

JOHN COOPER
MAYOR



METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

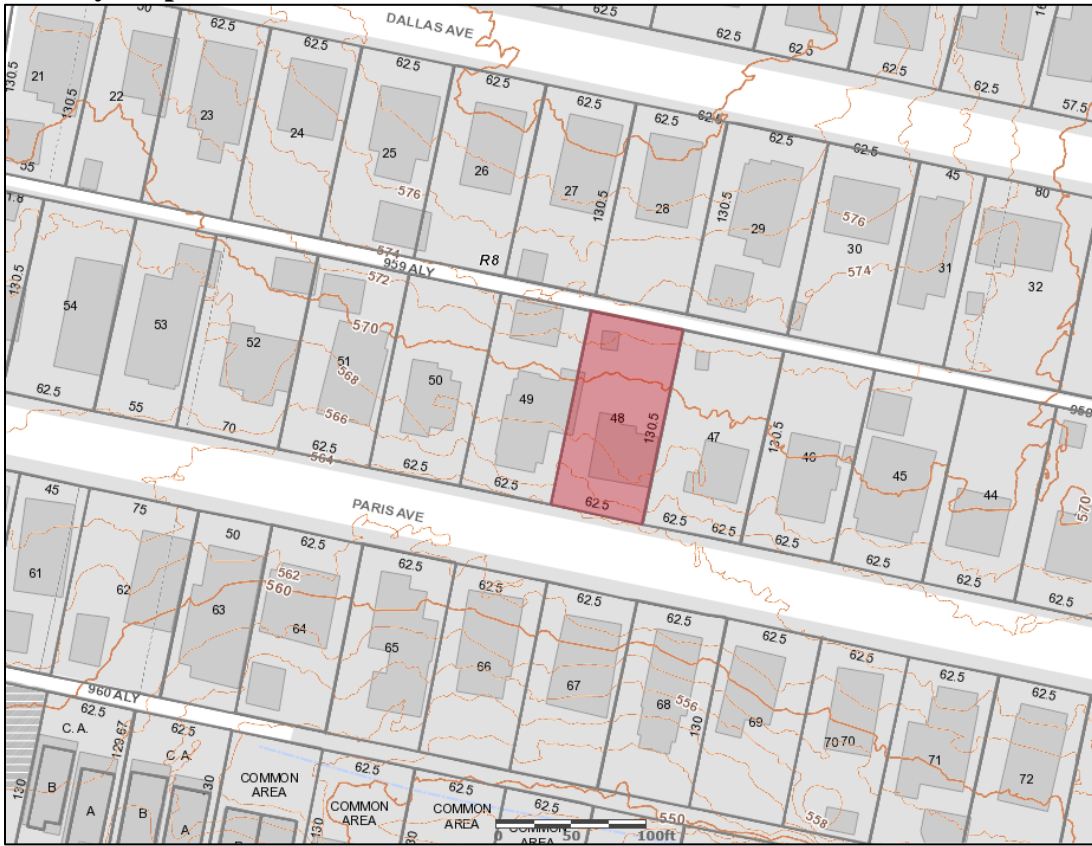
STAFF RECOMMENDATION
1502 Paris Avenue
August 18, 2021

Metropolitan Historic Zoning Commission
Sunnyside in Sevier Park
3000 Granny White Pike
Nashville, Tennessee 37204
Telephone: (615) 862-7970
Fax: (615) 862-7974

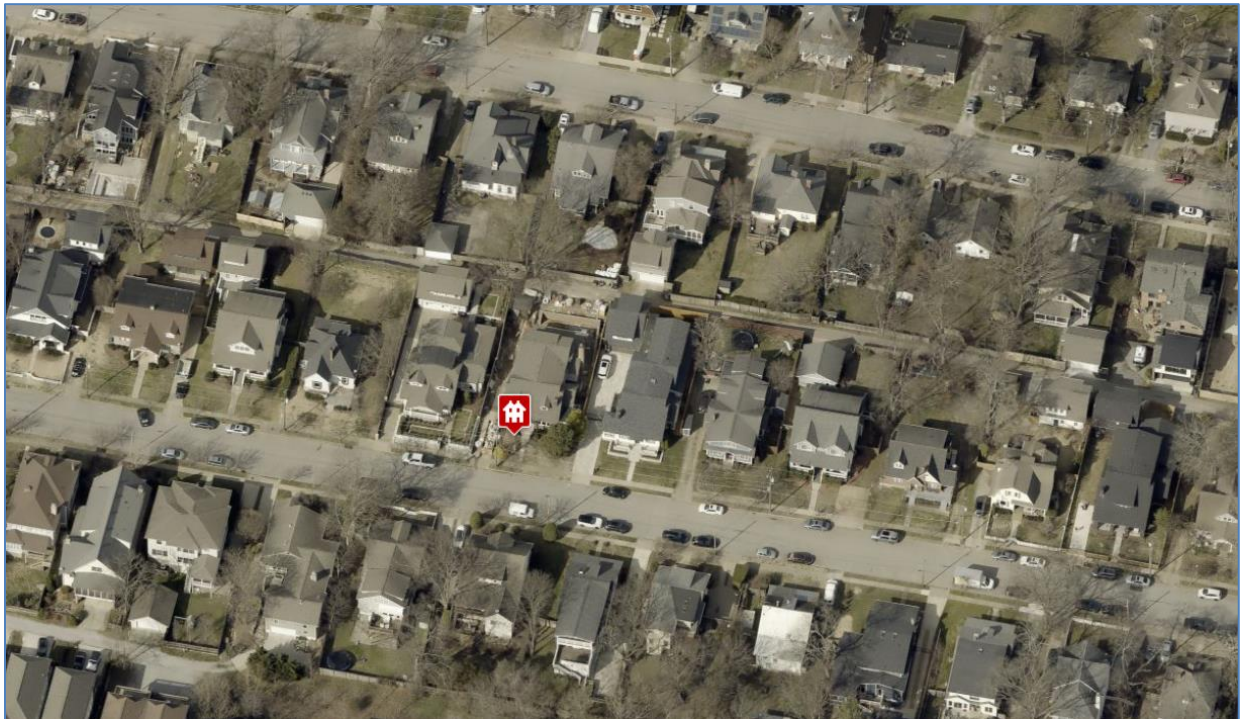
Application: New Construction—Outbuilding
District: Belmont-Hillsboro Neighborhood Conservation Zoning Overlay
Council District: 18
Map and Parcel Number: 11704019000
Applicant: Paul Boulifard, Architect
Project Lead: Melissa Baldock , melissa.baldock@nashville.gov

<p>Description of Project: The applicant proposes a detached garage that is less than twenty feet (20') from the back of the house.</p> <p>Recommendation Summary: Staff recommends approval of the proposed outbuilding with the condition that staff approve all windows and doors, a brick sample, and the roof shingle color prior to purchase and installation; finding that with these conditions, the addition meets Section II.B of the <i>Belmont-Hillsboro Neighborhood Conservation Zoning Overlay: Handbook and Design Guidelines</i>.</p>	<p>Attachments A: Site Plan B: Floorplans C: Elevations</p>
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Vicinity Map:



Aerial Map:



Applicable Design Guidelines:

II.B GUIDELINES

1. NEW CONSTRUCTION

d. Materials, Texture, Details, and Material Color

The materials, texture, details, and material color of a new building's public facades shall be visually compatible, by not contrasting greatly, with surrounding historic buildings. Vinyl and aluminum siding are not appropriate.

T-1-11- type building panels, "permastone", E.F.I.S. and other artificial siding materials are generally not appropriate. However, pre-cast stone and cement fiberboard siding are approvable cladding materials for new construction; but pre-cast stone should be of a compatible color and texture to existing historic stone clad structures in the district; and cement fiberboard siding, when used for lapped siding, should be smooth and not stamped or embossed and have a maximum of a 5" reveal. The reveal for lap siding should not exceed 5". Larger reveals may be possible but should not exceed 8" and shall have mitered corners.

Shingle siding should exhibit a straight-line course pattern and exhibit a maximum exposure of seven inches (7").

Four inch (4") nominal corner boards are required at the face of each exposed corner.

Stud wall lumber and embossed wood grain are prohibited.

Belt courses or a change in materials from one-story to another are often encouraged for large two-story buildings to break up the massing.

When different materials are used, it is most appropriate to have the change happen at floor lines.

Clapboard sided chimneys are generally not appropriate. Masonry or stucco is appropriate.

Texture and tooling of mortar on new construction should be similar to historic examples.

Asphalt shingle is an appropriate roof material for most buildings. Generally, roofing should not have strong simulated shadows in the granule colors which results in a rough, pitted appearance; faux shadow lines; strongly variegated colors; colors that are too light (e.g.: tan, white, light green); wavy or deep color/texture used to simulate split shake shingles or slate; excessive flared form in the shingle tabs; uneven or sculpted bottom edges that emphasize tab width or edges, unless matching the original roof.

i. Outbuildings

(Although the MHZC does not review use itself there are additional ordinance requirements for buildings that have are or have a Detached Accessory Dwelling Unit (DADU) required by ordinance 17.16.030 that are reviewed by the MHZC. This information is provided for informational purposes only and does not replace ordinance 17.16.030.)

- 1) A new garage or storage building should reflect the character of the period of the house to which the outbuilding will be related. The outbuilding should be compatible, by not contrasting greatly, with surrounding historic outbuildings in terms of height, scale, roof shape, materials, texture, and details.

Outbuildings: Height & Scale

· On lots less than 10,000 square feet, the footprint of a DADU or outbuilding shall not exceed seven hundred fifty square feet or fifty percent of the first floor area of the principal structure, whichever is less.

