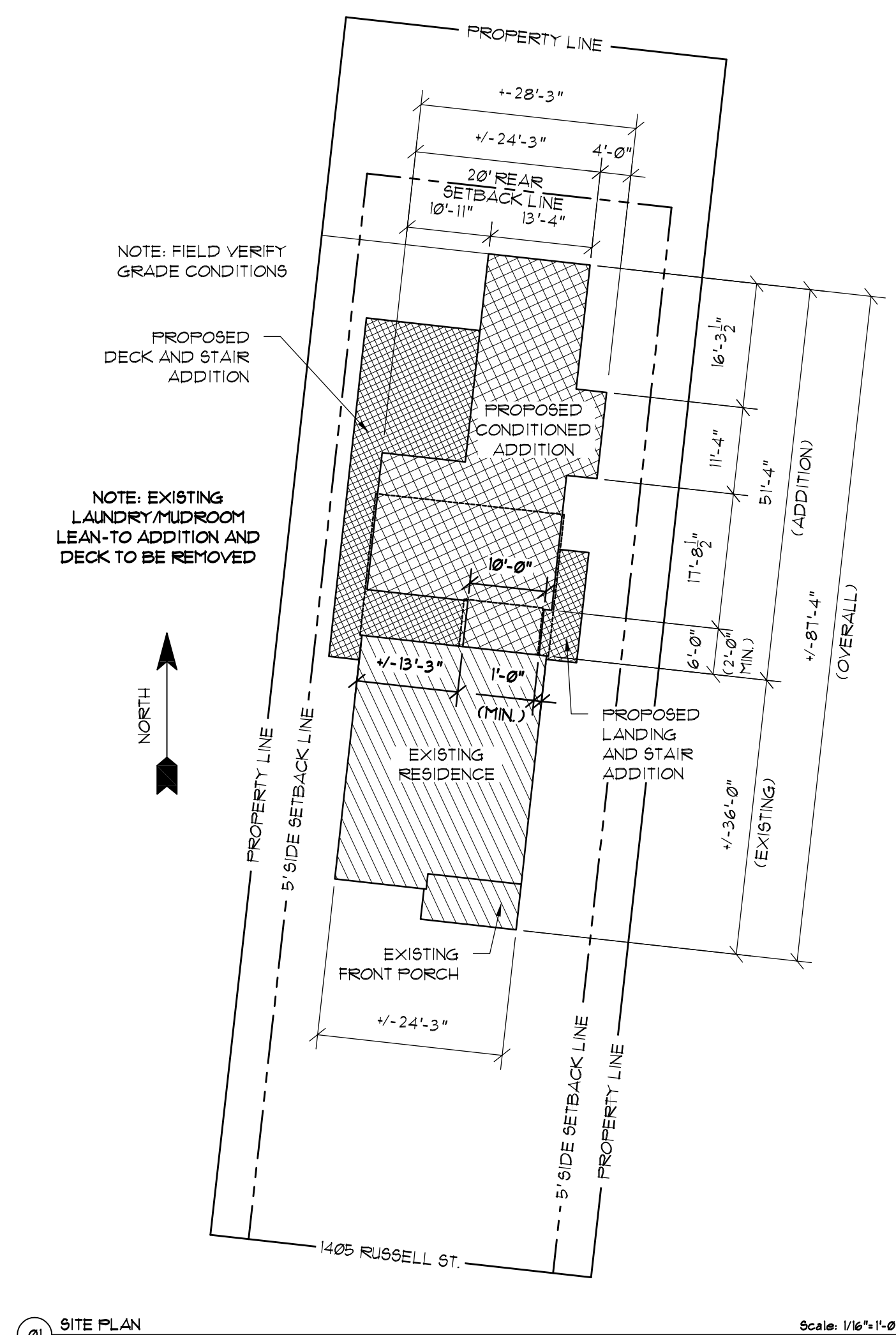
	EXISTING WALLS TO REMAIN
	WALLS TO DEMOLISH
	FILL EXISTING OPENINGS
	NEW WALLS

**AREA CALCULATIONS**

CONDITIONED AREA	
FIRST FLOOR EXISTING:	+/- 194 SF
FIRST FLOOR ADDITION:	+/- 914 SF
TOTAL CONDITIONED:	+/- 1108 SF
NON-CONDITIONED AREA	
EXISTING FRONT PORCH:	+/- 12 SF
TOTAL UNHEATED:	+/- 12 SF
TOTAL UNDER ROOF:	+/- 1120 SF

