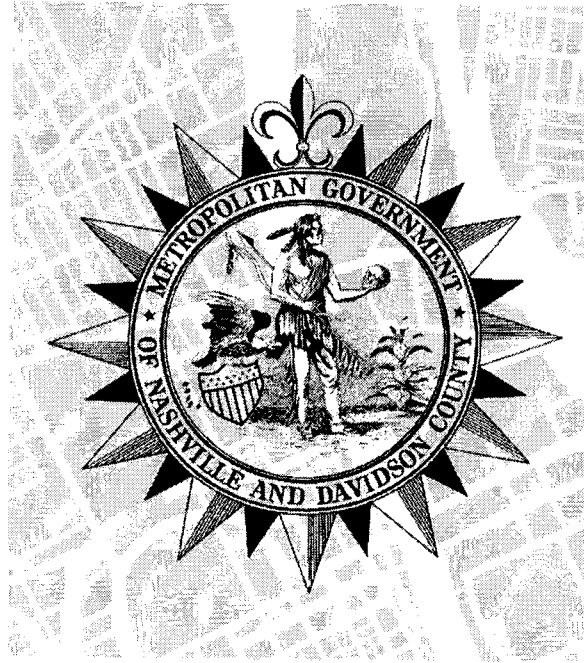


Metropolitan Planning Commission

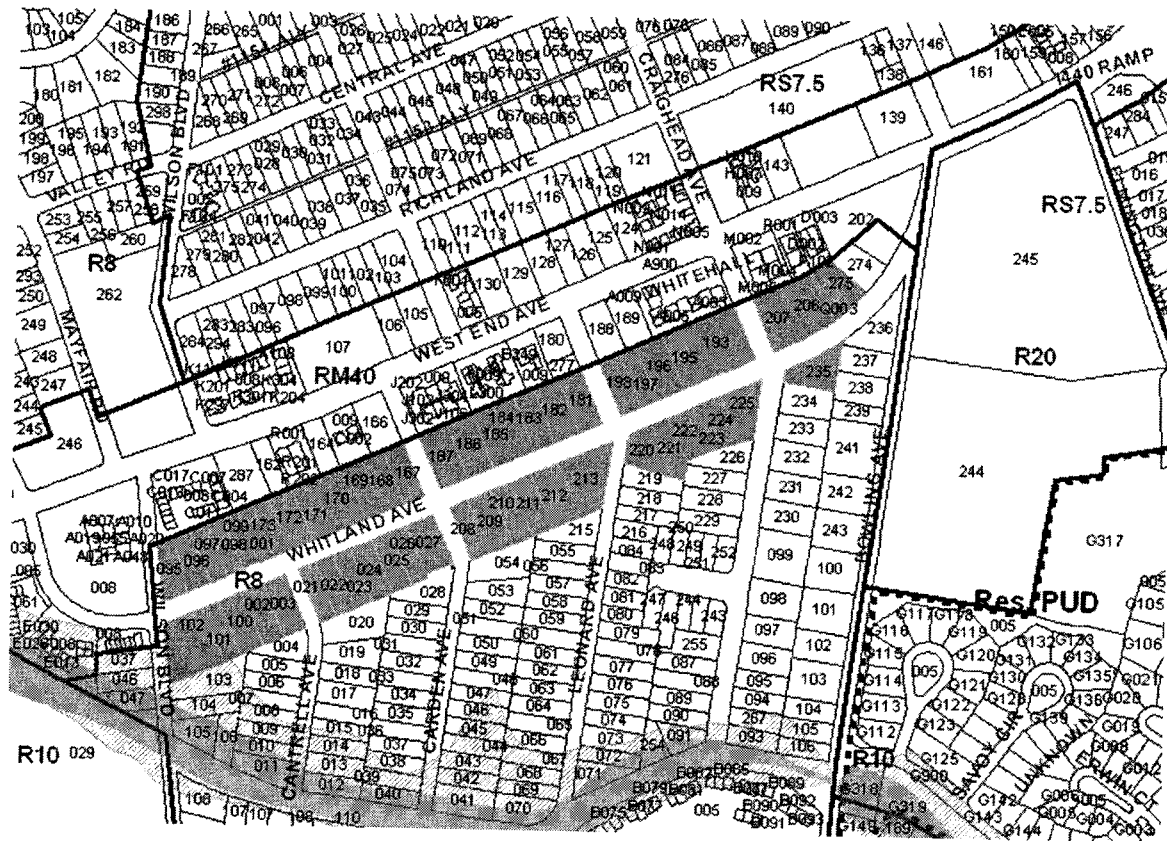


Staff Reports

November 13, 2008

Mission Statement: The Planning Commission is to guide the future growth and development for Nashville and Davidson County to evolve into a more socially, economically and environmentally sustainable community with a commitment to preservation of important assets, efficient use of public infrastructure, distinctive and diverse neighborhood character, free and open civic life, and choices in housing and transportation.

PREVIOUSLY DEFERRED ITEMS



2008Z-079U-10

Whitland Avenue

Map: 103-16 Parcels: Various

Map: 104-09, 104-09-Q Parcels: Various

Green Hills/Midtown Community Plan

Council District

24 – Jason Hollman



Project No. Zone Change 2008Z-079U-10
Council Bill BL2008-319
Council District 24 – Holleman
School District 8 - Fox
Requested by Councilmember Jason Holleman
Deferral *Deferred from the October 23, 2008, Planning Commission meeting*

Staff Reviewer Logan
Staff Recommendation *Approve*

APPLICANT REQUEST

A request to apply a Neighborhood Conservation Overlay for various properties on both sides of Whitland Avenue between Wilson Boulevard South and Bowling Avenue, zoned One and Two-Family Residential (R8) (19.61 acres).

Existing Zoning
R8 District

R8 requires a minimum 8,000 square foot lot and is intended for single-family dwellings and duplexes at an overall density of 5.41 dwelling units per acre including 25% duplex lots.

Deferral

This item was deferred in order to allow the residents of Whitland Avenue to discuss the proposed Neighborhood Conservation Overlay further. Councilmember Holleman held a neighborhood meeting on November 5, 2008.

PROPOSED OVERLAY DISTRICT

Section 17.36.120 of the Metro Zoning Ordinance recognizes Neighborhood Conservation Districts, along with Historic Preservation Districts and Historic Landmarks, as "Historic Districts." These are defined as geographical areas which possess a significant concentration, linkage or continuity of sites, buildings, structures or objects which are united by past events or aesthetically by plan or physical development, and that meet one or more of the following criteria:

1. The district is associated with an event that has made a significant contribution to local, state or national history; or
2. It includes structures associated with the lives of persons significant in local, state or national history; or



Metro Planning Commission Meeting of 11/13/08

3. It contains structures or groups of structures that embody the distinctive characteristics of a type, period or method of construction, or that represent the work of a master, or that possess high artistic values, or that represent a significant and distinguishable entity whose components may lack individual distinction; or
4. It has yielded or may be likely to yield archaeological information important in history or prehistory; or
5. It is listed or is eligible for listing in the National Register of Historic Places.

The Metro Historic Zoning Commission will review any new construction including additions, demolitions, or relocation of structures.

GREEN HILLS/MIDTOWN COMMUNITY PLAN POLICY

Residential Low Medium (RLM)

RLM policy is intended to accommodate residential development within a density range of two to four dwelling units per acre. The predominant development type is single-family homes, although some townhomes and other forms of attached housing may be appropriate.

Consistent with Policy?

Yes. The proposed Whitland Avenue Neighborhood Conservation Overlay does not change the base zoning. Further, the proposed overlay will serve to preserve the distinctive character of Whitland Avenue. This area was designated as Worthy of Conservation in the 2005 Green Hills/Midtown Community Plan. Whitland Avenue is also part of a larger area that is listed on the National Register of Historic Places.

**Metro Historic Zoning Commission
Recommendation**

At its October 20, 2008 meeting, the Metro Historic Zoning Commission (MHZC) determined that the boundaries for the Whitland Avenue NCD are a "historically significant geographic area" in accordance with Section 17.36.120 of the Metro Code. This area was determined to be "Worthy of Conservation" by the Metro Historical Commission staff in the 1994 Sub-



Metro Planning Commission Meeting of 11/13/08

area 10 Community Plan, and to have at least one property eligible for individual listing on the National Register of Historic Places.

Additionally, the MHZC adopted design guidelines for the proposed conservation zoning district that were written in accordance to the "Secretary of Interior Standards for Treatment of Historic Properties".

PUBLIC WORKS RECOMMENDATION

No Exceptions Taken

METRO SCHOOL BOARD REPORT

Projected student generation

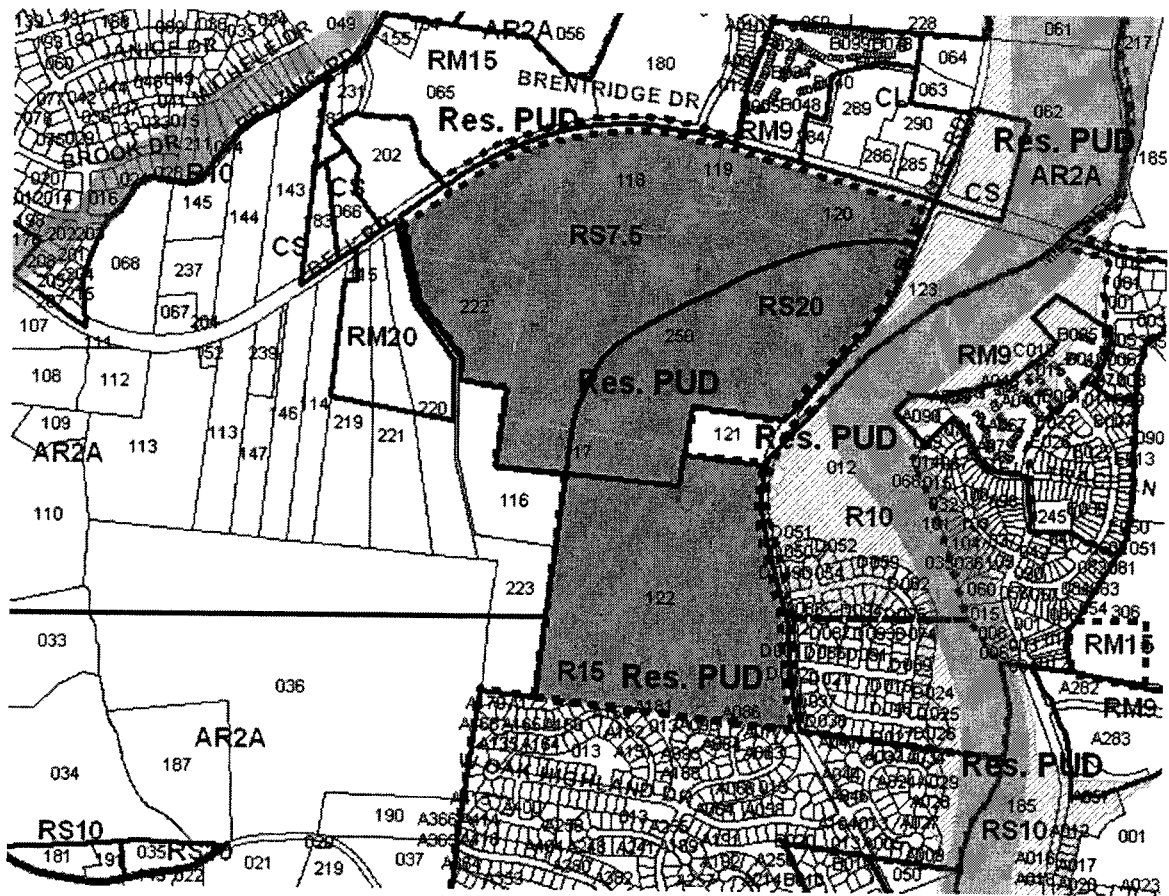
As this request to apply a Neighborhood Conservation Overlay does not change the underlying zone district, the number of expected students to be generated is zero.