· On lots 10,000 square feet or greater, the footprint of a DADU or outbuilding shall not exceed one thousand square feet.

· The DADU or outbuilding shall maintain a proportional mass, size, and height to ensure it is not taller or wider than the principal structure on the lot. The DADU or outbuilding height shall not exceed the height of the principal structure, with a maximum eave height of 10' for one-story DADU's or outbuildings and 17' for two-story DADUs or outbuildings. The roof ridge height of the DADU or outbuilding must be less than

the principal building and shall not exceed 25' feet in height.

Outbuildings: Character, Materials and Details

- *Historically, outbuildings were either very utilitarian in character, or (particularly with more extravagant houses) they repeated the roof forms and architectural details of the houses to which they related. Generally, either approach is appropriate for new outbuildings. DADUs or out buildings located on corner lots should have similar architectural characteristics, including roof form and pitch, to the existing principal structure.*
- *DADUs or outbuildings with a second story shall enclose the stairs interior to the structure and properly fire rate them per the applicable life safety standards found in the code editions adopted by the Metropolitan Government of Nashville.*

Outbuildings: Roof

- *Roof slopes on simple, utilitarian buildings do not have to match the roof slopes of the main structure, but generally should maintain at least a 4/12 pitch.*
- *The DADU or outbuilding may have dormers that relate to the style and proportion of windows on the DADU and shall be subordinate to the roof slope by covering no more than fifty percent of the roof plane and should sit back from the exterior wall by 2'.*

Outbuildings: Windows and Doors

- *Publicly visible windows should be appropriate to the style of the house.*
- *Double-hung windows are generally twice as tall as they are wide and of the single-light sash variety.*
- *Publicly visible pedestrian doors must either be appropriate for the style of house to which the outbuilding relates or be flat with no panels.*
- *Metal overhead doors are acceptable on garages when they are simple and devoid of overly decorative elements typical on high-style wooden doors. Decorative raised panels on publicly visible garage doors are generally not appropriate.*
- *For street-facing facades, garages with more than one-bay should have multiple single doors rather than one large door to accommodate more than one bay.*

Outbuildings: Siding and Trim

- *Brick, weatherboard, and board-and-batten are typical siding materials.*
 - *Exterior siding may match the existing contributing building's original siding; otherwise, siding should be wood or smooth cement-fiberboard lap siding with a maximum exposure of five inches (5"), wood or smooth cement-fiberboard board-and-batten or masonry.*
 - *Four inch (4" nominal) corner-boards are required at the face of each exposed corner.*
 - *Stud wall lumber and embossed wood grain are prohibited.*
 - *Four inch (4" nominal) cornerboards and casings around doors, windows, and vents within clapboard walls is required. Trim should be thick enough to extend beyond the clapboard. Double or triple windows should have a 4" to 6" mullion in between.*
- Brick molding is required around doors, windows, and vents within masonry walls but is not appropriate on non-masonry clad buildings.*

2) Outbuildings should be situated on a lot as is historically typical for surrounding historic buildings.

Generally new garages should be placed close to the alley, at the rear of the lot, or in the original location of an historic accessory structure.

Lots without rear alleys may have garages located closer to the primary structure. The appropriate location is one that matches the neighborhood or can be documented by historic maps.

Generally, attached garages are not appropriate; however, instances where they may be are:

- *Where they are a typical feature of the neighborhood; or*
- *When the location of the attached garage is in the general location of an historic accessory building, the new garage is located in the basement level, and the vehicular access is on the rear elevation.*

Setbacks & Site Requirements.

- *To reflect the character of historic outbuildings, new outbuildings for duplexes should not exceed the*

requirements for outbuildings for the entire lot and should not be doubled. The most appropriate configurations would be two 1-bay buildings with or without parking pads for additional spaces or one 2-bay building.

· A DADU or outbuilding may only be located behind the principal structure in the established rear yard. The DADU or outbuilding is to be subordinate to the principal structure and therefore should be placed to the rear of the lot.

· There should be a minimum separation of 20' between the principal structure and the DADU or outbuilding.

· At least one side setback for a DADU or outbuilding on an interior lot, should generally be similar to the principle dwelling but no closer than 3' from each property line. The rear setback may be up to 3' from the rear property line. For corner lots, the DADU or outbuilding should match the context of homes on the street. If there is no context, the street setback should be a minimum of 10'.

Driveway Access.

· On lots with no alley access, the lot shall have no more than one curb-cut from any public street for driveway access to the principal structure as well as the detached accessory dwelling or outbuilding.

· On lots with alley access, any additional access shall be from the alley and no new curb cuts shall be provided from public streets.

Parking accessed from any public street shall be limited to one driveway for the lot with a maximum width of twelve feet.

Background: The structure at 1502 Paris Avenue is a one and one-half story house with a side-gabled roof with a pair of gabled dormers on the front (Figure 1). The house has a small partial-width front porch and a one-story bay with a corner porch on the right side. Constructed in the 1920s, the house is an example of the Craftsman architectural style, and it is contributing to the historic character of the district.

The house has been enlarged with a rear dormer previously, but the integrity of the house's form is otherwise intact. In 2019, MHZC approved an addition to the historic house (Figure 2).



Figure 1 (Left) is the house prior to the construction of the addition. Figure 2 (right) is an aerial showing the completed addition.

Analysis and Findings: The applicant proposes an outbuilding that is less than twenty feet (20’) from the back of the house. The outbuilding will not be used as a detached accessory dwelling unit.

Outbuildings: The proposed outbuilding is not a Detached Accessory Dwelling Unit (DADU).

Massing Planning: The lot is less than 10,000 square feet, at eight thousand, three hundred, and twenty-one square feet (8,321 sq. ft.).

	50% of first floor area of primary structure	Lot is larger than 10,000 square feet	Proposed Outbuilding
Maximum Square Footage	Approx 1,500 sq. ft.	750 sq. ft.	350 sq. ft.

	Potential maximums under Ordinance	Existing House	Proposed Outbuilding
Ridge Height	25’ unless existing building is less	23’	20’
Eave Height	10’	10	8’6”

Staff finds that the height and scale of the proposed outbuilding to meet the design guidelines.

Roof Form:

Proposed Element	Proposed Outbuilding	Typical of district?
Primary form	Side Gable	Yes
Primary roof slope	12/12	Yes
Dormer form	Shed	Yes
Dormer slope	4/12	Yes

Staff finds that the proposed roof form meets Section II.B.1.i of the design guidelines for roof shape.

Materials:

	Proposed Outbuilding	Color/Texture	Needs final approval?
Foundation	Brick	Unknown	Yes
Primary cladding	Brick	Unknown	No
Secondary Cladding	Wood or cement fiberboard Siding	Smooth, 5" reveal	No
Trim	Wood or cement fiberboard	Smooth	No
Primary Roofing	Asphalt shingles	Unknown	Yes
Windows	Not indicated	Unknown	Yes
Doors	Not indicated	Unknown	Yes
Garage door	Not indicated	Unknown	Yes

With staff's final approval of all materials, including the brick sample, roof material and color, windows, doors, and garage door for the outbuilding, staff finds that the materials meet the design guidelines.

General requirements for Outbuildings:

	YES	NO
If there are stairs, are they enclosed?	N/A	
If a corner lot, are the design and materials similar to the principle building?	Yes	
If dormers are used, do they cover less than 50% of the roof plane where they are located as measured from side-to-side?		No*
If dormers are used, do they sit back from the wall below by at least 2'?	Yes	
Is the roof pitch at least 4/12?	Yes	
If the building is two-bay and the vehicular doors face the street, are there two different doors rather than one large door?	N/A	
Is the building located towards the rear of the lot?	Yes	

* The design guidelines for the Belmont-Hillsboro Neighborhood Conservation Zoning Overlay state that dormers should be fifty percent of the roof plane. The proposed dormers are slightly wider. The roof, as measured from eave to eave, is approximately

twenty feet, nine inches (20'9") wide, which means the dormer width should be approximately ten feet, four and a half inches (10' 4½") as measured from wall to wall. The applicant is proposing dormers that are approximately twelve feet, four inches (12'4") wide, as measured from wall to wall. In this instance, staff finds the additional width to be appropriate because of the small footprint of the building. The structure's footprint is four hundred square feet (400 sq. ft.) smaller than what is allowed under the design guidelines, and staff therefore finds that dormers that are two feet (2') wider than typically allowed are appropriate and do not result in an outbuilding that is out of scale.

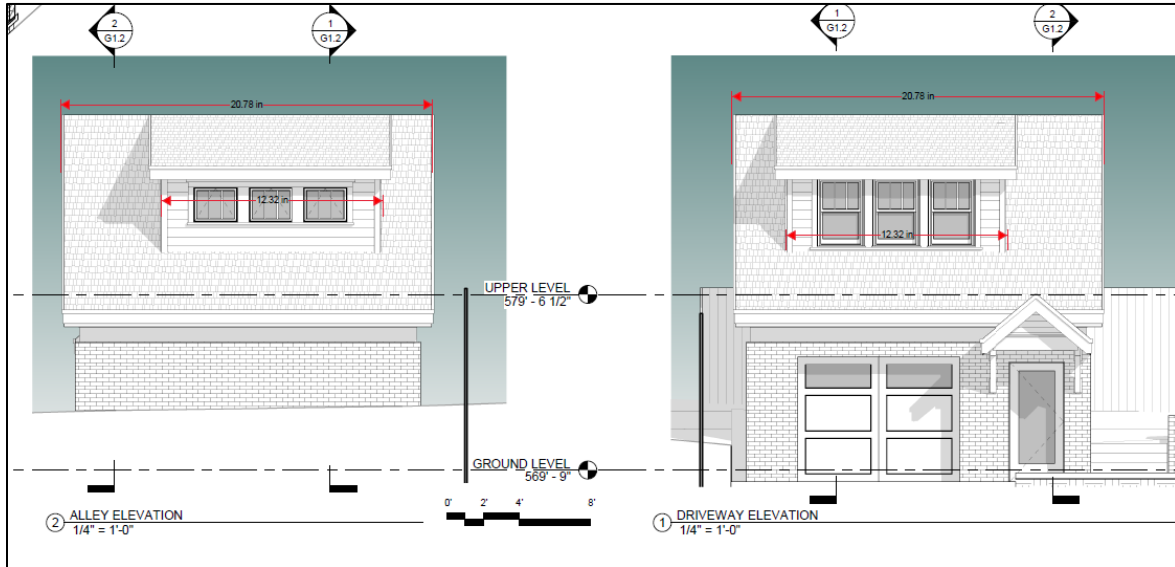


Figure 3. The proposed roof dormers and their widths.