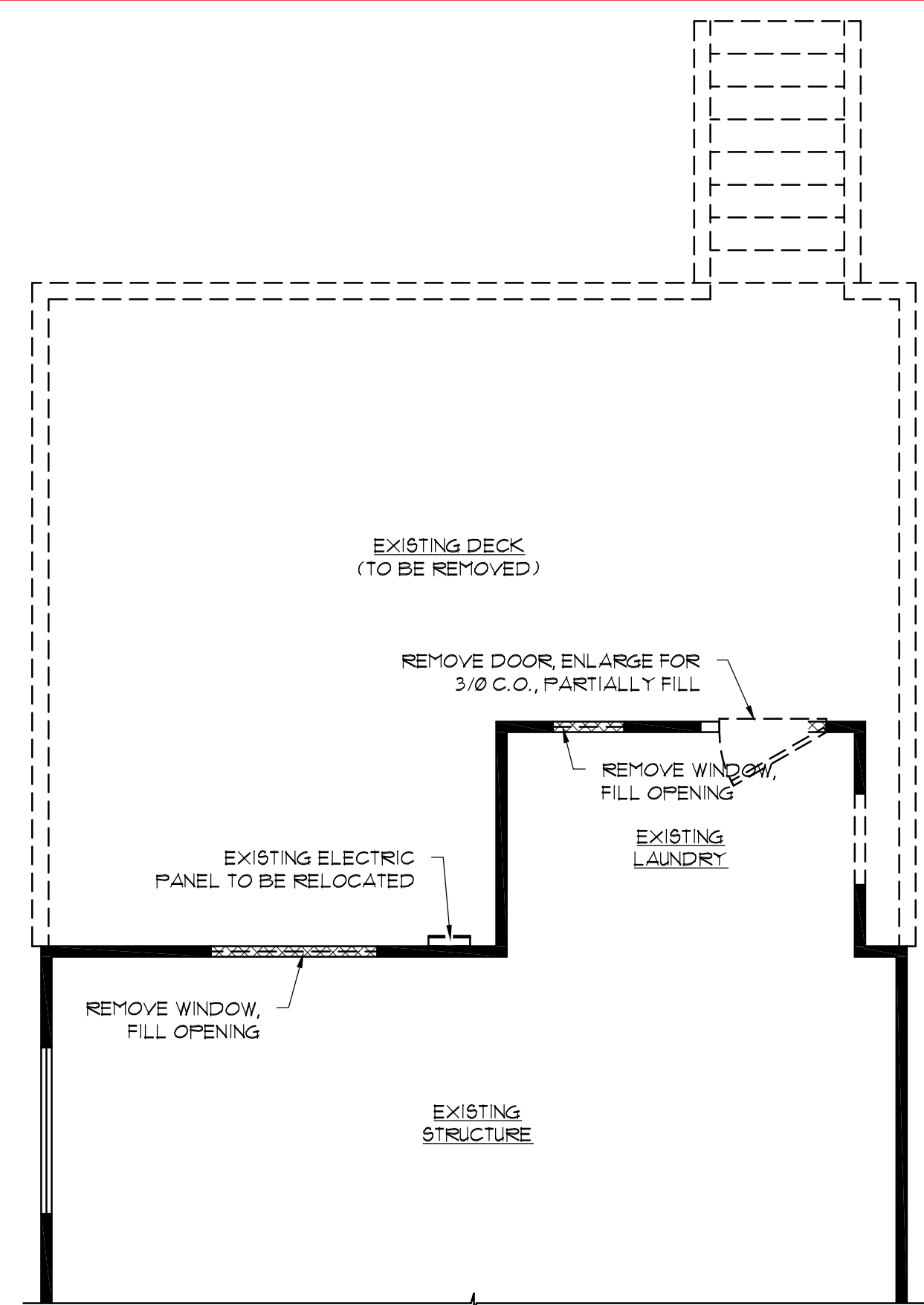
NOTE - NEW CONSTRUCTION AREA CALCULATIONS TAKEN FROM OUTSIDE OF FRAMING. EXISTING CALCULATIONS TAKEN FROM TAX ASSESSMENT RECORDS.