STAFF RECOMMENDATION

Staff recommends approval because the request is consistent with the applicable land use policies and the intent of Section 17.36.120.

SEE NEXT PAGE

**PREVIOUSLY DEFERRED ITEMS
AND RE-REFERRED**



95 P-025U-12

Council Bill - BL2007-109

Millwood Commons (Amendment #2)

Map: 162-00 Parcels: 117, 118, 119, 120, 122, 222, 250

Southeast Community Plan

Council District 32 – Sam Coleman



Project No. **Planned Unit Development 95P-025U-12**
Project Name **Millwood Commons (Amendment #2)**
Council Bill **BL2007-109**
Council District 32 - Coleman
School Board District 2 - Brannon
Requested By Councilman Sam Coleman; Bell Road Vacant Land LLC, Bell Road L.P., and Kristi L. Warren, property owners

Re-referral *Re-referred to the Planning Commission, September 16, 2008, by the Metro Council*

Staff Reviewer Swaggart
Staff Recommendation *Approve with conditions*

APPLICANT REQUEST
Amend PUD

A request to amend the Millwood Commons Planned Unit Development located at Bell Road (unnumbered), Blue Hole Road (unnumbered), 1617 Bell Road, and 5439 Blue Hole Road, at the southwest corner of Bell Road and Blue Hole Road (159.38 acres), zoned Single-Family Residential (RS7.5), One and Two-Family Residential (R15), and Single-Family Residential (RS20), permitted for 884 multifamily units and 116 single-family lots, to include additional conditions pertaining to the dedication of a school site and improvements within the Infrastructure Deficiency Area.

PLAN DETAILS

This is a request by Councilmember Sam Coleman to amend the Millwood Commons Planned Unit Development. The amendment provides additional conditions pertaining to schools and the Infrastructure Deficiency Area. This request does not propose any new development or change to the last preliminary PUD plan approved by the Planning Commission.

History

In 2007 an application to revise the preliminary plan for Millwood Commons was filed, and on November 11, 2007, the Planning Commission approved the revision. During the Commission hearing, the Councilmember who represents the district in which the properties are located expressed concern over the development's impact on area schools and roadways. The Councilmember requested that the Commission require the PUD to meet current policy standards for new PUDs or PUD amendments in regards to schools and the Infrastructure Deficiency Area.



Metro Planning Commission Meeting of 11/13/08

The applicant's request in 2007 was for the Planning Commission to revise the PUD and did not require subsequent approval by the Metro Council. The Commission did not believe it was appropriate to include the conditions requested by the Councilmember in a Commission-approved revision to the PUD. Along with its approval of the PUD revision, however, the Planning Commission accommodated the Councilmember's request by also recommending approval of a Councilmember initiated amendment that would apply current policy standards regarding schools and the Infrastructure Deficiency Area.

Subsequently a bill was filed by the Councilmember (Ordinance No. BL2007-109) to amend the PUD. The bill passed second reading on September 2, 2008, and on September 16, 2008, was amended and deferred to the November 18, 2008, Council Meeting and re-referred to the Planning Commission.

Ordinance No. BL2007-109

Amendment #2 specifies that prior to issuance of any building permits for development of the property in accordance with the first final PUD site plan, the property owner or developer of the final shall a) offer for dedication a school site in compliance with the standards of Section 17.16.040 for elementary schools with a capacity of 500 students; or b) make a cash contribution to the Metropolitan Board of Education equal to the product of \$814 per student multiplied by the number of the projected student generation potential of such owner's/developer's Property Parcel(s) being developed in accordance with the first final PUD Site plan.

Secondly, it requires that in the event that option "b" above is elected, each other owner of property parcels shall subsequently contribute their proportional sums, as determined by the Metropolitan Planning Department and the Metropolitan Board of Public Education, prior to the issuance of any building permit(s) for their respective Property Parcel(s) within the PUD. Any offer of dedication of a school site under (a) above shall be in accordance with the locational criteria of the Metropolitan Board of Education and shall be within the Antioch High School cluster. The



Metro Planning Commission Meeting of 11/13/08

Board of Education may decline such dedication under (a) above if it finds that a site is not needed or desired.

Lastly, the amendment requires that prior to the issuance of any building permit(s) for any property parcel within the Infrastructure Deficiency Area (IDA) containing a deficiency relating to transportation, such transportation deficiency for such property parcel must be completed or bonded for 557 linear feet of roadway, or such other lesser project that the Metropolitan Public Works Department determines is satisfactory.

Staff Analysis

It is the policy of the Planning Commission when making recommendations on a zoning request to include recommendations to Council for school site dedications and for roadway improvements when new development is located within the IDA. If Millwood Commons were a new development proposal, Planning Staff would evaluate the potential number of students generated by the specific number of units. In this case the PUD calls for 884 multi-family units and 116 single-family lots. According to the current school calculator the development would generate 95 elementary students, 53 middle school students and 53 high school students. Since it would generate more than 100 students the Commission would include a recommendation that an elementary school site be offered for dedication. In addition to recommendations for the school site dedication, the Commission also provides a monetary value for the developments' fiscal impact on Metro Schools. According to current figures the total fiscal liability would be \$4,391,000.

Of the approximately 159 acres within the PUD, about 43 acres is within the IDA. The length of roadway to be improved is based on land use policy and would require a total of 559 linear feet of roadway improvements.

Amendment #2 addresses the Councilmember's original concerns, but alters the implementation of the original conditions. Amendment #1 held the owner or developer of the first phase of the final PUD responsible for carrying the full burden for school and IDA requirements for the entire PUD regardless of the actual development's impact or if the proposal is within the IDA. Amendment #2 requires that the owner or



Metro Planning Commission Meeting of 11/13/08

developer for each phase of the final PUD to either offer a school site for dedication or make a financial contribution to the Metropolitan Board of Education. It further states that only property within the PUD that is actually within the IDA will be required to meet the IDA requirements.

The PUD plan currently does not include street connections to the west. A development is proposed for the adjacent property that may permit a future connection to this PUD. Any future revisions should include a street connection to the west.

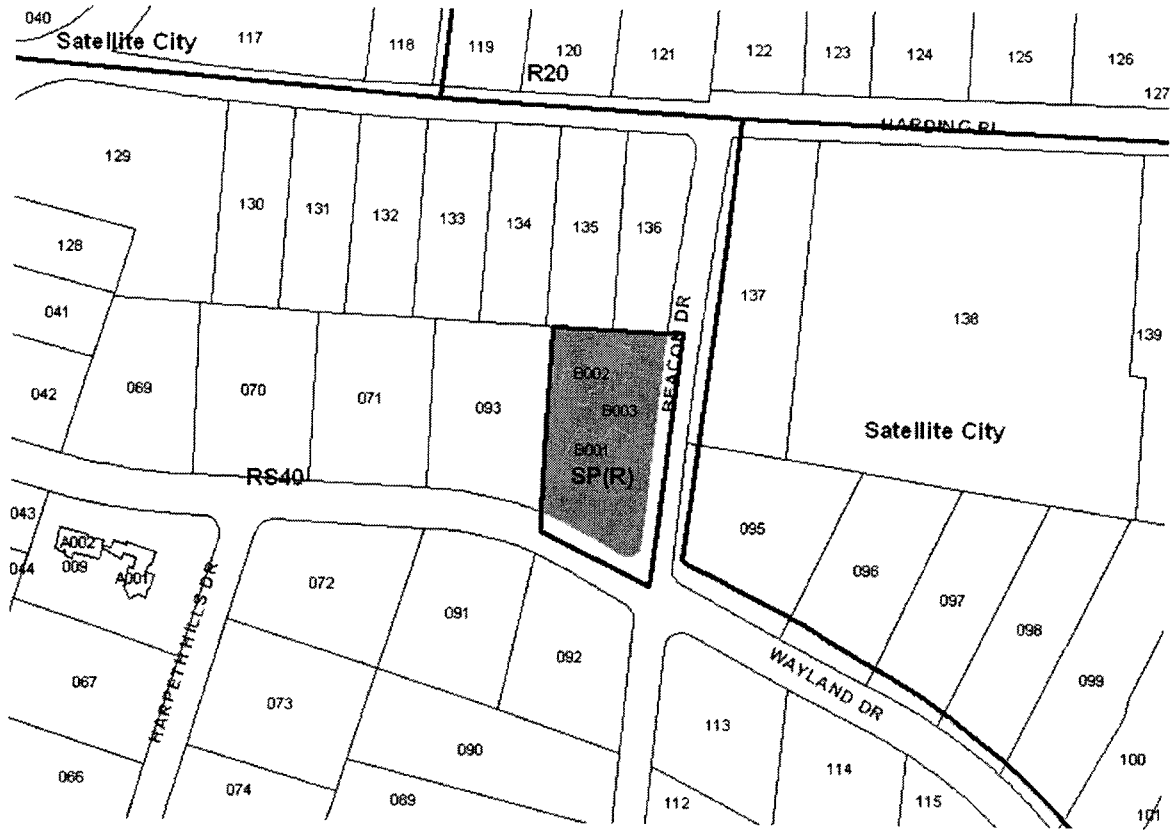
STAFF RECOMMENDATION

Staff recommends approval of the amendment since it does not exceed current Planning Commission policy requirements that would be applied to a comparable rezoning.