Site Planning & Setbacks:

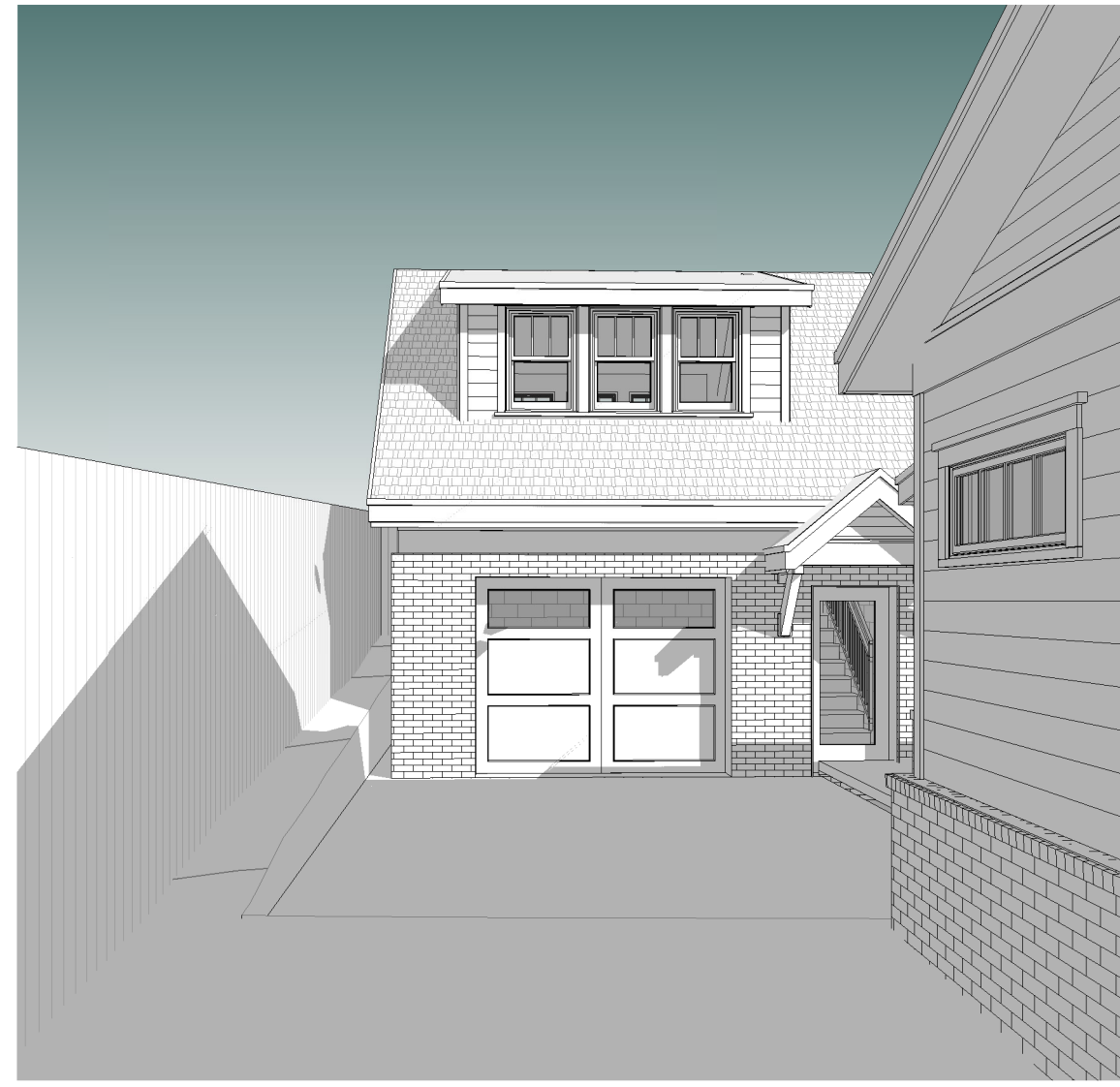
	MINIMUM	PROPOSED OUTBUILDING
Building located towards rear of lot	-	Yes
Space between principal building and garage	20'	10'*
Rear setback	3'	3'
Left side setback	3'	3'
Right side setback	3'	41'
How is the building accessed?	-	From existing driveway

* The design guidelines state that there should be a minimum of twenty feet (20') between the back of the addition and any outbuilding. However, the applicant is

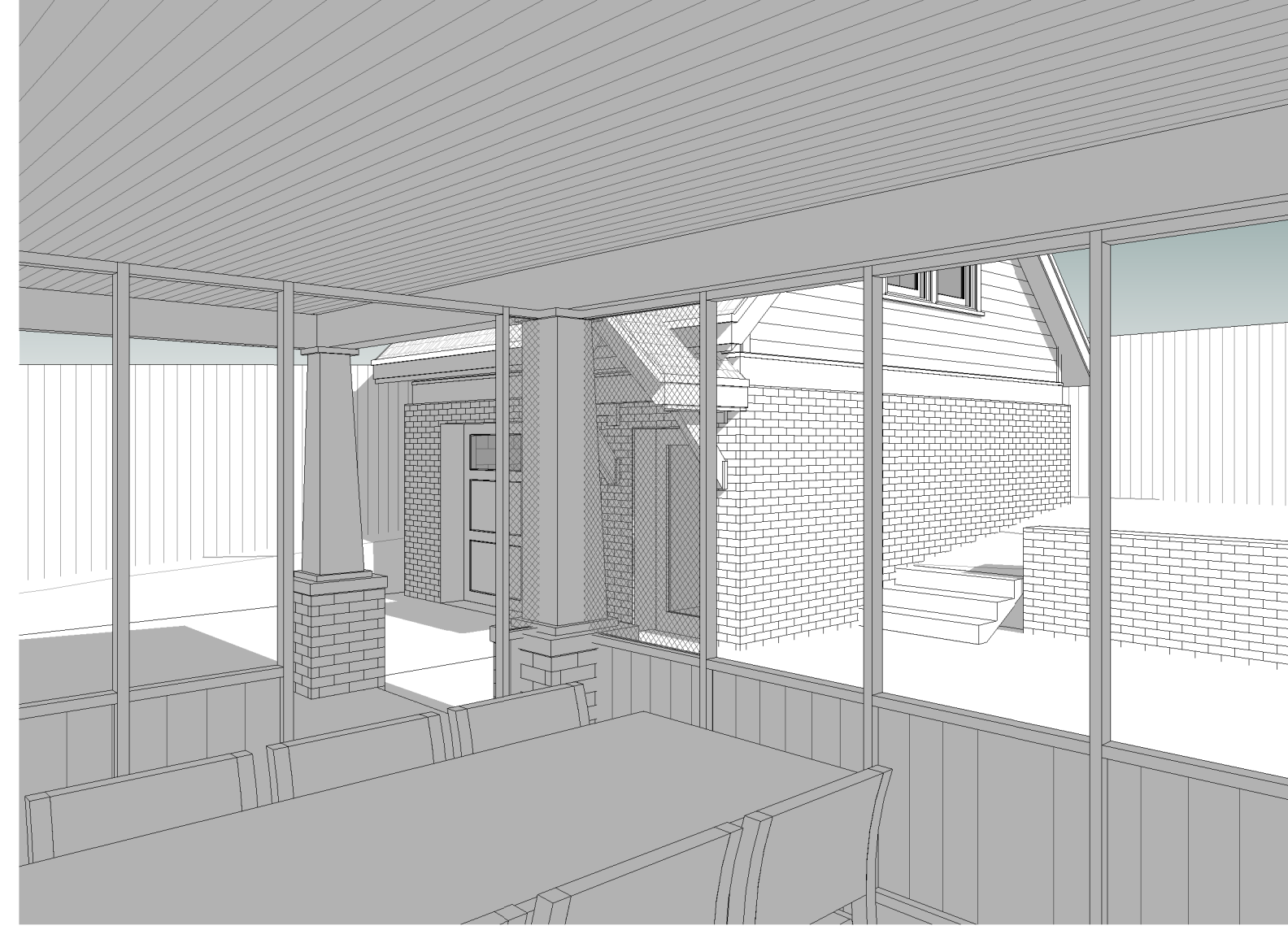
proposing a space of just ten feet (10'). Staff finds that the propose distance of ten feet (10') is appropriate for this site because this lot is just 130' deep and the Commission has approved a distance of ten feet (10') on similar lots. In addition, the overlap on the site plan where the structures are ten feet (10') apart is just approximately five feet (5'). The rest of the outbuilding is more than twenty feet (20') from the back of the house.

Staff finds that the outbuilding's height, scale, roof form, materials, location, and setbacks to meet Section II.B.1.i. of the design guidelines.