- CONSTRUCTION NOTES**
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND DETAILS PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO DESIGNER AND/OR HOMEOWNER BEFORE PROCEEDING.
  - DO NOT SCALE DRAWINGS - IF DIMENSIONS ARE IN QUESTION, THE CONTRACTOR SHALL OBTAIN CLARIFICATIONS FROM THE DESIGNER AND/OR HOMEOWNER.
  - ALL WALLS ARE 2X4 (3 1/2") UNLESS OTHERWISE NOTED. FRAMING DIMENSIONS ARE FACE OF STUD TO FACE OF STUD.
  - ALL ANGLED WALLS ARE 135° UNLESS OTHERWISE NOTED.
  - TOP OF ALL DOORS AND WINDOWS FRAMED AT 6'-8" A.F.F. OR TO MATCH EXISTING UNLESS OTHERWISE NOTED.
  - INTERIOR DOORS AND CASED OPENINGS (ROUGH OPENINGS) SHALL BE LOCATED AS GRAPHICALLY SHOWN AND EITHER BE CENTERED IN THE WALL OR LOCATED 5-1/2" FROM THE ADJACENT WALL ON THE HINGE SIDE WHILE MAINTAINING 5-1/2" ON THE LATCH SIDE UNLESS OTHERWISE NOTED.
  - CABINETS, BUILT-INS AND SHELVING TO BE COORDINATED WITH HOMEOWNER.



01 SITE PLAN

Scale: 1/16"=1'-0"