CONDITION

Any revision to the last approved preliminary plan shall consider providing a street connection to any development approved on adjacent property to the west.

SEE NEXT PAGE



2007SP-114U-10

4000 Wayland Dr (Formerly Beacon Way Townhomes)

Map: 130-11-0-A Parcels: 001, 002, 003

Green Hills/Midtown Community Plan

Council District 34 – Carter Todd



Project No.
Project Name

2007SP-114U-10
4000 Wayland Drive (Formerly Beacon Way Townhomes)

Council District
School District
Requested by

34 - Todd
8 - Fox
Carbine and Associates, applicant for Charles R. Carroll, owner

Deferral

Deferred from the October 23, 2008, Planning Commission meeting at the request of the applicant.

Staff Reviewer
Staff Recommendation

Leeman
Approve with conditions

APPLICANT REQUEST
Final Site Plan

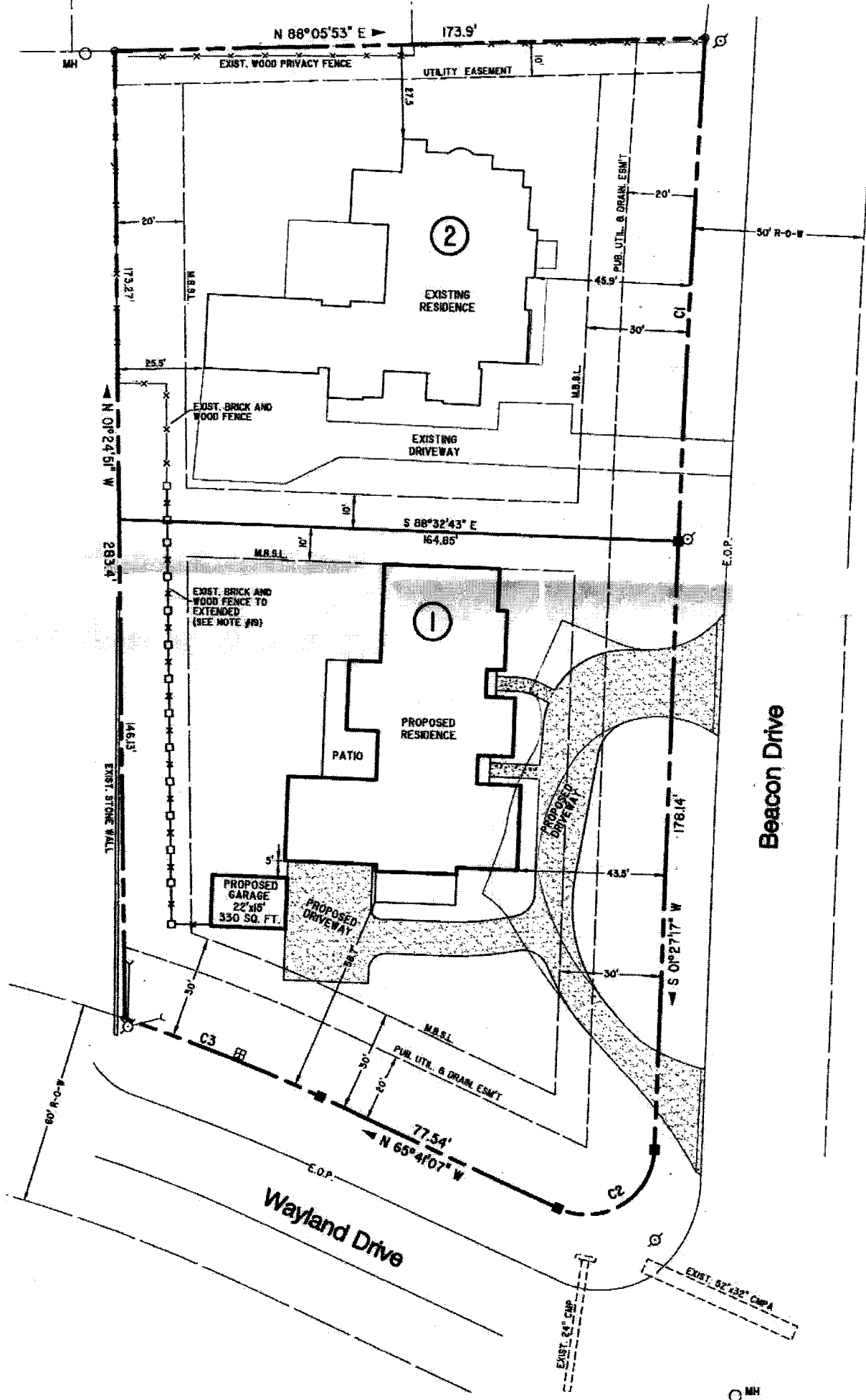
A request for final site plan approval for the Specific Plan-Residential (SP-R) located at 4000 Wayland Drive, at the northwest corner of Wayland Drive and Beacon Drive (1.25 acres), to construct one single-family residence with a detached garage, and install drainage, landscaping, and a wall associated with the proposed residence.

Proposed Zoning
SP-R District

Specific Plan-Residential is a zoning district category that provides for additional flexibility of design, including the relationship of streets to buildings, to provide the ability to implement the specific details of the General Plan. This Specific Plan includes only one residential building type.

PLAN DETAILS
History

This property was rezoned from RS40 to SP-R in July 2007. Prior to that, this property was rezoned from R40 to RS40 in September 2006. The owner of the property at that time was issued a building permit to build a duplex on the property before the RS zoning took effect. While the RS40 did not permit duplexes, the owner could have legally built a duplex. Instead of building a duplex on this property, a request to rezone to an SP district was made to allow two lots smaller than the 40,000 square feet required by the existing RS40 zoning (27,992 sq. ft. and 24,029 sq. ft.). The Planning Commission recommended approval and the Council subsequently approved the rezoning to SP in July 2007.



Beacon Drive

Wayland Drive

MH



Metro Planning Commission Meeting of 11/13/08

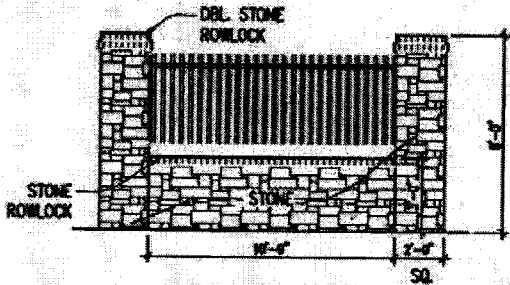
The approved SP contains two single-family homes on two lots, including a new 6,000 sq. ft. house on Lot 1 and an existing 7,200 sq. ft. house on Lot 2. The SP plan provided more requirements, such as specific landscaping, a wall, and design standards, than if the property was developed under straight zoning. To date, not all of the requirements have been met. Prior to the issuance of building permits for Lot 1, all requirements of the SP for Lot 2 must be completed, including landscaping and completion of the wall on Lot No. 2.

Proposed Final Site Plan

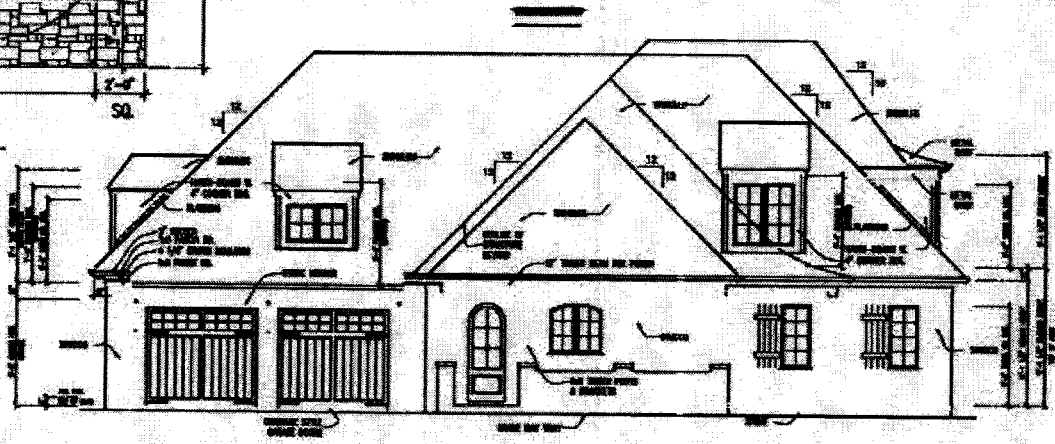
The SP final site plan for Lot 1 maintains approximately the same building footprint for the proposed home, which includes 5,996 sq. ft. for the primary structure and an additional 330 sq. ft. for a detached garage along Wayland Drive. The garage has been reduced in size since the October 23, 2008, meeting when it was proposed at 430 square feet. The access point for the garages has also changed since the last meeting. All access is now proposed from Beacon Drive, with no driveway onto Wayland Drive.

While the primary structure is consistent with the Preliminary SP plan, a detached one-car garage is proposed with this final site plan, in addition to the two-car attached garage. The detached garage is closer to Wayland Drive (35 feet from Wayland) than the primary structure (59 feet from Wayland). The proposed plan for the detached garage includes a stucco exterior. The proposed detached garage is turned to face Beacon Drive, which serves to minimize the overall visual impact of the garage doors on Wayland Drive. There is also a wall separating this SP from the neighboring property to the west, as was approved with the preliminary SP. This wall will serve to screen the garage area from the neighboring property.

Although the proposed additional garage and driveway location is different from the approved preliminary SP plan, staff recommends approval since it is not out of character with the street. The proposed final site plan is consistent with the house at the corner of Lynnwood Boulevard and Wayland Drive, which is set back approximately 30 feet from Wayland Drive with the garage facing Wayland Drive.



FENCE DETAIL



LEFT SIDE ELEVATION



FRONT ELEVATION



Metro Planning Commission Meeting of 11/13/08

Changes to Final Site Plan

Even though the detached garage and driveway location was not included on the preliminary plan approved by Council, staff recommends that the changes be considered as a minor adjustment to the final site plan as permitted by the standard condition included in the Council Bill. That condition states:

“Be it further enacted, that minor adjustments to the site plan may be approved by the planning commission or its designee based upon final architectural, engineering or site design and actual site conditions. All adjustments shall be consistent with the principles and further the objectives of the approved plan. Adjustments shall not be permitted, except through an ordinance approved by Metro Council, that increase the permitted density or intensity, add uses not otherwise permitted, eliminate specific conditions or requirements contained in the plan as adopted through this enacting ordinance, or add vehicular access points not present in the plan that is a part of this ordinance.”