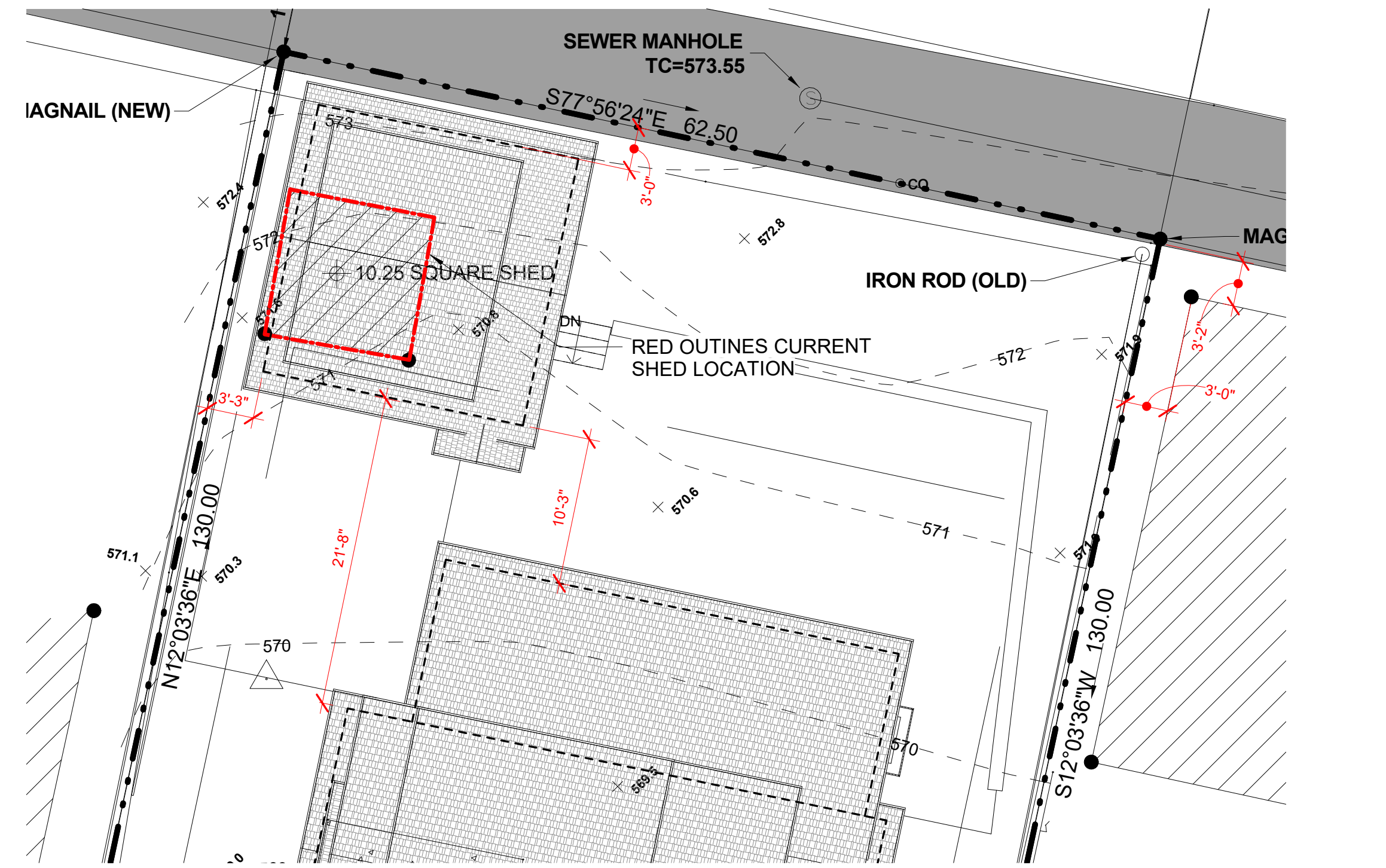
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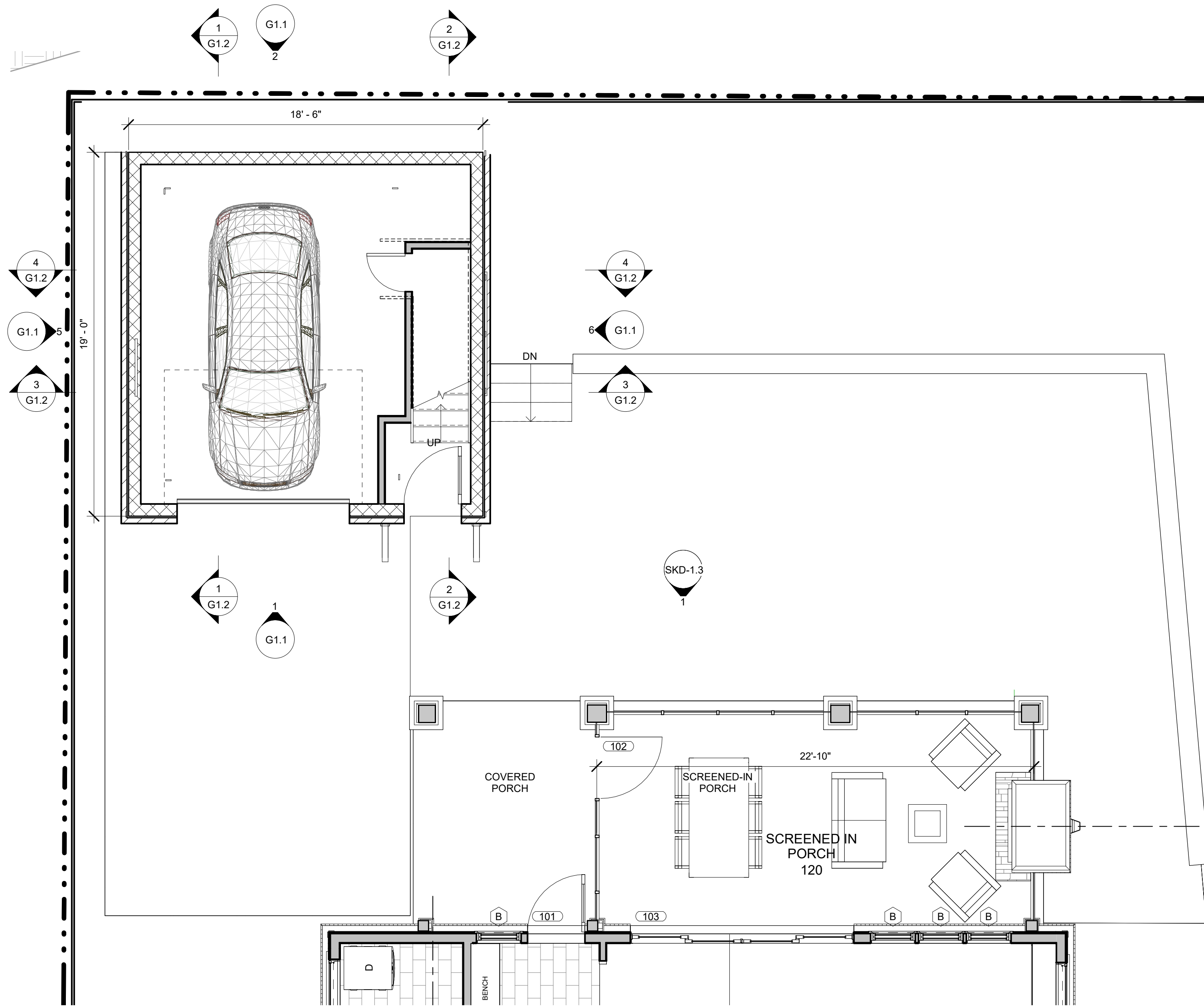
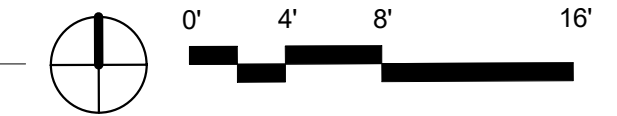
5 VIEW FROM DRIVEWAY