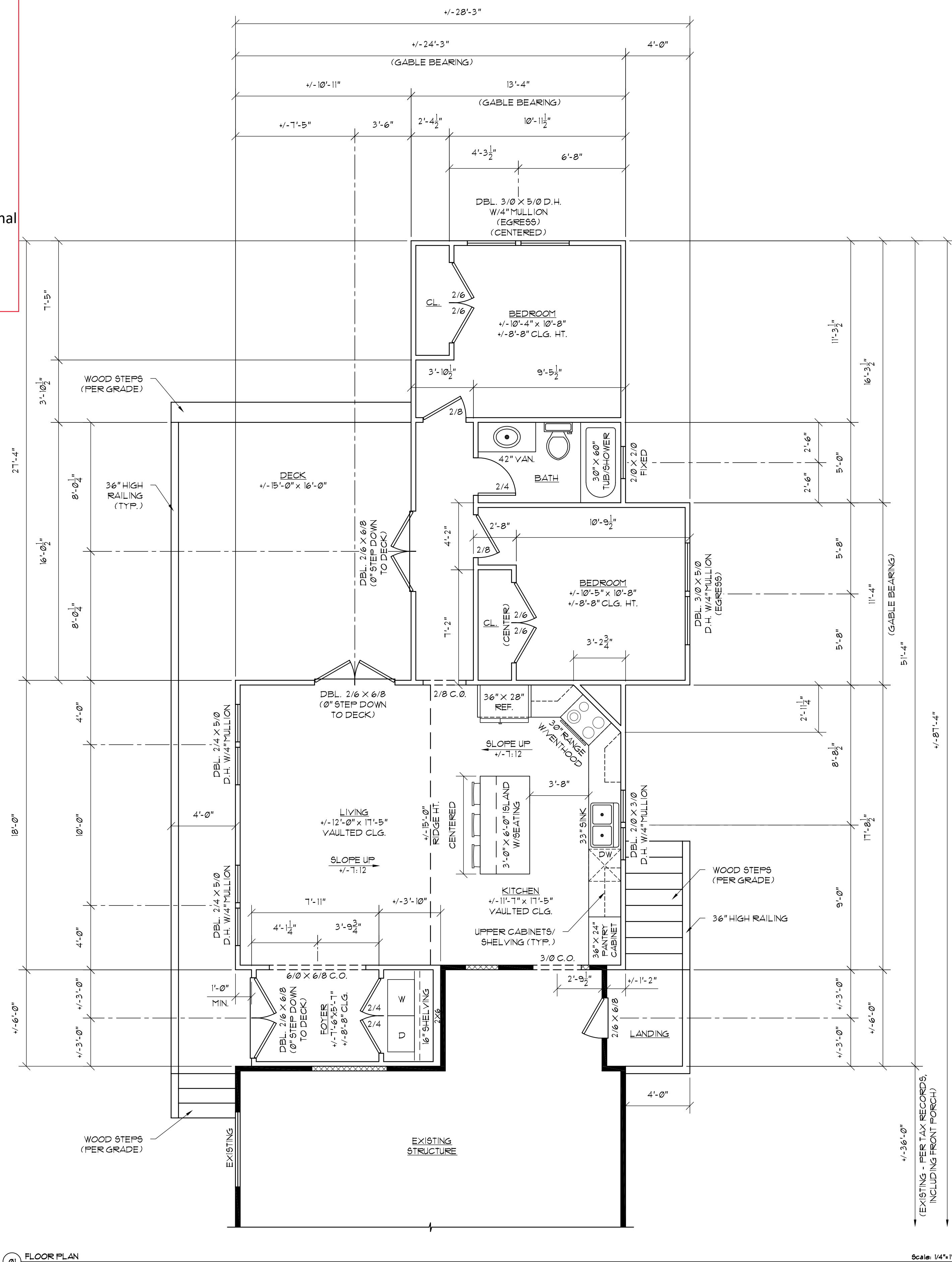


02 DEMOLITION PLAN

Scale: 1/4"=1'-0"

**MHZC INSPECTIONS & FINAL APPROVALS**  
**CALL 862-7970 FOR QUESTIONS AND TO**  
**SCHEDULE INSPECTIONS**

1. Please refer to notes on page 1.
2. Staff must approve the construction progress at the following points:
  - a. After the building footprint has been field staked
  - b. After the foundation wall has been constructed
  - c. After the rough framing has been completed
3. The following must be submitted for final approval before purchase:
  - a. Windows and doors
  - b. Roof color



01 FLOOR PLAN

Scale: 1/4" = 1'-0"

**WALL TYPE LEGEND**

	EXISTING WALLS TO REMAIN
	WALLS TO DEMOLISH
	FILL EXISTING OPENINGS
	NEW WALLS

**AREA CALCULATIONS**

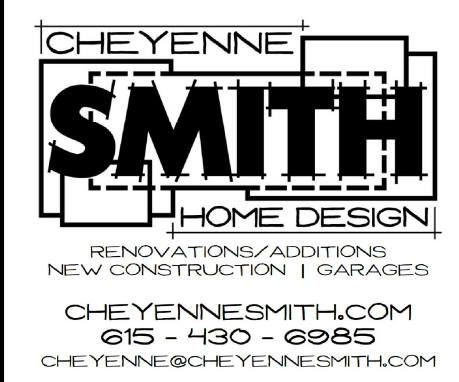
CONDITIONED AREA	
FIRST FLOOR EXISTING:	+/- 194 SF
FIRST FLOOR ADDITION:	+/- 914 SF
TOTAL CONDITIONED:	+/- 1108 SF
NON-CONDITIONED AREA	
EXISTING FRONT PORCH:	+/- 12 SF
TOTAL UNHEATED:	+/- 12 SF
TOTAL UNDER ROOF:	+/- 1120 SF

\*NOTE - NEW CONSTRUCTION AREA CALCULATIONS TAKEN FROM OUTSIDE OF FRAMING. EXISTING CALCULATIONS TAKEN FROM TAX ASSESSMENT RECORDS.

- CONSTRUCTION NOTES**
1. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND DETAILS PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO DESIGNER AND/OR HOMEOWNER BEFORE PROCEEDING.
  2. DO NOT SCALE DRAWINGS - IF DIMENSIONS ARE IN QUESTION, THE CONTRACTOR SHALL OBTAIN CLARIFICATIONS FROM THE DESIGNER AND/OR HOMEOWNER.
  3. ALL WALLS ARE 2X4 (3 1/2") UNLESS OTHERWISE NOTED. FRAMING DIMENSIONS ARE FACE OF STUD TO FACE OF STUD.
  4. ALL ANGLED WALLS ARE 135° UNLESS OTHERWISE NOTED.
  5. TOP OF ALL DOORS AND WINDOWS FRAMED AT 6'-8" A.F.F. OR TO MATCH EXISTING UNLESS OTHERWISE NOTED.
  6. INTERIOR DOORS AND CASED OPENINGS (ROUGH OPENINGS) SHALL BE LOCATED AS GRAPHICALLY SHOWN AND EITHER BE CENTERED IN THE WALL OR LOCATED 5-1/2" FROM THE ADJACENT WALL ON THE HINGE SIDE WHILE MAINTAINING 5-1/2" ON THE LATCH SIDE UNLESS OTHERWISE NOTED.
  7. CABINETS, BUILT-INS AND SHELVING TO BE COORDINATED WITH HOMEOWNER.