Sidewalks

Since there are no existing sidewalks in the area, the preliminary SP plan included a requirement for a monetary contribution to be made in lieu of sidewalk construction, consistent with the Subdivision Regulation requirements. With this requirement, staff recommends a condition that the contribution for 148 linear feet be made prior to final plat recordation.

WATER SERVICES RECOMMENDATION

Approved

METRO STORMWATER RECOMMENDATION

Approved

PUBLIC WORKS RECOMMENDATION

No exception taken.

STAFF RECOMMENDATION

Staff recommends approval with conditions.

CONDITIONS

1. Prior to the issuance of any building permits for Lot 1, a final plat shall be recorded subdividing Lot 1 and Lot 2 as depicted on the SP plan.
2. Prior to the issuance of any building permits for Lot 1, a sidewalk contribution must be made to the



Metro Planning Commission Meeting of 11/13/08

Public Works Department for 148 linear feet of frontage consistent with the requirements of the Subdivision Regulations.

3. Prior to the issuance of any building permits for Lot 1, all requirements of the SP for Lot 2 shall be completed, including landscaping and completion of the wall on Lot 2.
4. No drains shall be located so as to drain directly onto neighboring properties. Drains shall be directed toward the drainage areas on site between Lot 1 and Lot 2. French drains, or similar type drain, shall be installed around the wall to direct water flow to a centralized location on site.
5. New home on Lot 1 shall have a maximum height of 30 feet.
6. The wall shall be built as depicted on the final site plan. This wall will be constructed of stone. All columns will be at least 8 feet (from the ground) at their lowest point. The wood portion will be no more than six inches from the top of stone on the column. The fence will extend from the northwest corner of Lot 2 to a point that is parallel with the southwest corner of the proposed house on Lot 1. It shall be located so that no existing mature trees will be removed during the installation. If necessary, the fence will be re-directed at 90 degree angles only.
7. For any development standards, regulations and requirements not specifically shown on the SP plan and/or included as a condition of Commission or Council approval, the property shall be subject to the standards, regulations and requirements of the RS20 zoning district as of the date of the applicable request or application.
8. A corrected copy of the SP final site plan incorporating the conditions of approval by the Planning Commission shall be provided to the Planning Department prior to the issuance of any permit for this property, and in any event no later than 120 days after consideration by Planning Commission. If a corrected copy of the SP final site plan incorporating the conditions therein is not



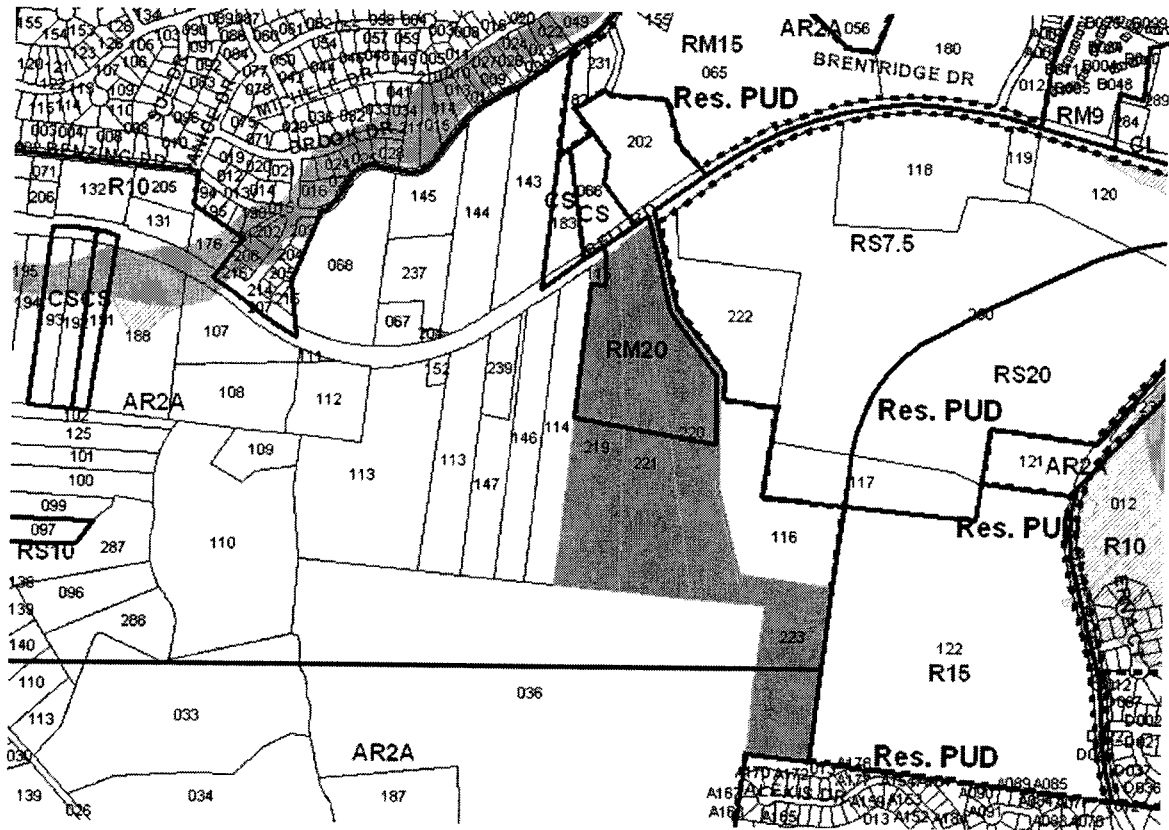
Metro Planning Commission Meeting of 11/13/08

provided to the Planning Department within 120 days after the date of conditional approval by the Planning Commission, then the corrected copy of the SP final site plan shall be presented to the Metro Council as an amendment to this SP ordinance prior to approval of any grading, clearing, grubbing, or any other development application for the property.

9. The SP final site plan as approved by the Planning Commission will be used to determine compliance, both in the issuance of permits for construction and field inspection. While minor changes may be allowed, significant deviation from the approved site plans may require reapproval by the Planning Commission and/or Metro Council.

SEE NEXT PAGE

SPECIFIC PLANS



2007SP-037U-12

Forest View

Map: 162-00 Parcels: 115, 219, 221, 220, 223

Southeast Community Plan

Council District 32 – Sam Coleman



Project No.
Project Name
Council Districts
School Districts
Requested by

Zone Change 2007SP-037U-12
Forest View SP
32 - Coleman
2 - Brannon
Dale & Associates, applicant, for Charles Leach, Ben Odom, Joanne Davis, F. West and GTZ Investments, owners

Staff Reviewer
Staff Recommendation

Sexton
Disapprove

APPLICANT REQUEST
Preliminary SP

A request to rezone from Agricultural/Residential (AR2A) and Multi-Family Residential (RM20) to Specific Plan-Mixed Use (SP-MU) zoning properties located at 1452, 1450, 1448, 1446, and 1444 Bell Road, approximately, 3,515 feet west of Blue Hole Road (40.21 acres), to permit the development of multi-family dwelling units, commercial, office, and retail uses.

Existing Zoning
AR2A District

Agricultural/residential requires a minimum lot size of 2 acres and intended for uses that generally occur in rural areas, including single-family, two-family, and mobile homes at a density of one dwelling unit per 2 acres. The AR2a district is intended to implement the natural conservation or interim nonurban land use policies of the general plan.

RM20 District

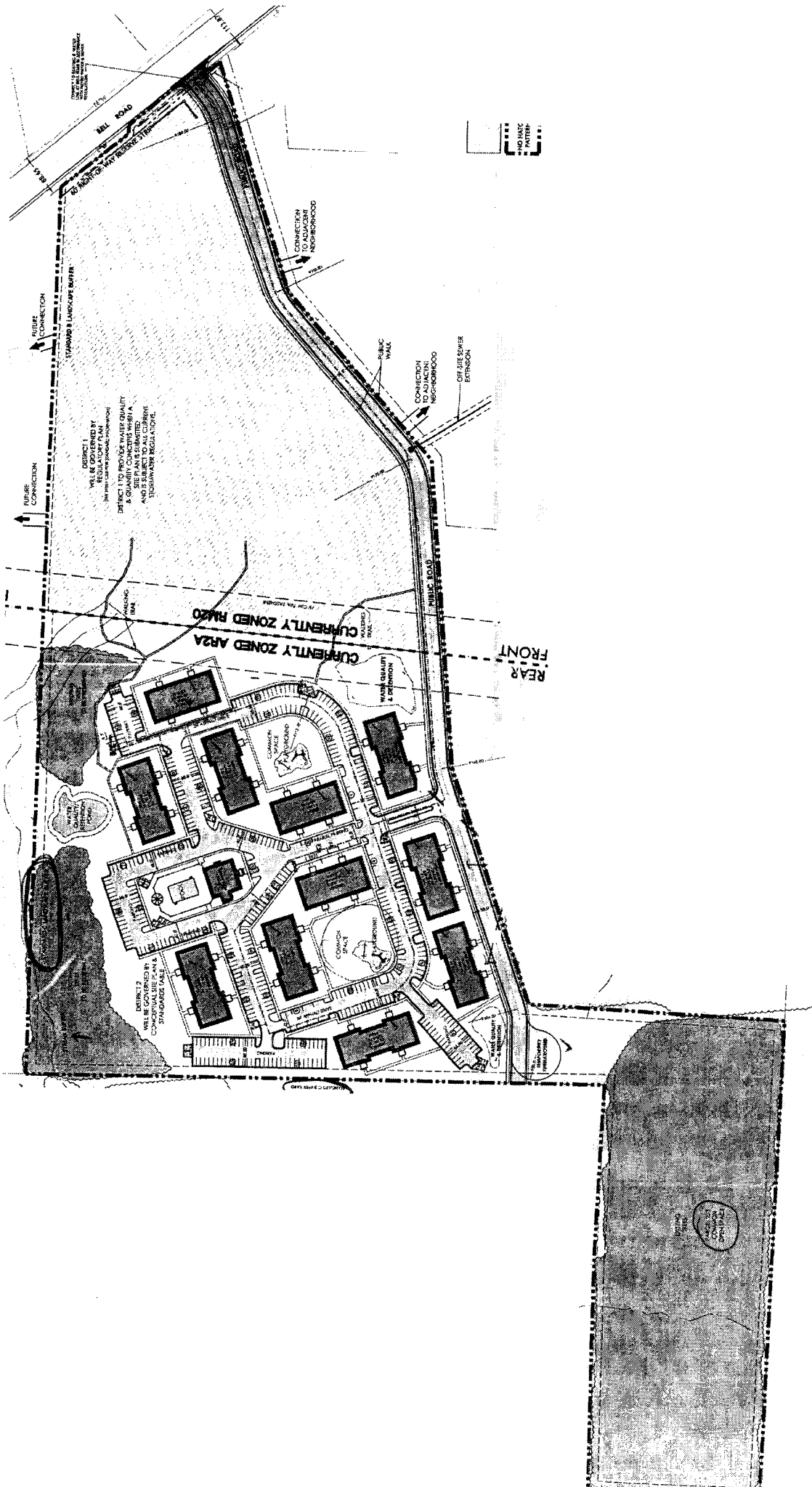
RM20 is intended for single-family, duplex, and multi-family dwellings at a density of 20 dwelling units per acre.