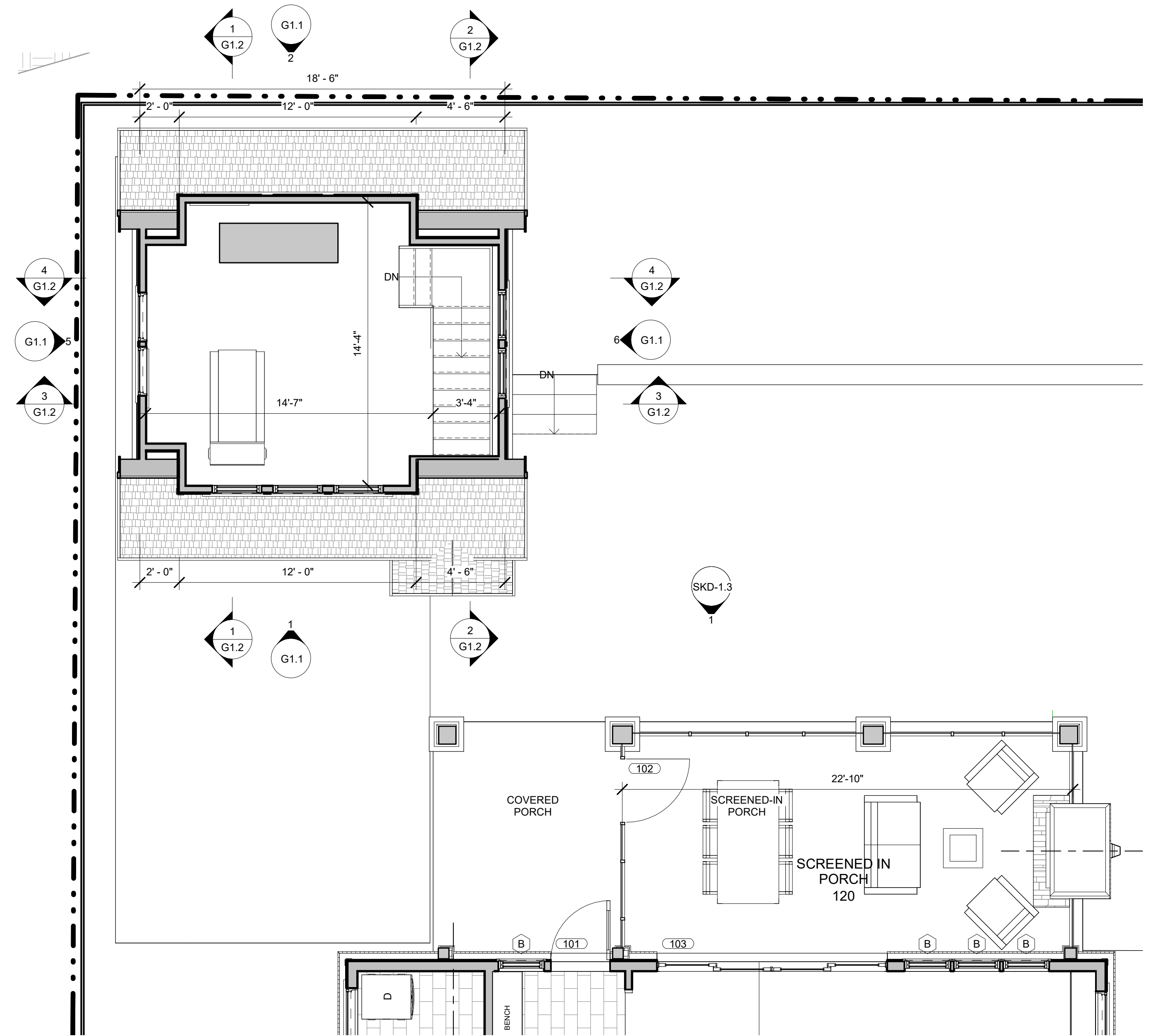
6 VIEW FROM SCREENED-IN PORCH



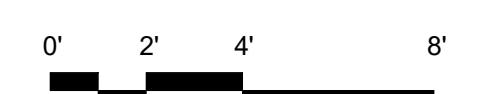
1 ARCHITECTURAL SITE PLAN - PROPOSED -w/garage
1/8" = 1'-0"



3 GROUND LEVEL- PROPOSED -GARAGE SPACE
1/4" = 1'-0"



2 GROUND LEVEL- PROPOSED -GARAGE ABOVE
1/4" = 1'-0"

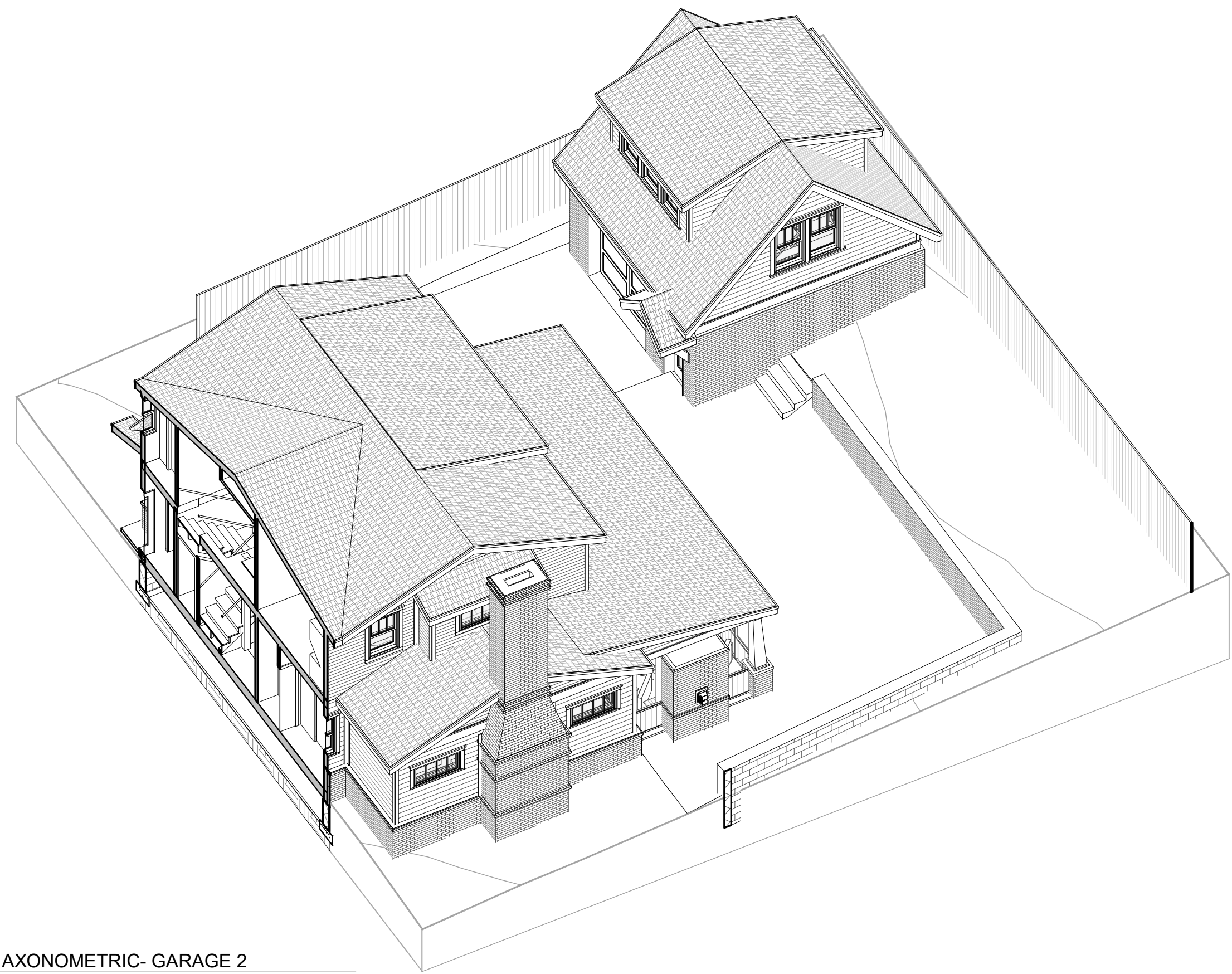


No.	Description	Date
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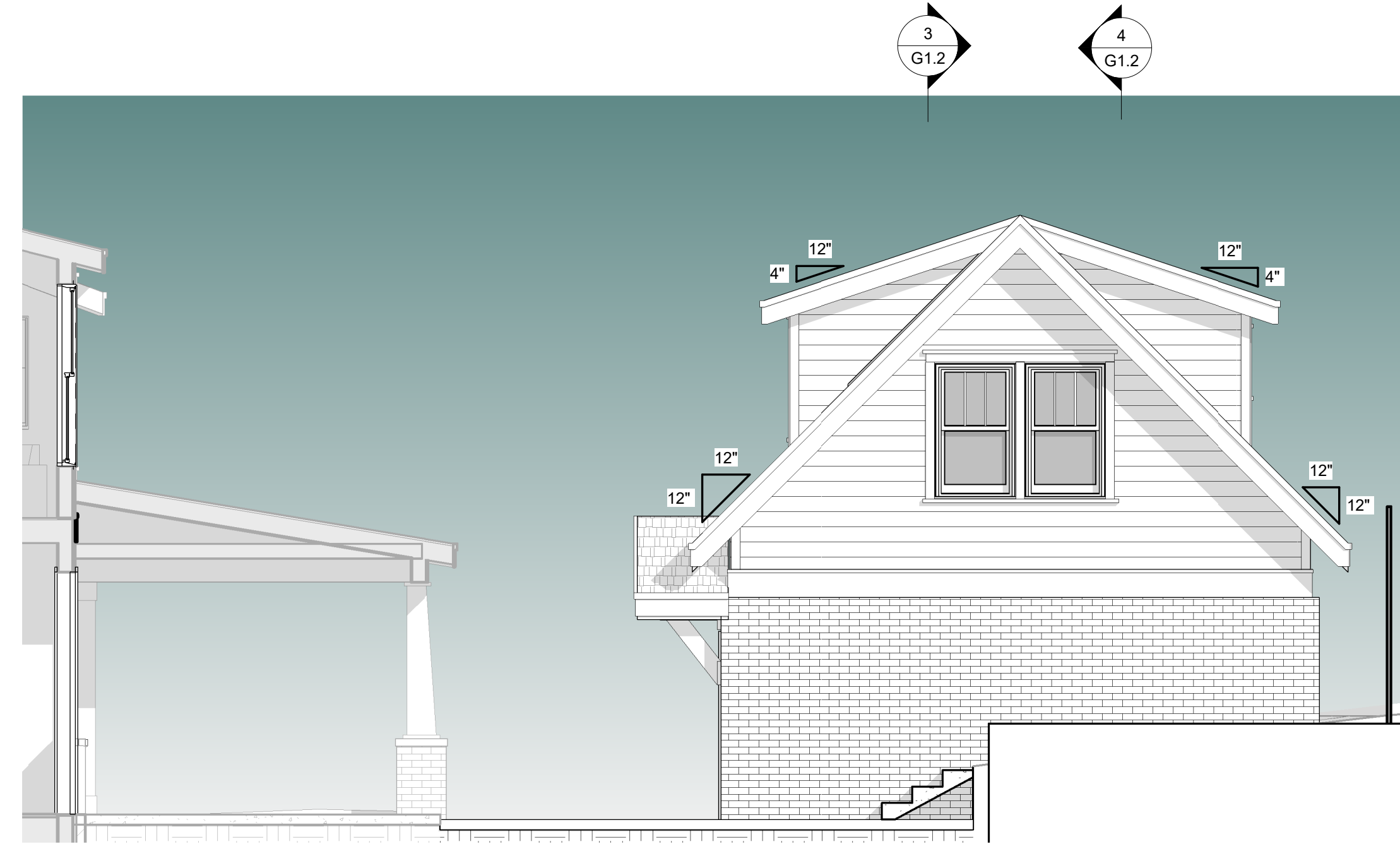
Project #: 0000