**MHZC NOTES; CALL (615) 862-7970 FOR QUESTIONS**

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2. All measurements and relationships of existing conditions and new construction shall be field checked for accuracy with approved plans at the responsibility of the applicant. Inaccuracies or differences should be reported to MHZC staff prior to continuing with the project.
3. Exterior finish materials shall be trim grade (smooth and square). Stud wall lumber or embossed wood grain is not appropriate.
4. Windows shall be single-light or fully simulated, divided light sashes. Muntins are to be factory installed with an exterior muntin, interior muntin and a spacer bar within the double paned-glass. Snap-in or between the glass muntins are never appropriate. Double and triple windows shall have 4" to 6" mullions between.
5. Four (4) inch (nominal) wood casings are required around doors, windows and vents within clapboard walls. Windows on clapboard structures shall not have brick-mold.
6. Removal all of the cladding, windows, doors and roofing on a contributing house is considered partial demolition and must be reviewed by the MHZC. Removal of one of these items alone, in a neighborhood conservation zoning overlay, is not reviewed.
7. Retention of original casings and replacement of just window sashes is encouraged where window replacement is necessary.
8. Alteration of original windows sizes is considered partial demolition and must be reviewed by the MHZC.
9. HVAC/Mechanical/Utility vents, pipes, lines, and all associated components, condensers or boxes shall be located behind the midpoint of the structure on a non-street facade.
10. For non-masonry buildings, siding and trim shall be wood or smooth-faced, cement-fiberboard (e.g.: Hardiplank). If siding exposure is not matched to that of the existing house, then it shall have a maximum reveal of five (5) inches.
11. For non-masonry buildings, 4 inches (nominal) wood corner-boards are required at the face of each exposed corner.



PROJECT #: 19037

**PROPOSED ADDITION**  
**1405 RUSSELL ST.**  
 NASHVILLE, TN 37206

ISSUE DATE: 06.16.21

REV	DATE	DESCRIPTION
△		
△		

**CONSTRUCTION DRAWINGS**

PLOT TO FULL SCALE ON 22" X 34" PAPER

PLOT TO HALF SCALE ON 11" X 17" PAPER

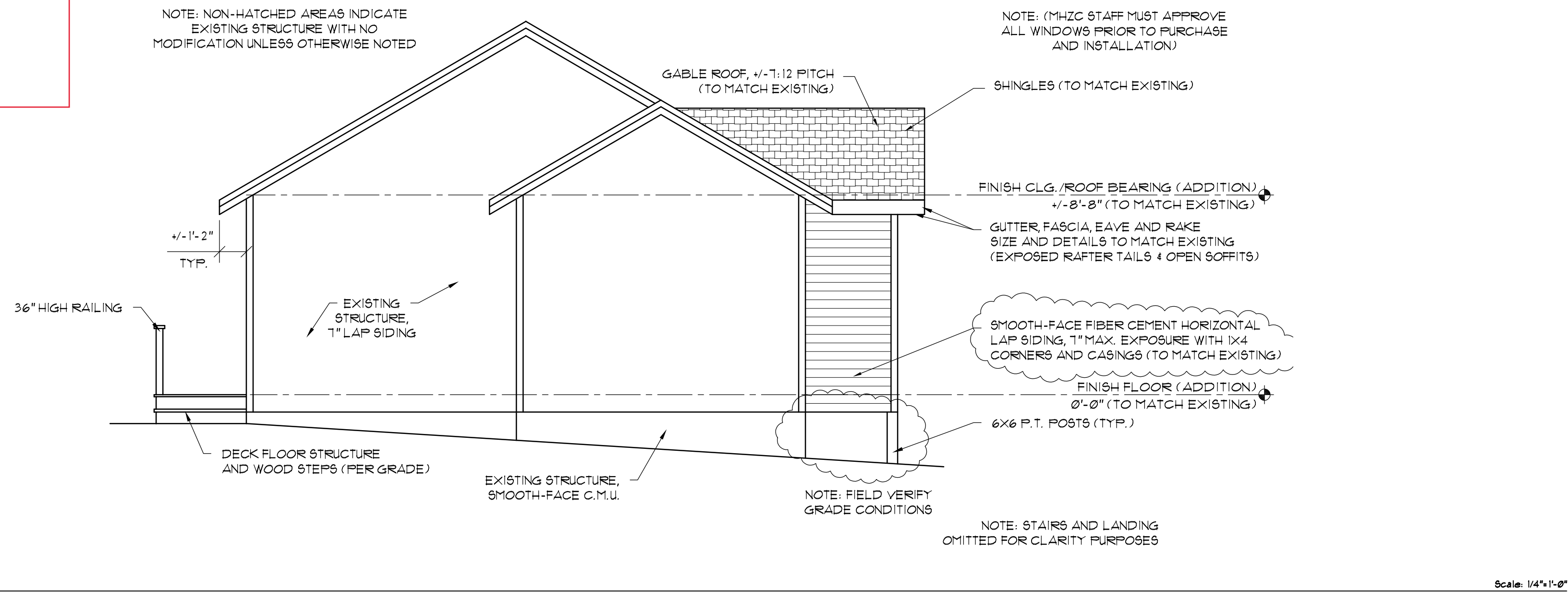
SCALE: 1/4" = 1'-0"