Proposed Zoning
SP-MU District

Specific Plan-Mixed Use is a zoning District category that provides for additional flexibility of design, including the relationship of streets to buildings, to provide the ability to implement the specific details of the General Plan. This Specific Plan includes retail, office, commercial, and residential uses.

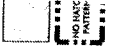
SOUTHEAST
COMMUNITY PLAN
Neighborhood Center (NC)

NC is intended for small, intense areas that may contain multiple functions and are intended to act as local centers of activity. Ideally, a neighborhood center is a "walk-to" area within a five minute walk of the surrounding neighborhood it serves. The key types of



DISTRICT 1
 WILL BE GOVERNED BY
 THE DISTRICT 1 ZONING ORDINANCE
 WHICH PROVIDES FOR
 CONCEPTUAL SITE PLANS &
 CONCEPTUAL SITE PLANS &
 STANDARDS TABLE.

DISTRICT 2
 WILL BE GOVERNED BY
 THE DISTRICT 2 ZONING ORDINANCE
 WHICH PROVIDES FOR
 CONCEPTUAL SITE PLANS &
 CONCEPTUAL SITE PLANS &
 STANDARDS TABLE.



DISTRICT 1
 DISTRICT 2



Metro Planning Commission Meeting of 11/13/08

Neighborhood General (NG)

uses intended within NC areas are those that meet daily convenience needs and/or provide a place to gather and socialize.

NG is intended to meet a spectrum of housing needs with a variety of housing that is carefully arranged, not randomly located. An accompanying Urban Design or Planned Unit Development overlay district or site plan should accompany proposals in these policy areas, to assure appropriate design and that the type of development conforms with the intent of the policy.

Consistent with Policy?

Yes. The portion of the property designated NC is consistent with proposed District A uses that will function as centers of activity. The portion of the property that is designated NG is consistent with proposed residential uses in District B and open space in District C.

PLAN DETAILS

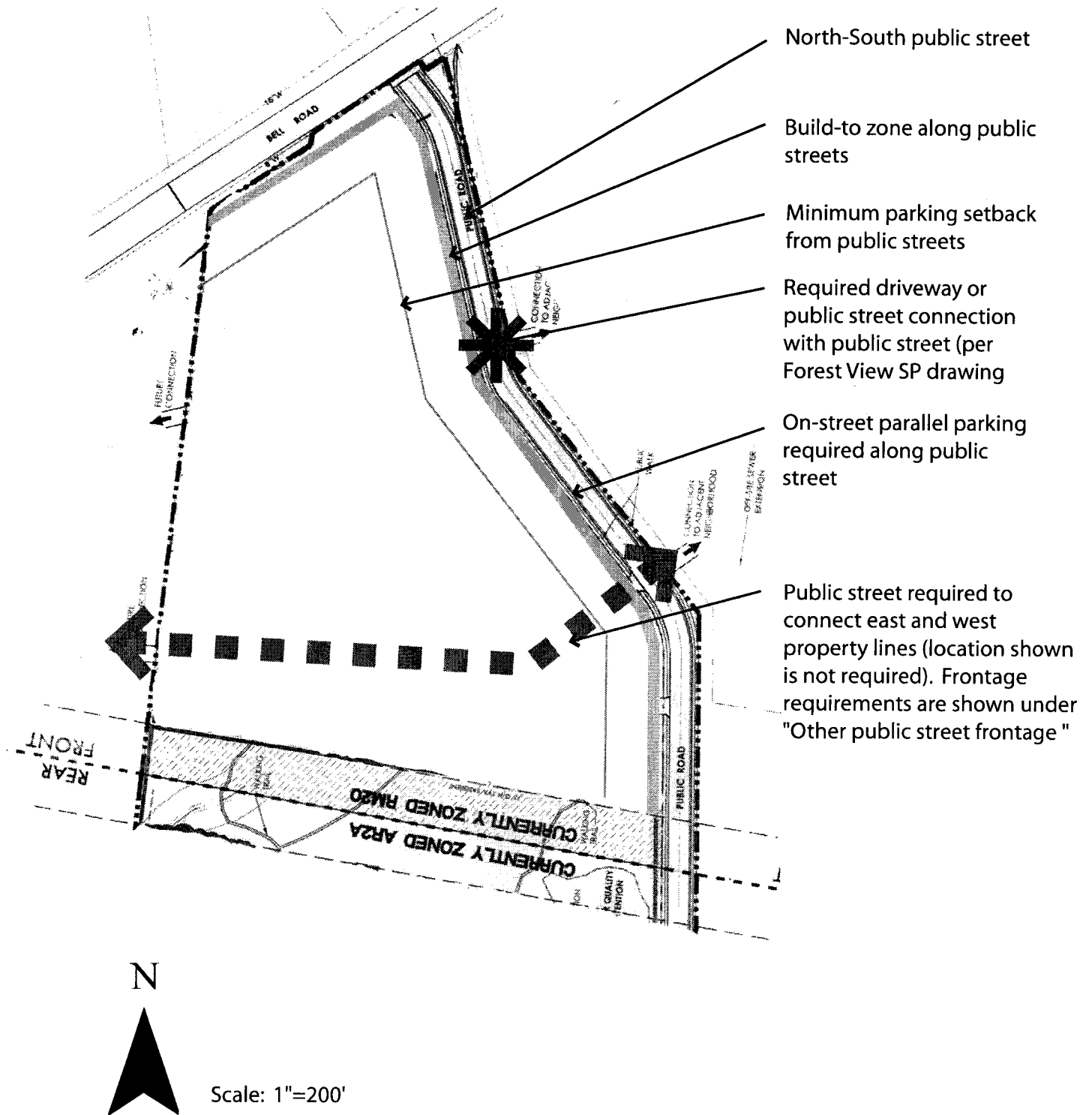
District A

The proposed SP includes three districts, each with its own land uses and bulk standards. A site plan was provided for Districts B only. A set of inadequate development standards was provided for District A. The site plan for District A shows a new public street, meant to be illustrative only and no specific streets are being proposed within this rezoning request. The site plan for District B will likely change in order to accommodate a stream corridor that runs through the property.

District A, with approximately 12 acres in area, is proposed for commercial, retail, and office uses fronting Bell Road from the northern property line to the TVA easement. The uses and bulk standards for this district will be similar to those for the MUL zoning district with the following uses excluded: bars, night clubs, and restaurants. Building heights are to be three stories and the maximum floor area ratio (FAR) is proposed to be 1.00.

A standard B Buffer is proposed along the western property line in order to provide additional buffering from the existing residential property. A standard B Buffer is also provided between the pre-existing RM20 and AR2A zoning districts. Details of the proposed landscaping have been provided, but a list of proposed

Autumn Bluffs SP diagram





Metro Planning Commission Meeting of 11/13/08

District B

trees and shrubs species consistent with the Urban Forster's tree density requirement is needed.

District B, with approximately 28 acres in area, is proposed for 11 multi-family apartment buildings containing 248 units. The plan indicates that it allows a maximum of 420 units. The maximum number of units needs to be reduced to the 248 units shown on the plan. Uses permitted within this sub-district are those allowed under the multi-family (RM15) zoning district. Building heights are limited to three stories. The bulk standards of the RM15 zoning district will apply in District B.

A standard C buffer is identified along the west and south perimeter of District B. As is the case for District A, details of the proposed landscaping have been provided, but a list of proposed trees and shrubs species consistent with the Urban Forster's tree density requirement is needed.

District C

District C is approximately 10 acres in area and is proposed for open space. Uses in this portion of the SP are limited to maintenance of the open space.

The buffers in District A and B, and the open space in District C, will be managed and maintained through an association set up for this purpose. No details of this association have been provided and will be required prior to final site plan approval of the first phase of this proposed development.

Streets Network and Sidewalks

No details were provided for the street network in District A. Any street network will need to meet the requirements set out below. Parallel parking shall be provided along all public streets (excluding Bell Rd.) in front of buildings with frontage on the public street. An east-west public street must be constructed within the mixed-use portion of this SP to provide connection opportunities to adjacent parcels to the east and west. The plan includes sidewalks with a minimum width of 12 feet in District A to serve pedestrians and bicyclists. Walks should penetrate perimeters in several places to accommodate pedestrian accessibility.

Access Management

An access management plan is required for District A. The plan will need to meet the requirements set out



Metro Planning Commission Meeting of 11/13/08

below. In District A, driveway connections to the new public streets on the east side of the property shall be provided at approximately 400 feet south of the Bell Road property line and shall be consistent with the alignment shown on drawings dated September 9, 2008 for the Forest View SP. The northern portion of this SP shall provide a minimum of two street and/or driveway connections to both the east and west property lines for a total of four connection points. In District B, the plan shows a 30 foot wide vehicular entrance from a public road.

Parking

Parking requirements for each use will be governed by the standards of the Zoning Code for each proposed use. Additional detail is needed on the location of parking within District A including:

- Parking shall be set back a minimum 100 feet from northern-most Bell Road property line
- There shall be a minimum parking setback of 70 feet from the property line designated along the north/south Public Street.
- All surface parking lots shall be sited behind buildings for screening purposes from Bell Road and all Public Streets.
- Additional parking in the interior of District A shall have a minimum 15 foot setback along all proposed public street frontages.
- Parking spaces within driveways along building frontages shall be parallel to the driveway.

In district B, the plan does not provide the number of proposed bedrooms per unit. As parking in multi-family developments is determined by the number of bedrooms, this detail is required. All parking in District B shall satisfy parking requirements as required by the Zoning Code. The plan shows perpendicular parking spaces within the driveways along building frontages. These parking spaces need to be parallel to the driveway.

Building Orientation

The development standards submitted by the applicant provide setbacks but do not discuss building orientation in District A. The following additional standards must be added to the SP plan:



Metro Planning Commission Meeting of 11/13/08

- Buildings in District A shall have a build-to zone of 30 to 40 feet from the northern-most Bell Road property line extended along Bell Road.
- Front building facades must occupy a minimum of 60% of the length of the build-to zone along public streets.
- Build-to zones for public streets north and south within District A shall be 0 to 15 feet from the property line designated along new public streets.