Date: 08-05-2021

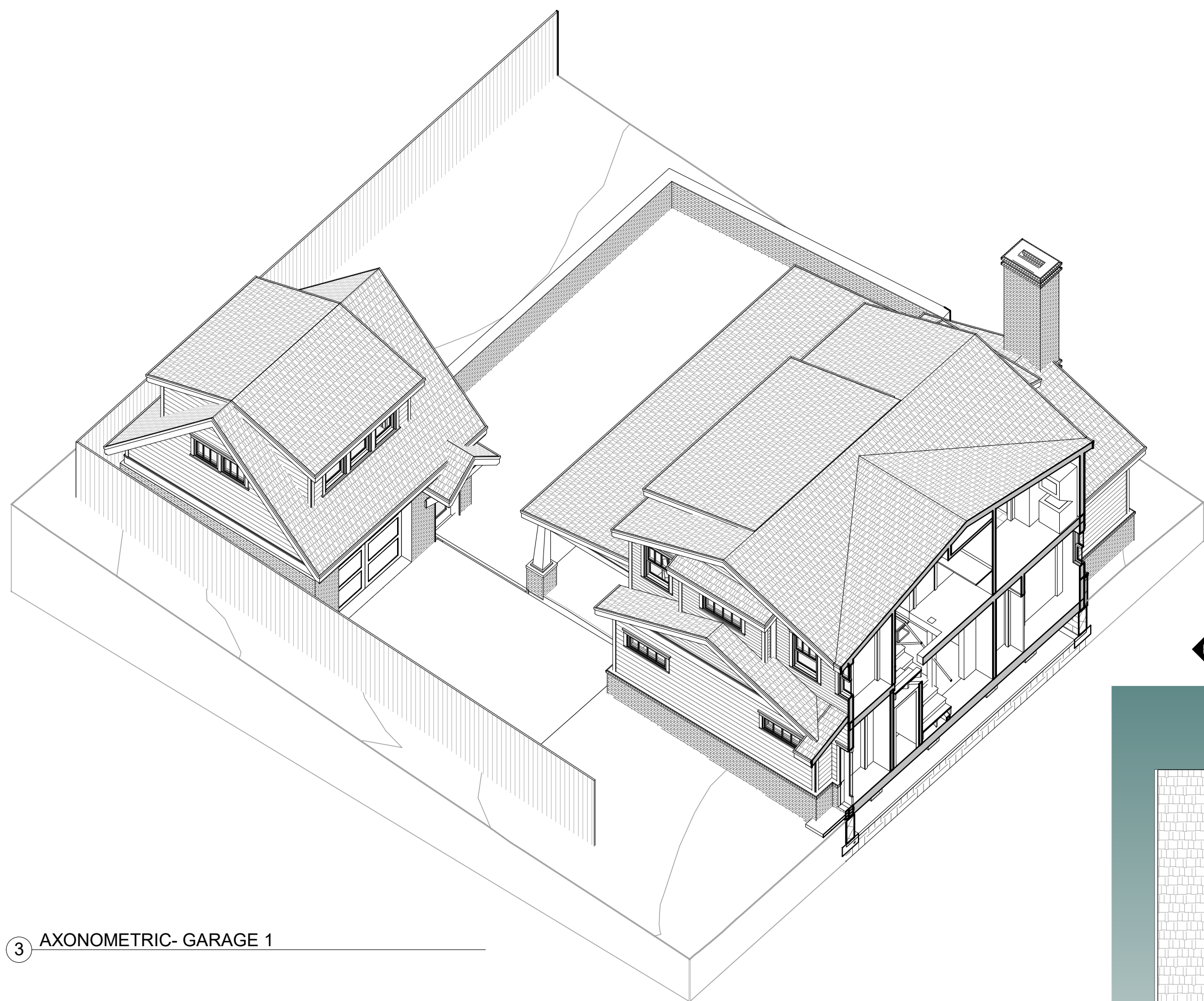
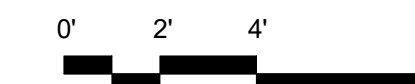
GARAGE PLANS



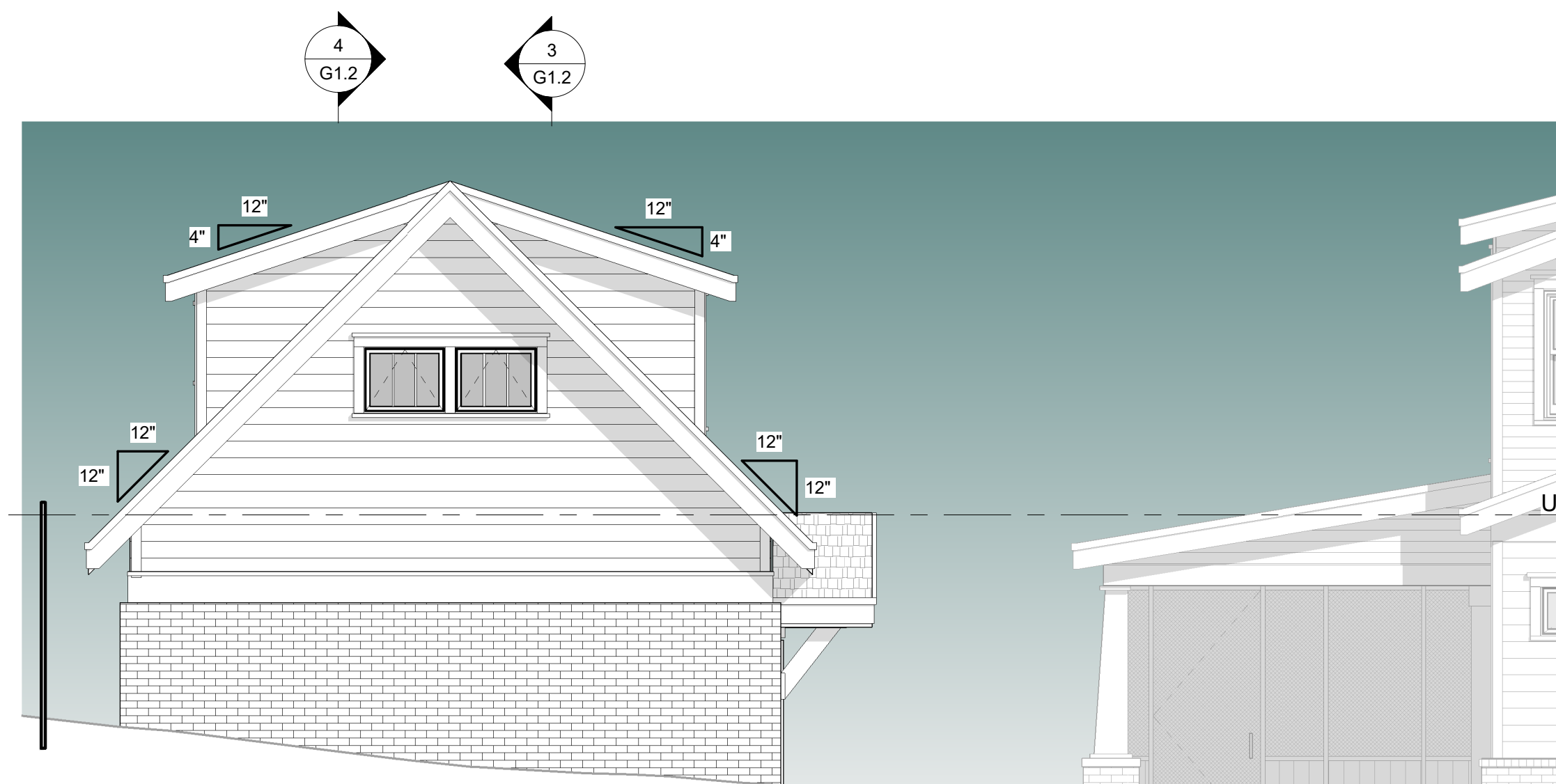
4 AXONOMETRIC- GARAGE 2



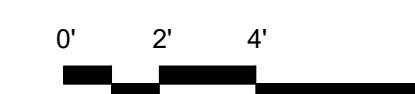
6 YARD SIDE ELEVATION
1/4" = 1'-0"