**A101**

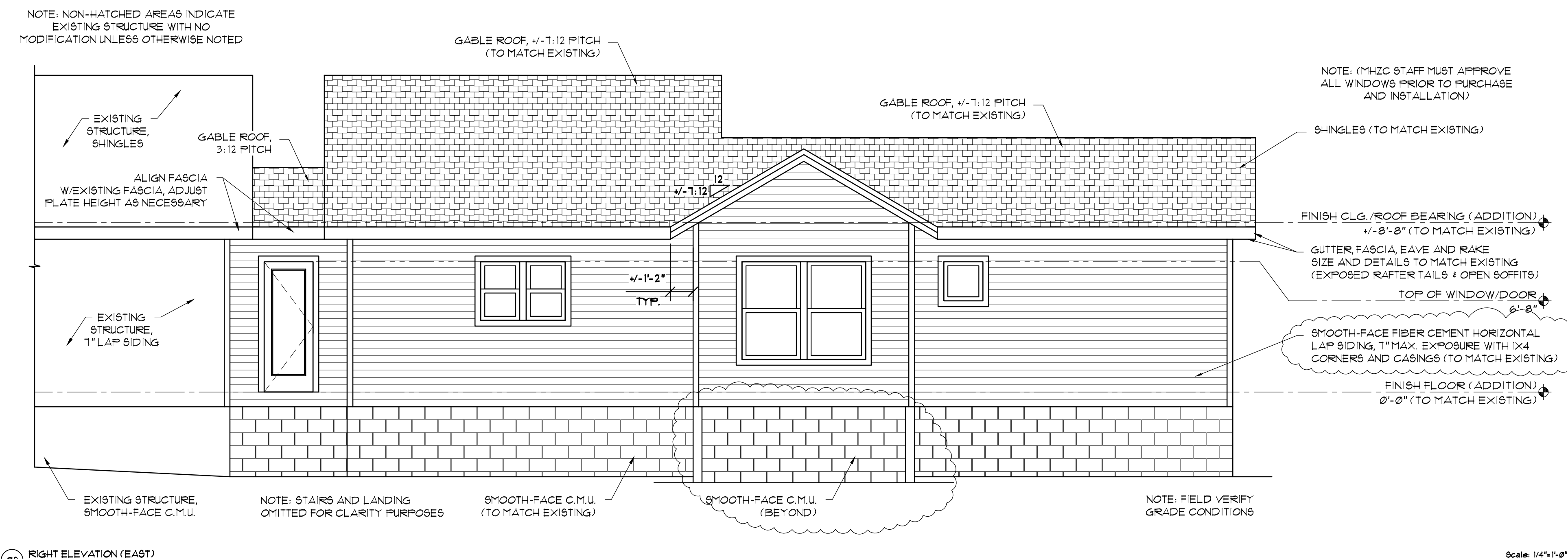
FLOOR PLAN

**MHZC INSPECTIONS & FINAL APPROVALS**  
**CALL 862-7970 FOR QUESTIONS AND TO SCHEDULE INSPECTIONS**

1. Please refer to notes on page 1.
2. Staff must approve the construction progress at the following points:
  - a. After the building footprint has been field staked
  - b. After the foundation wall has been constructed
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3. The following must be submitted for final approval before purchase:
  - a. Windows and doors
  - b. Roof color