In District B, the plan shows apartment buildings facing common internal parking areas, common space and a public road.

Building Form Requirements

The proposed plan lacks detail regarding building form in District A. The plan must be revised to include the following standards: In District A, minimum ground floor height on commercial and mixed use buildings shall be 14 feet. Maximum impervious surface ratio shall be 90%. All buildings with frontage along a public street shall provide fenestration for a minimum of 40% of the first floor facade, measured from grade to the 2nd floor FFE. All buildings with frontage along a public street shall provide a public entrance facing the public street. Awnings shall be the only type of encroachments allowed.

Signs

No sign details were included in this SP. Signs for District A shall be based on the standards of the MUL zoning district and signs for District B shall be based on the RM15 zoning district standards. There are no signage standards proposed for District C.

For Districts A and B, in addition to signs prohibited by Section 17.32.050 of the Metro Zoning Ordinance, prohibited signs will include roof mounted signs, pole mounted signs, billboards, and signs that flash, rotate, scintillate, blink, flicker or vary in intensity or color, including all electronic signs. Permitted signs in District A include building signs only and freestanding ground signs are permitted in District B. Building signs are attached directly to, or supported by brackets attached directly to a principal building. Freestanding ground signs are supported by structures or supports that are anchored in the ground and that are independent of any building or other structure and are a



Metro Planning Commission Meeting of 11/13/08

maximum six feet in height. Wall mounted building signs shall have a maximum sign area of 30 square feet.

Signs shall be externally lit with steady, stationary, down directed, and completely shielded light sources or may be internally illuminated or back-lit with a diffused or shielded light source. Sign backgrounds shall be opaque, only letters and logos may be internally illuminated. Free standing ground signs may be lit from a ground lighting source. All signs in District A and B shall be constructed using high-quality durable materials such as metal, stone, brick, and hardwood, and shall complement materials and features of buildings on the same property. The design and alignment of signs on multiple use buildings shall compliment each other such that visual unity effect is achieved.

Any phase of development in District A that will include multiple stories and/or tenants shall submit an overall sign program with the final site plan.

STORMWATER RECOMMENDATIONS

Recommend disapproval until undisturbed buffers are shown or a hydraulic determination showing conveyance is not a stream is provided

WATER SERVICES RECOMMENDATION

Capacity letter will expire November 1, 2008. The engineer needs to submit a copy of this letter and a request in writing to update and/or revise their request.

FIRE MARSHAL RECOMMENDATION

Reviewed: Denied

One & two family final plat plans must show results from fire hydrant(s) flow test, performed within 6 months with a minimum of 1000 gpm @ 20 psi available at hydrants, for buildings up to 3600sq. ft. to be approved for fire hydrant flow requirements.

New commercial developments shall be protected by a fire hydrant(s) that comply with the 2006 edition of NFPA 1 table H. To see table H go to <http://www.nashfire.org/prev/tableH51.htm>



Metro Planning Commission Meeting of 11/13/08

Fire department access roads shall be provided such that any portion of the facility or any portion of an exterior wall of the first story of the building is located not more than 150 ft (46 m) from fire department access roads

Dead end fire mains over 600 feet in length are required to be no less than 10 inch in diameter. If this is to be a public fire main, a letter from Metro Water is required excepting the length and size.

All fire department access roads shall be 20 feet minimum width and shall have an unobstructed vertical clearance of 13.6 ft.

No part of any building shall be more than 500 ft from a fire hydrant via an approved hard surface road.

NES RECOMMENDATION

Developer to provide construction drawings and a digital .dwg file @ state plane coordinates (TN83F) that contains the civil site information. (Engineer shall provide approved plans by Metro Planning with any changes from other departments.

Developer drawing should show any existing utilities easements on property and the utility poles on the public right-of-way

20-foot easement required adjacent to all public rights of way and all NES conduits shall lie inside a public utility easement (width to be determined).

NES can meet with developer or engineer upon request to determine electrical service options

NES needs any drawings that will cover any road improvements that Metro PW might require

NES follows the National Fire Protection Association rules; Refer to NFPA 70 article 450-27; and NESC Section 15 – 152.A.2 for complete rules.

NES needs load information and future plans or options to buy other properties (over all plans).



Metro Planning Commission Meeting of 11/13/08

Developer to provide high voltage layout for underground conduit system and proposed transformer locations for NES review and approval

Any 3 phase load in any of the phases?

PUBLIC WORKS RECOMMENDATION

Recommend deferral/disapproval until a traffic impact study and parking analysis have been submitted, approved and conditions established for traffic mitigations.

Submit a traffic impact study (TIS) and parking analysis to the Department of Public Works for review and approval.

The developer's construction drawings shall comply with the design regulations established by the Department of Public Works. Final design may vary based on field conditions.

The proposed public roadway's minimum centerline radii to conform to AASHTO geometric design requirements for a thirty (30) mph design speed. Align proposed public road at the intersection of Bell Road with the existing commercial driveway on the north side of Bell Road.

Provide plans for solid waste disposal and recycling collection. The solid waste collection and disposal plan is to be reviewed and approved by the Department of Public Works Solid Waste Division.

Identify District 1 specific development plan. Identify proposed uses, including square footages, type and number of units.

Proposed plan appears to be located in Planning's IDA policy area.



Metro Planning Commission Meeting of 11/13/08

Maximum Uses in Existing Zoning District: RM20

Land Use (ITE Code)	Acres	Density	Total Number of units	Daily Trips (weekday)	AM Peak Hour	PM Peak Hour
Residential Condo/Townhome (230)	13	20	260	1447	111	132

Maximum Uses in Existing Zoning District: AR2a

Land Use (ITE Code)	Acres	Density	Total Number of Lots	Daily Trips (weekday)	AM Peak Hour	PM Peak Hour
Single-Family detached (210)	27	0.5	13	125	10	14

Maximum Uses in Proposed Zoning District: SP

Land Use (ITE Code)	Acres	FAR	Total Floor Area	Daily Trips (weekday)	AM Peak Hour	PM Peak Hour
General Retail (814)	40	N/A	45,000	1963	43	130

Maximum Uses in Proposed Zoning District: SP

Land Use (ITE Code)	Acres	Density	Total Density	Daily Trips (weekday)	AM Peak Hour	PM Peak Hour
Residential Condo/townhome (230)	40	N/A	460	2349	176	211

*Assumes a 1,200 square foot dwelling unit

Maximum Uses in Proposed Zoning District: SP

Land Use (ITE Code)	Acres	FAR	Total Floor Area	Daily Trips (weekday)	AM Peak Hour	PM Peak Hour
Shopping Center (820)	40	N/A	64,000	5082	120	467

Change in Traffic Between Maximum Uses in Existing and Proposed Zoning District

Land Use (ITE Code)	Acres	—	—	Daily Trips (weekday)	AM Peak Hour	PM Peak Hour
--				+7822	+218	+662

METRO SCHOOL BOARD REPORT

Projected student generation

44 Elementary 25 Middle 25 High

Schools Over/Under Capacity

Students would attend Maxwell Elementary School, Marshall Middle School, or Cane Ridge High School. Maxwell Elementary School has been identified as being over capacity by the Metro School Board. There is no capacity within an adjacent Elementary School cluster.



Metro Planning Commission Meeting of 11/13/08

Fiscal Liability

The fiscal liability for 44 elementary students is \$880,000. This is for informational purposes to show the potential impact of this proposal. It is not a staff condition of approval. This information is based upon data from the school board last updated June 2008.

STAFF RECOMMENDATION

Staff recommends disapproval of this request as incomplete and premature. A substantial amount of additional detail is needed on the preliminary plan in order to effectively review any final site plans that would be submitted under this SP. Further, Public Works has recommended that this request be deferred until a traffic impact study and parking analysis has been submitted, approved, conditions established for traffic mitigation.

The Fire Marshal has denied the request until additional details are provided. Storm Water has recommended disapproval until undisturbed buffers are shown or a hydraulic determination showing conveyance is not a stream is provided.

CONDITIONS (if approved)

1. This SP is limited to retail, office, and residential uses in District A, residential in District B, and open space in District C.
2. The corrected copy of the SP plan shall include a maximum of 248 residential units in District B.
3. The corrected copy of the SP plan shall include a tree density table and plant species list for Districts A and B to be approved by the Urban Forester
4. Prior to final site plan approval of the first phase of this development, an association to manage and maintain the landscape buffer yards shall be established and a management plan shall be prepared by the applicant and approved by the Urban Forester.
5. Parallel parking in District A shall be provided along all public streets (excluding Bell Rd.) in front of buildings with frontage on the public street.
6. In District A, an east-west public street will be constructed within the mixed-use portion of this SP boundary to provide connection opportunities to



Metro Planning Commission Meeting of 11/13/08

adjacent parcels to the east and west. Building frontage along this street will comply with "Other public street frontage" standards.

7. In District A, driveway connections to the new public streets on the east side of the property shall be provided at approximately 400 feet south of the Bell Rd. property line and shall be consistent with the alignment shown on drawings dated January 24, 2008, for the Forest View SP.
8. The northern portion of the SP in District A shall provide a minimum of two street and/or driveway connections to both the east and west property lines for a total of four connection points.
9. Parking in District A shall be located as follows:
 - Parking shall be set back a minimum 100 feet from northern-most Bell Road property line.
 - There shall be a minimum parking setback of 70 feet from the property line designated along the north/south Public Street.
 - All surface parking lots shall be sited behind buildings for screening purposes from Bell Road and all Public Streets.
 - Additional parking in the interior of District A shall have a minimum 15 foot setback along all proposed public street frontages.
 - Parking spaces within driveways along building frontages shall be parallel to the driveway.
10. The corrected copy of the SP shall include the number of proposed bedrooms per units in District A and B.
11. Parking spaces within driveways along building frontages in District B shall be parallel parking spaces.
12. Buildings in District A shall have a build to zone of 30 to 40 feet from northern-most Bell Road property line extended along Bell Rd.
13. Front building facades in District A shall occupy a minimum of 60% of the length of the build-to zone along all public streets.