3 AXONOMETRIC- GARAGE 1

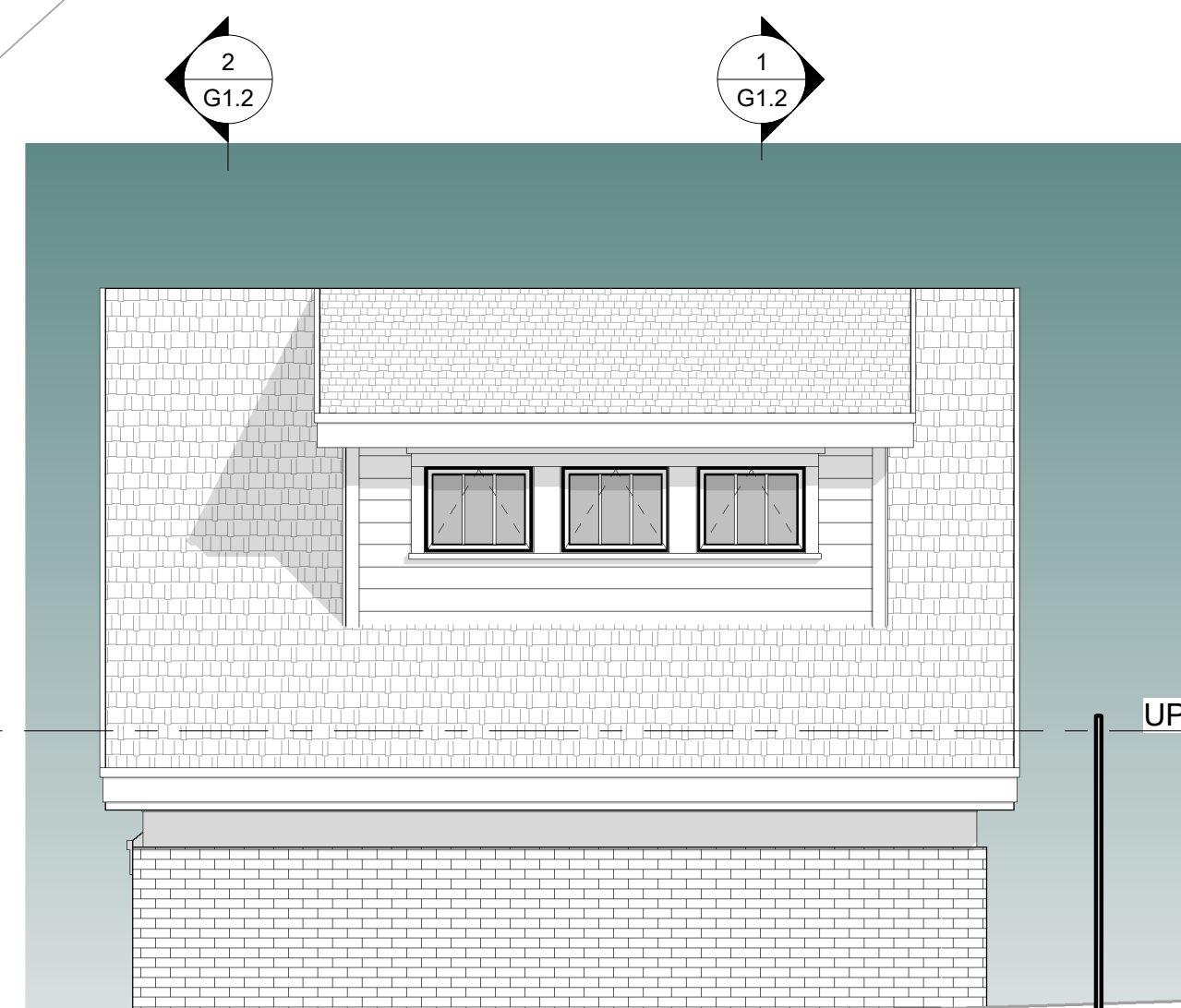


5 PROPERTY LINE ELEVATION
1/4" = 1'-0"



UPPER LEVEL
579' - 6 1/2"

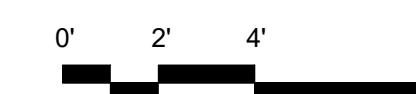
GROUND LEVEL
569' - 9"



2 ALLEY ELEVATION
1/4" = 1'-0"



1 DRIVEWAY ELEVATION
1/4" = 1'-0"



UPPER LEVEL
579' - 6 1/2"

GROUND LEVEL
569' - 9"