01 FRONT ELEVATION (SOUTH)



02 RIGHT ELEVATION (EAST)

**MHZC NOTES; CALL (615) 862-7970 FOR QUESTIONS**

1. Structure to be constructed in accordance with attached scaled site plan and elevations. Any deviation from the approved plans could result in **changes being reversed** to reflect the approved drawings. Any alterations, whether or not approved by other Metro Departments, must be communicated to MHZC for a revision of the permit prior to construction or material purchase.
2. All measurements and relationships of existing conditions and new construction shall be field checked for accuracy with approved plans at the responsibility of the applicant. Inaccuracies or differences should be reported to MHZC staff prior to continuing with the project.
3. Exterior finish materials shall be trim grade (smooth and square). Stud wall lumber or embossed wood grain is not appropriate.
4. Windows shall be single-light or fully simulated, divided light sashes. Muntins are to be factory installed with an exterior muntin, interior muntin and a spacer bar within the double paned-glass. Snap-in or between the glass muntins are never appropriate. Double and triple windows shall have 4" to 6" mullions between.
5. Four (4) inch (nominal) wood casings are required around doors, windows and vents within clapboard walls. Windows on clapboard structures shall not have brick-mold.
6. Removal all of the cladding, windows, doors and roofing on a contributing house is considered partial demolition and must be reviewed by the MHZC. Removal of one of these items alone, in a neighborhood conservation zoning overlay, is not reviewed.
7. Retention of original casings and replacement of just window sashes is encouraged where window replacement is necessary.
8. Alteration of original windows sizes is considered partial demolition and must be reviewed by the MHZC.
9. HVAC/Mechanical/Utility vents, pipes, lines, and all associated components, condensers or boxes shall be located behind the midpoint of the structure on a non-street facade.
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PROJECT #: 19037

PROPOSED ADDITION  
 1405 RUSSELL ST.  
 NASHVILLE, TN 37206

ISSUE DATE: 06.16.21

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SCALE: 1/4" = 1'-0"

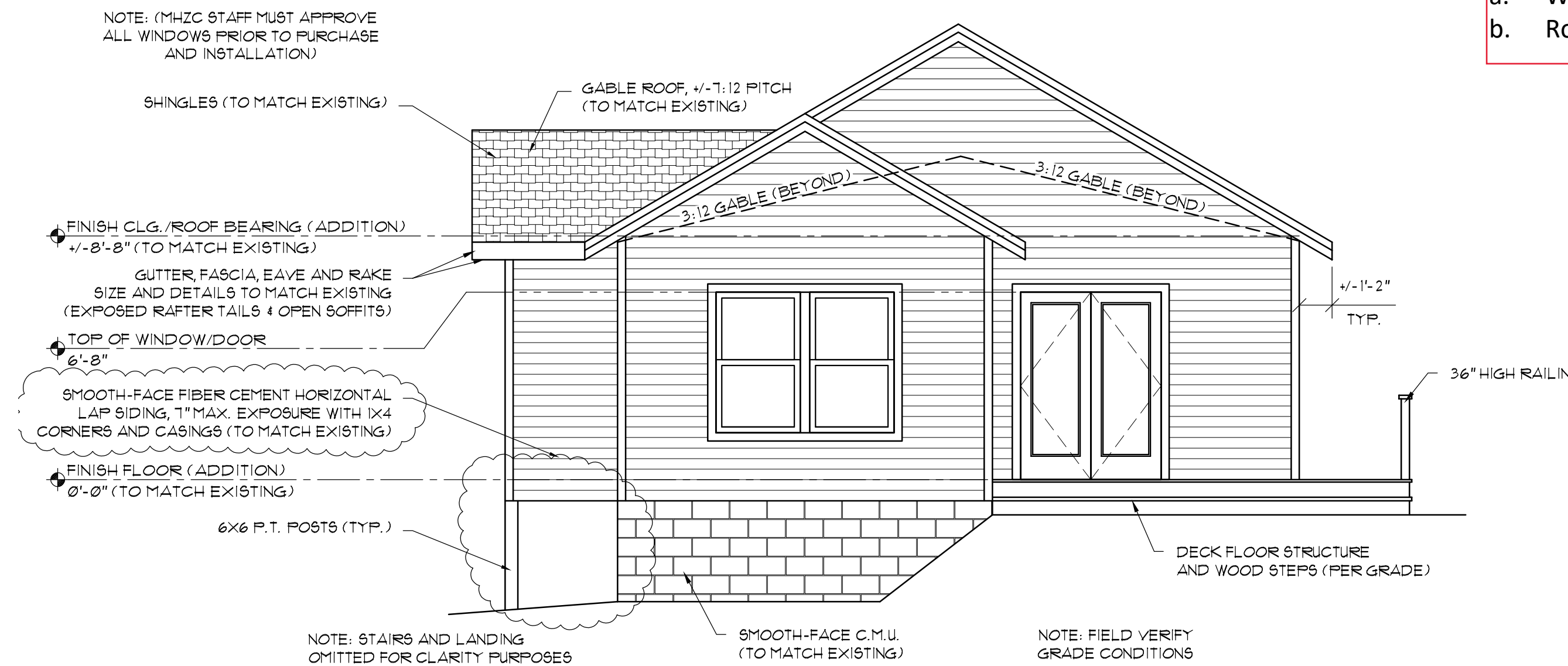
A102  
 FRONT AND RIGHT EXTERIOR ELEVATIONS