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14. Build to zones for public streets in District A shall be 0-15 feet from property line designated along new public streets.
15. Minimum ground floor height on commercial/mixed-use buildings within District A shall be 14 feet.
16. Maximum ISR ratio in District A shall be 90%.
17. All buildings in District A with frontage along a public street shall provide fenestration for a minimum of 40% of the first floor facade, measured from grade to the 2nd floor FFE.
18. All buildings in District A with frontage along a public street shall provide a public entrance facing the public street.
19. Prohibited signs in Districts A and B shall include roof mounted signs, pole mounted signs, billboards, and signs that flash, rotate, scintillate, blink, flicker or vary in intensity or color, including all electronic signs.
20. Permitted signs in District A shall include building signs. Freestanding signs shall be permitted in District B.
21. Wall mounted building signs in District A shall have a maximum sign area of 30 square feet.
22. Signs in Districts A and B shall be externally lit or may be internally illuminated or back lit with a diffused or shielded light source. Sign backgrounds shall be opaque and only letters and logos may be internally illuminated. Signs shall be constructed using high-quality durable materials.
23. A sign program shall be required with a Final Site Plan for any phase of the development in District A that will include multiple stories and/or tenants.
24. A traffic impact study and parking analysis shall be submitted, approved and conditions established for traffic mitigations.



Metro Planning Commission Meeting of 11/13/08

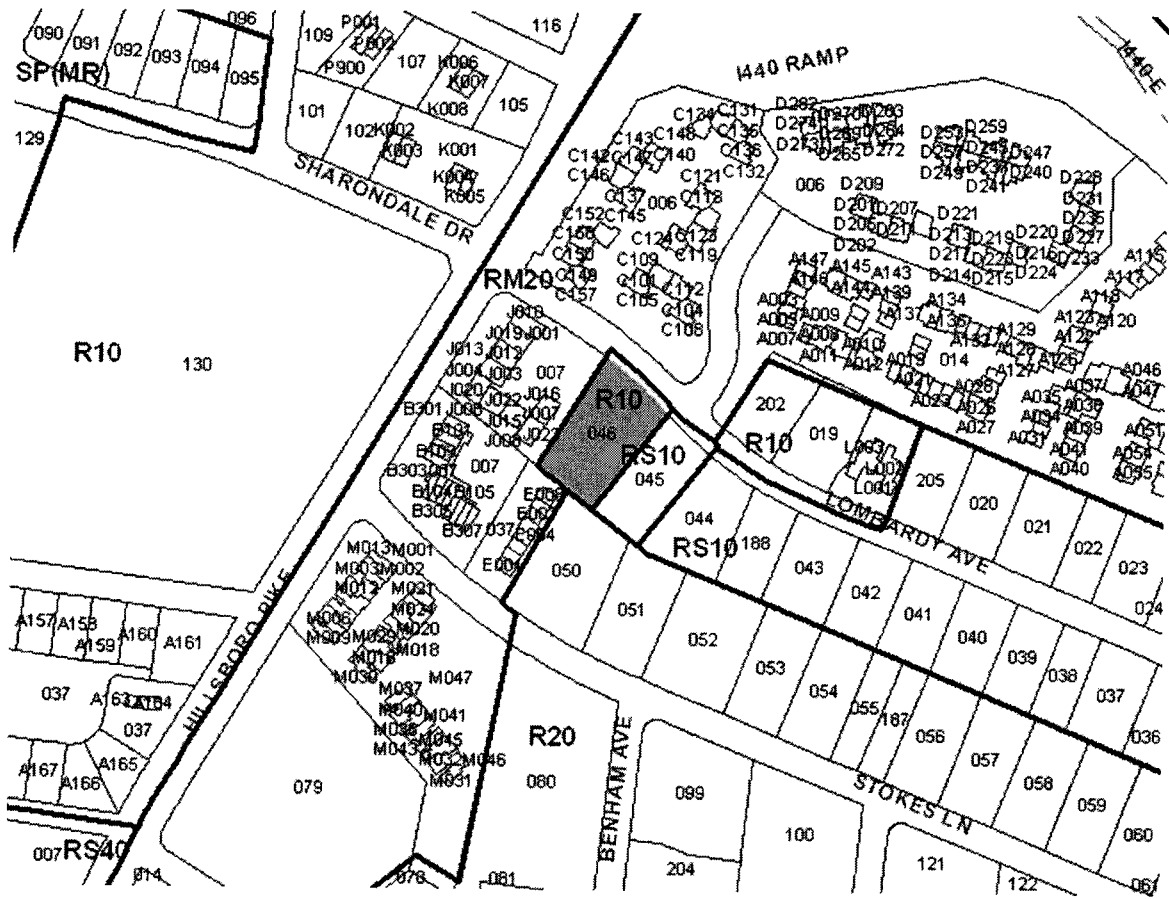
25. Undisturbed buffers shall be shown or a hydraulic determination showing conveyance is not a stream shall be provided.
26. For any development standards, regulations and requirements not specifically shown on the SP plan and/or included as a condition of Commission or Council approval, District A shall be subject to the standards, regulations and requirements of the MUL zoning district, District B and C shall be subject to the standards, regulations and requirements of the RM15 zoning district.
27. A corrected copy of the preliminary SP plan incorporating the conditions of approval by the Planning Commission and Council shall be provided to the Planning Department prior to the filing of any additional development applications for this property, and in any event no later than 120 days after the effective date of the enacting ordinance. If a corrected copy of the SP plan incorporating the conditions therein is not provided to the Planning Department within 120 days of the effective date of the enacting ordinance, then the corrected copy of the SP plan shall be presented to the Metro Council as an amendment to this SP ordinance prior to approval of any grading, clearing, grubbing, final site plan, or any other development application for the property.
28. Minor modifications to the preliminary SP plan may be approved by the Planning Commission or its designee based upon final architectural, engineering or site design and actual site conditions. All modifications shall be consistent with the principles and further the objectives of the approved plan. Modifications shall not be permitted, except through an ordinance approved by Metro Council that increase the permitted density or floor area, add uses not otherwise permitted, eliminate specific conditions or requirements contained in the plan as adopted through this enacting ordinance, or add vehicular access points not currently present or approved.
29. The requirements of the Metro Fire Marshal's Office for emergency vehicle access and adequate



Metro Planning Commission Meeting of 11/13/08

water supply for fire protection must be met prior to the issuance of any building permits.

SEE NEXT PAGE



2008SP-029U-10

Lombardy Court

Map: 117-07 Parcel: 046

Green Hills/Midtown Community Plan

Council District 25 – Sean McGuire



Project No.	Zone Change 2008SP-029U-10
Project Name	Lombardy Court
Council District	25 - McGuire
School District	8 - Fox
Requested by	Dale & Associates, applicant, for Steven and Claire Slone, owner
Staff Reviewer	Jones
Staff Recommendation	<i>Approve with conditions</i>

APPLICANT REQUEST

A request to change from One and Two Family Residential (R10) to Specific Plan Residential (SP-R) zoning property located at 2007 Lombardy Avenue, approximately 260 feet east of Hillsboro Pike (0.67 acres), to permit the development of 8 units.

Existing Zoning
R10 District

R10 requires a minimum 10,000 square foot lot and is intended for single -family dwellings and duplexes at an overall density of 4.63 dwelling units per acre including 25% duplex lots.

Proposed Zoning
SP-R District

Specific Plan-Residential is a zoning District category that provides for additional flexibility of design, including the relationship of streets to buildings, to provide the ability to implement the specific details of the General Plan. This Specific Plan includes only one residential building type.

**GREEN HILLS MIDTOWN
COMMUNITY PLAN**

Residential Medium High (RMH)

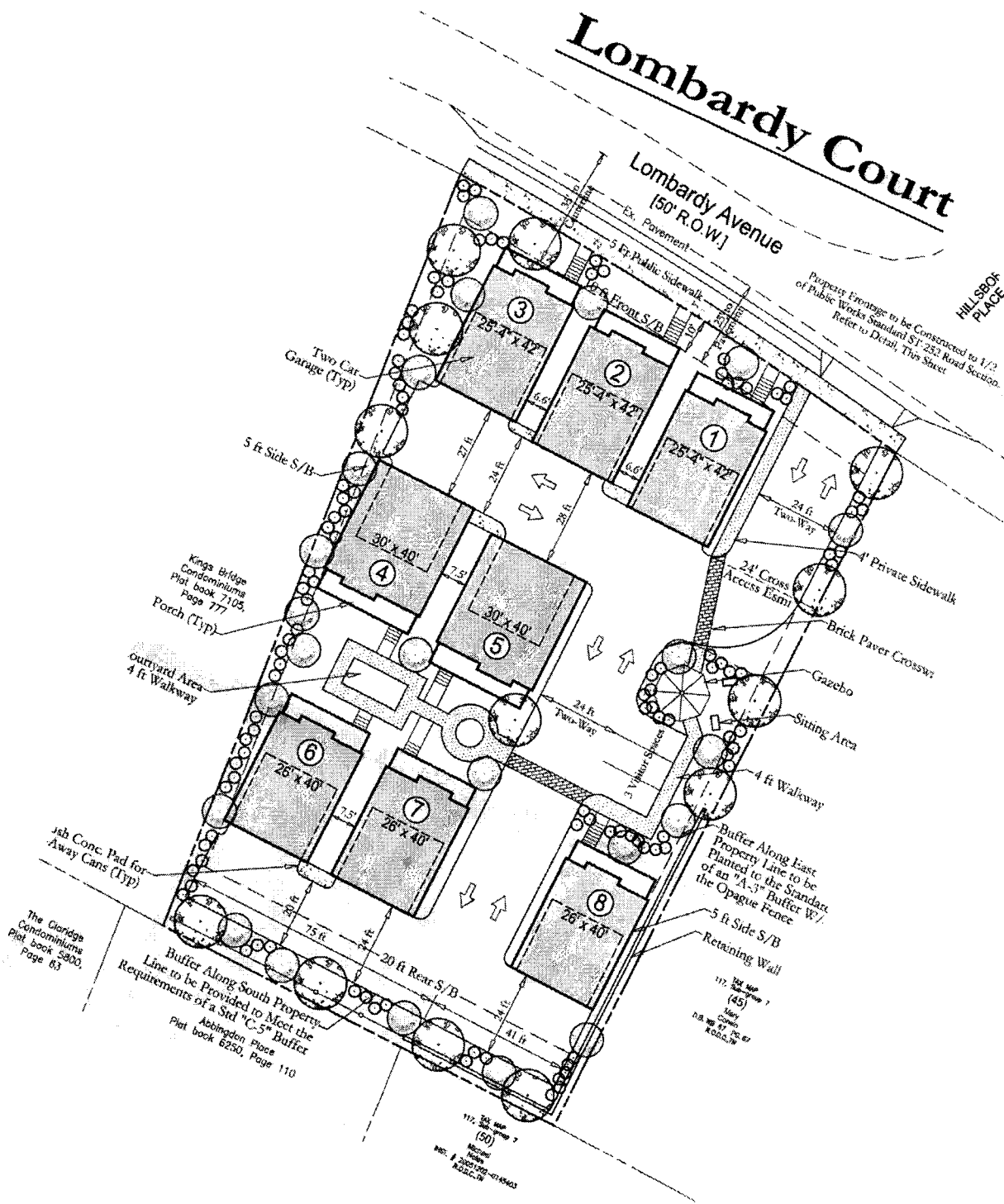
RMH policy is intended for existing and future residential areas characterized by densities of nine to twenty dwelling units per acre. A variety of multi-family housing types are appropriate. The most common types include attached townhomes and walk-up apartments.