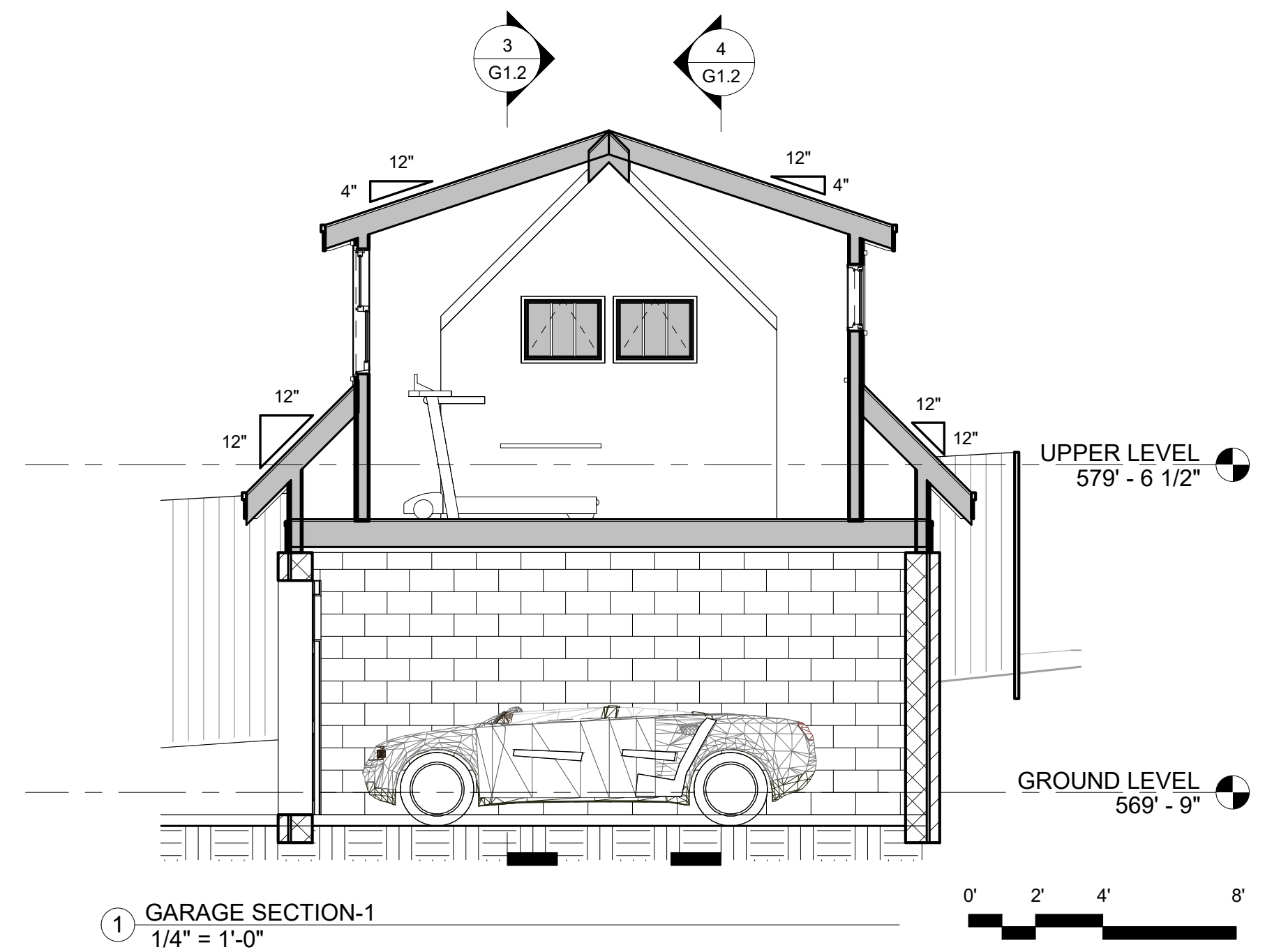
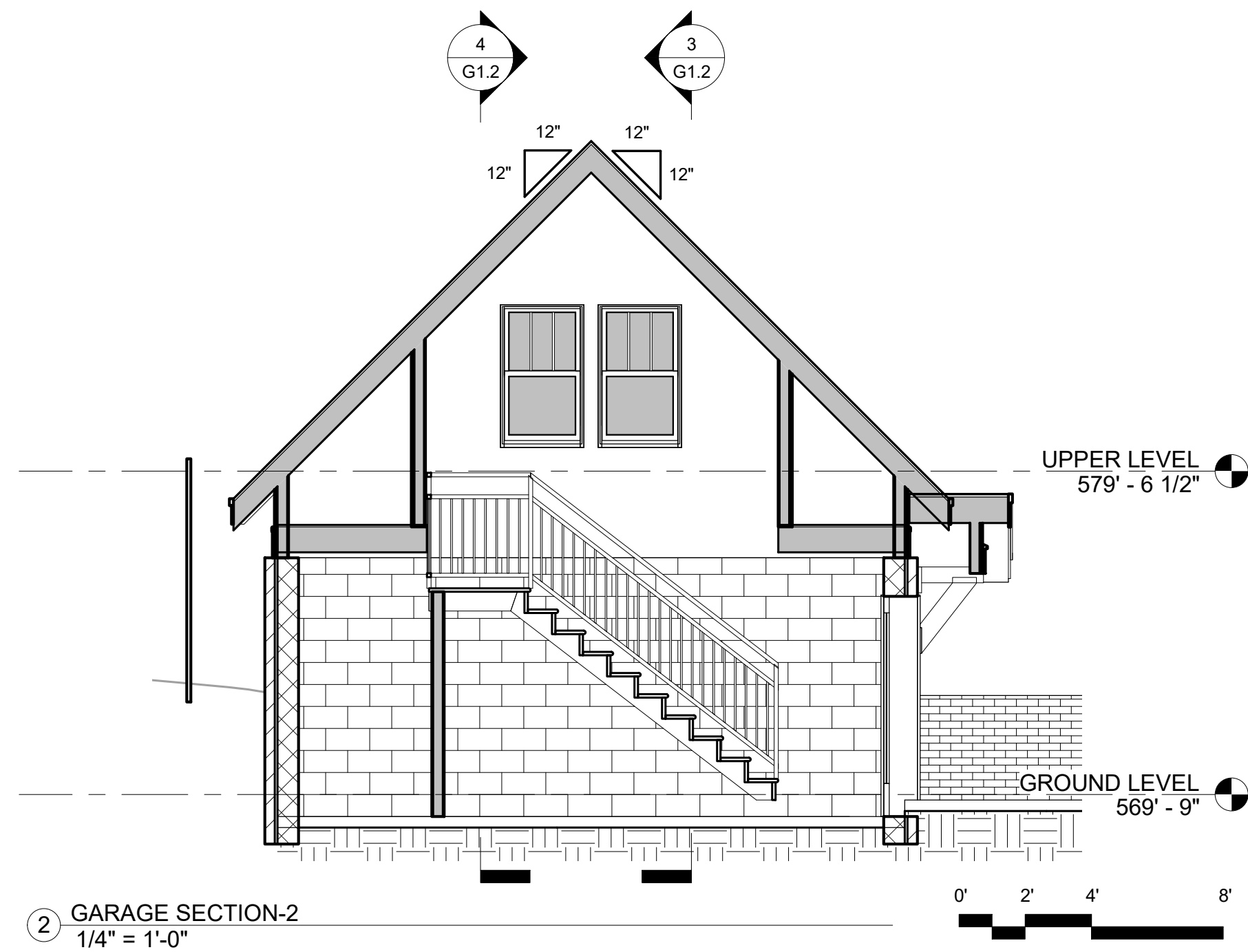
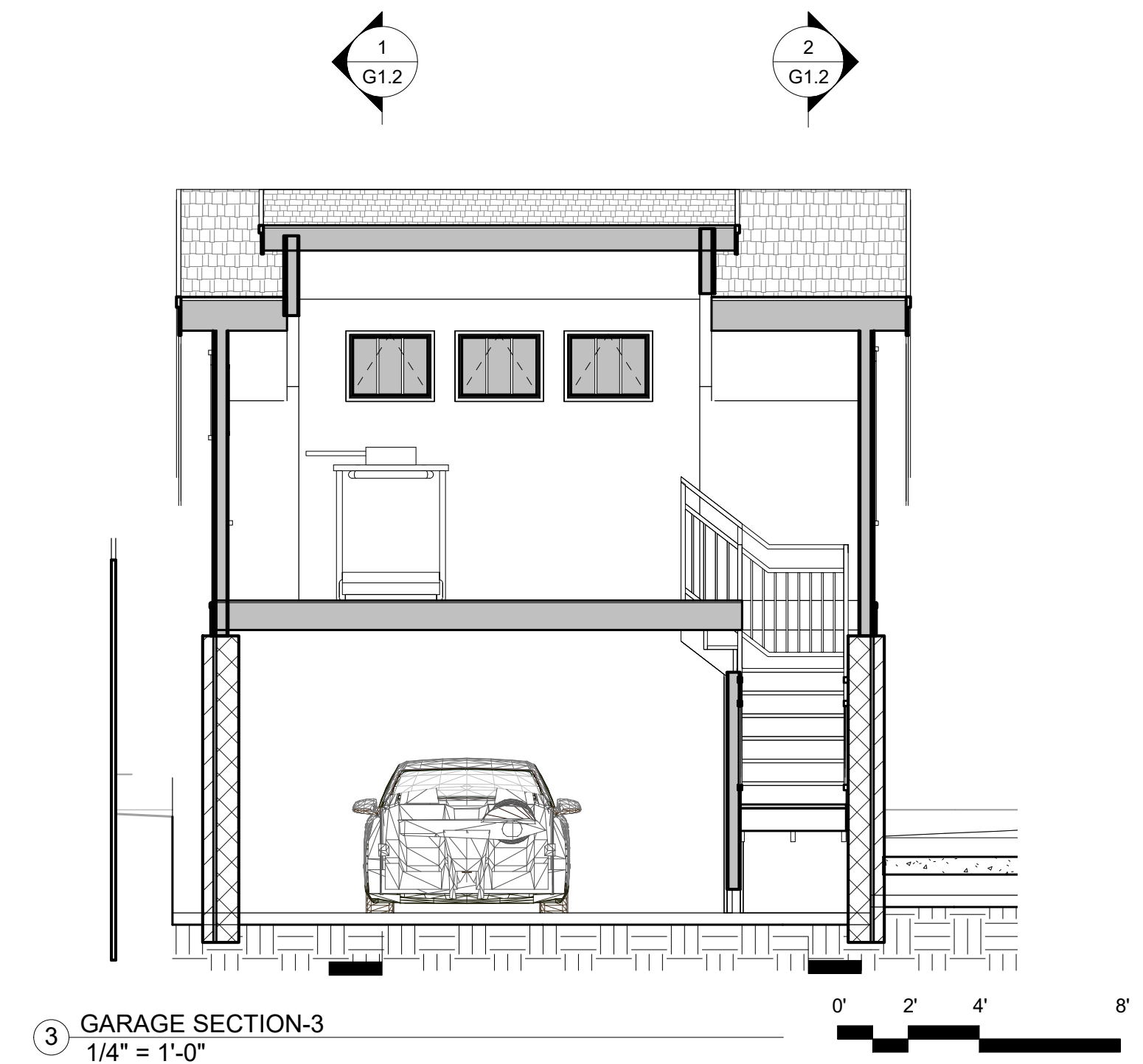
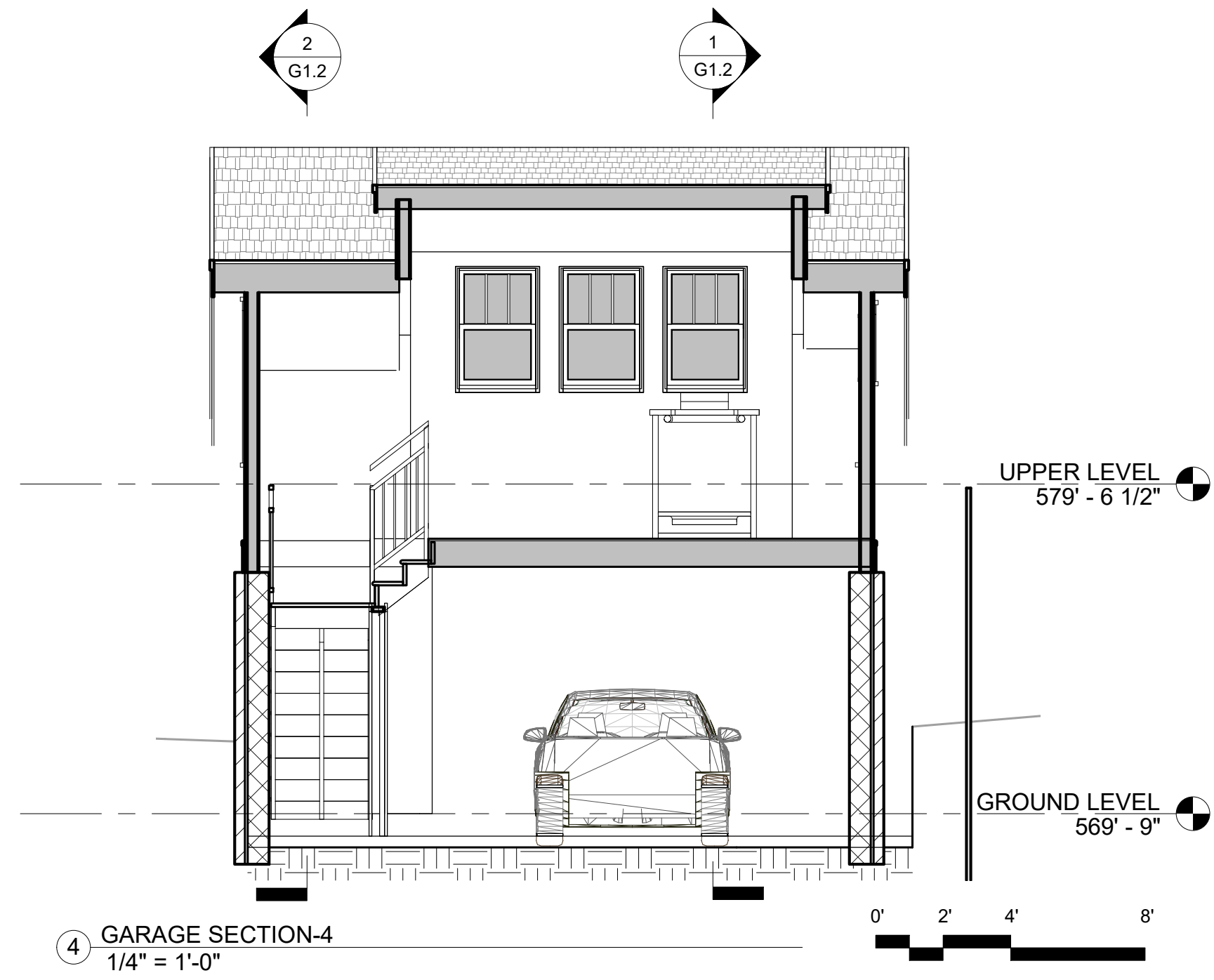
No.	Description	Date

Project #: 0000

Date: 08-05-2021

GARAGE PLANS

NOT FOR CONSTRUCTION NOT FOR CONSTRUCTION



NOT FOR CONSTRUCTION NOT FOR CONSTRUCTION

GARAGE AND WORKOUT ROOM
 LINDSAY & MARK ISON:
 1502 PARIS AVENUE, NASHVILLE TN 37212

No.	Description	Date

Project #: 0000
 Date: 08-05-2021
 GARAGE PLANS