**MHZC NOTES; CALL (615) 862-7970 FOR QUESTIONS**

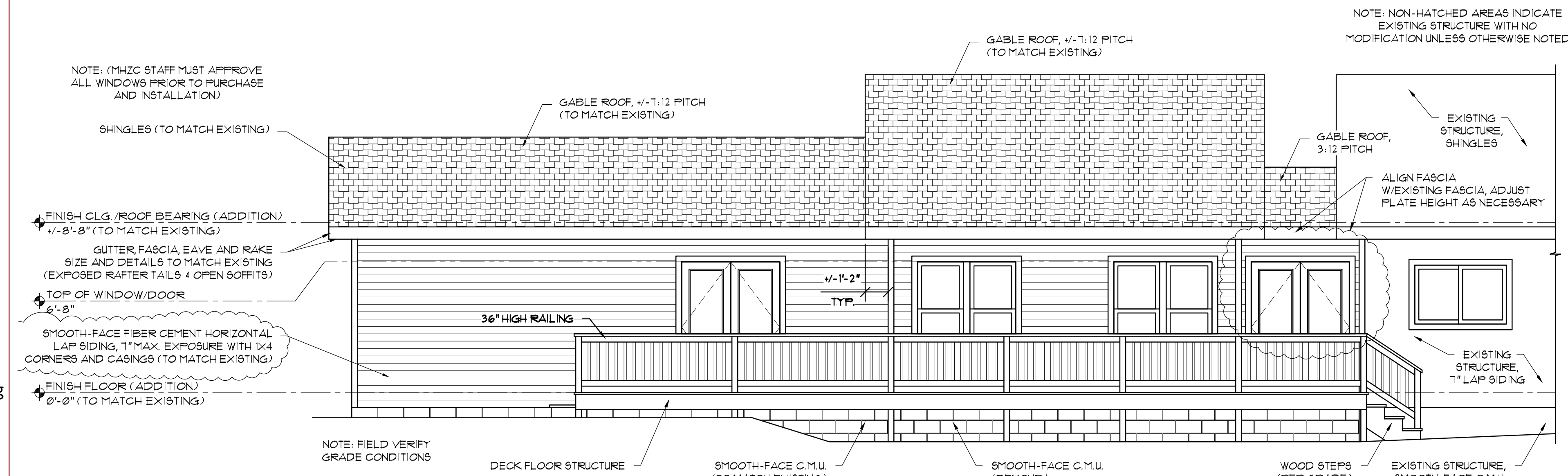
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**MHZC INSPECTIONS & FINAL APPROVALS  
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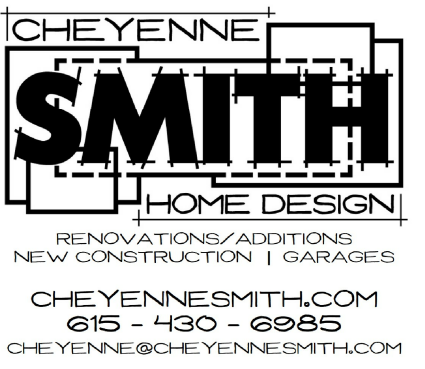
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01 REAR ELEVATION (NORTH)



02 LEFT ELEVATION (WEST)



PROJECT #: 19037

PROPOSED ADDITION  
1405 RUSSELL ST.  
NASHVILLE, TN 37206

ISSUE DATE: 06.16.21

REV	DATE	DESCRIPTION
△		
△		
△		

CONSTRUCTION DRAWINGS

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PLOT TO HALF SCALE ON 11" X 17" PAPER

SCALE: 1/4" = 1'-0"

A103

REAR AND LEFT EXTERIOR ELEVATIONS