Consistent with Policy?

Yes. The proposed plan is consistent with the Residential Medium High policy which encourages densities within 9 to 20 units per acre in areas adjacent to existing development and with direct or good indirect access to a collector or arterial street. The SP plan proposes a density of 12 units per acre in an urban area where dense multi-family housing presently exists. The site also has good indirect access to Hillsboro Pike, an urban arterial and to Interstate 440. The proposed development, with its cottage-like design also fits within the context of the

Lombardy Court

HILLSBORO PLACE





Metro Planning Commission Meeting of 11/13/2008

surrounding area which is predominantly residential in character. Parcels immediately adjacent to this site include single-family and high density multi-family uses.

PLAN DETAILS

The site plan has been designed to accommodate 8 single-family units on 0.67 acres. Three units will front Lombardy Avenue, while the other five units will be constructed internal to the site and front a courtyard or open space area. Each unit will have vehicular access from the rear.

Access/Parking

The plan proposes access to the site by a private driveway that will intersect Lombardy Avenue. The pavement width is planned to be 24 feet providing for two-way traffic within the development. A 24 foot cross-access easement is also shown on the plan to provide a future connection to the east. Three parking spaces will accommodate visitor parking and each unit will contain a two car garage. A five-foot public sidewalk is planned along the frontage of Lombardy Avenue and will connect to a private four-foot sidewalk internal to the site.

Landscaping

The plan illustrates new plantings and landscaping features around the perimeter and throughout the interior of the site. A landscaping buffer that measures from five to ten feet in width around the site will screen the units from the neighboring uses. Other landscaped areas include a gazebo and sitting area.

PUBLIC WORKS RECOMMENDATION

1. All Public Works' design standards shall be met prior to any final approvals and permit issuance. Final design may vary based on field conditions.
2. Modify discharge of underground detention to prohibit stormwater from discharge over the public sidewalk.

Typical/Maximum Uses in Existing Zoning District: R10

Land Use (ITE Code)	Acres	Density	Total Units	Daily Trips (weekday)	AM Peak Hour	PM Peak Hour
Single-Family Detached (210)	0.8	4.63*	4	39	3	5

*Includes 25% duplex

Typical Uses in Proposed Zoning District: SP

Land Use (ITE Code)	Acres	Density	Total Units	Daily Trips (weekday)	AM Peak Hour	PM Peak Hour
Single-Family Detached (210)	0.8	N/A	8	77	6	9



Metro Planning Commission Meeting of 11/13/2008

Change in Traffic Between Typical/Maximum Uses in Existing and Proposed Zoning District

Land Use (ITE Code)	Acres	--		Daily Trips (weekday)	AM Peak Hour	PM Peak Hour
--			+4	+38	+3	+4

STORMWATER RECOMMENDATION

Preliminary SP approved

FIRE MARSHAL'S RECOMMENDATION

Approved

NES RECOMMENDATION

1. Developer to provide construction drawings and a digital .dwg file @ state plane coordinates that contains the civil site information (after approval by Metro Planning w/ any changes from other departments).
2. Developer drawing should show any and all existing utilities easements on property.
3. 20-foot easement required across rear of property for existing overhead power line.
4. Developer must maintain access to existing NES overhead power line at rear of property. NES has conflicts with landscaping designs and 6 foot masonry wall at this location.
5. Developer needs to show power design on the Utility Plans. NES can meet with developer/engineer upon request to determine electrical service options for the future services of the new buildings.
6. NES follows the National Fire Protection Association rules; Refer to NFPA 70 article 450-27; and NESC Section 15 - 152.A.2 for complete rules.
7. NES needs load information and future plans or options to buy other property (over all plans).



Metro Planning Commission Meeting of 11/13/2008

METRO SCHOOL BOARD REPORT

Projected student generation

1 Elementary 0 Middle 0 High

Schools Over/Under Capacity

Students would attend Glendale Elementary School, Moore Middle School, and Hillsboro High School. All three schools have been identified as being over capacity by the Metro School Board. There is capacity within the cluster to accommodate elementary students and middle school students. The adjacent cluster would accommodate high school students. This information is based upon data from the school board last updated May 2008.

STAFF RECOMMENDATION

Staff recommends approval with conditions of the request to rezone 0.67 acres from One and Two-Family Residential (R10) to Specific Plan (SP-R). The proposed single-family residential uses at a density of 12 units per acre are consistent with the intent of the Residential Medium High land use policy and are compatible with the surrounding residential character.

CONDITIONS

1. A corrected copy of the SP plan shall include a 10 foot landscaping buffer consisting of small maturing trees, under-story trees not to exceed 10 feet in height and evergreen shrubs along the south property line
2. The requirements of the Metro Public Works Department must be met prior to or in conjunction with final site plan approval.
3. The requirements of NES must be met prior to or in conjunction with final site plan approval
4. The SP uses shall be limited to single-family residential uses.
5. For any development standards, regulations and requirements not specifically shown on the SP plan and/or included as a condition of Commission or Council approval, the property shall be subject to the standards, regulations and requirements of the RM15 zoning district as of the date of the applicable request or application.
6. A corrected copy of the SP final site plan incorporating the conditions of approval by the Planning

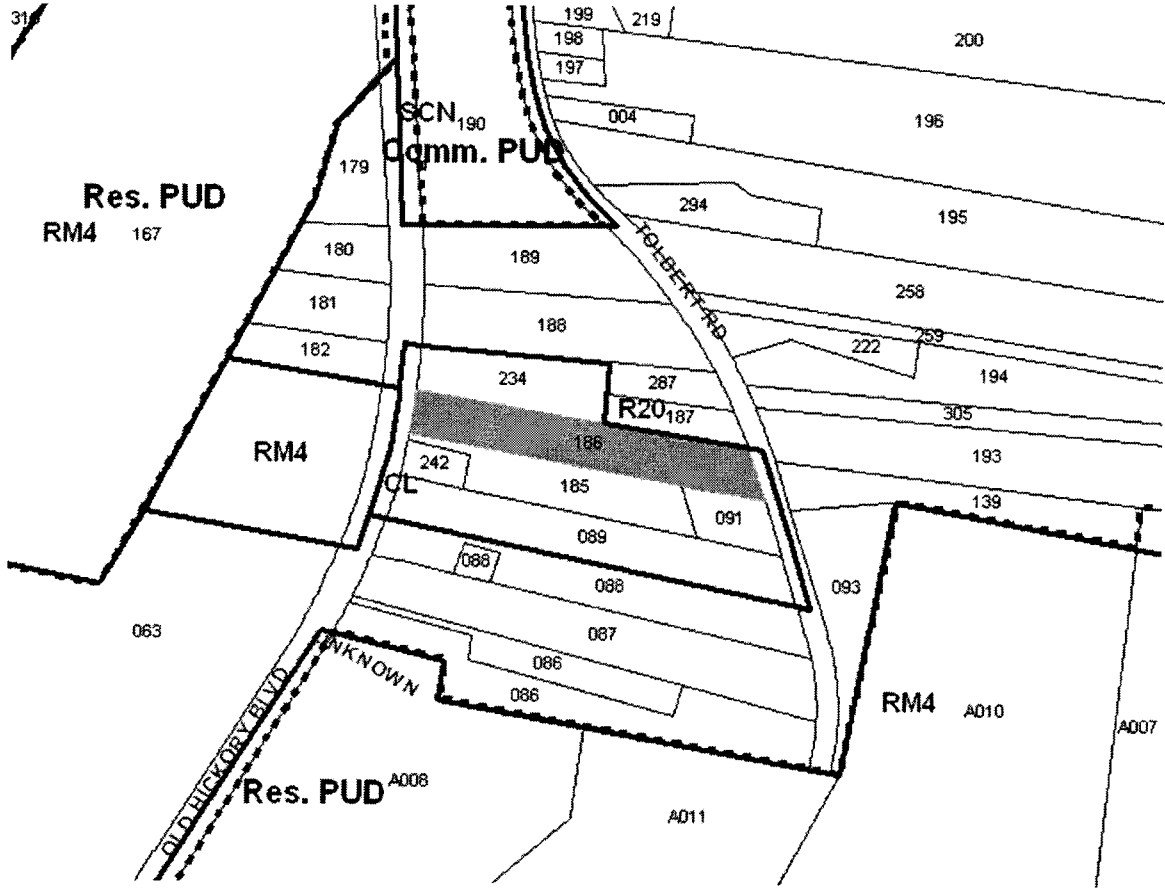


Metro Planning Commission Meeting of 11/13/2008

Commission shall be provided to the Planning Department prior to the issuance of any permit for this property, and in any event no later than 120 days after consideration by Planning Commission. If a corrected copy of the SP final site plan incorporating the conditions therein is not provided to the Planning Department within 120 days after the date of conditional approval by the Planning Commission, then the corrected copy of the SP final site plan shall be presented to the Metro Council as an amendment to this SP ordinance prior to approval of any grading, clearing, grubbing, or any other development application for the property.

7. Minor modifications to the preliminary SP plan may be approved by the Planning Commission or its designee based upon final architectural, engineering or site design and actual site conditions. All modifications shall be consistent with the principles and further the objectives of the approved plan. Modifications shall not be permitted, except through an ordinance approved by Metro Council that increase the permitted density or floor area, add uses not otherwise permitted, eliminate specific conditions or requirements contained in the plan as adopted through this enacting ordinance, or add vehicular access points not currently present or approved.

ZONING MAP AMENDMENTS



2008Z-083G-06

Map: 114-00 Parcel: 186

Bellevue Community Plan

Council District 23 – Emily Evans



Project No.
Council District
School District
Requested by

Zone Change 2008Z-083G-06
23 - Evans
9 - Coverstone
Sherry Carney Rogers, owner

Staff Reviewer
Staff Recommendation

Sexton
Disapprove R20 zoning within the Commercial Mixed Concentration land use policy area, but approve R20 zoning within the Natural Conservation land use policy area.

APPLICANT REQUEST

A request to rezone from Commercial Limited (CL) to One and Two-Family Residential (R20) zoning property located at 566 Old Hickory Boulevard, approximately 1,100 feet south of Tolbert Road (1.97 acres).

Existing Zoning
CL District

Commercial Limited is intended for retail, consumer service, financial, restaurant, and office uses.

Proposed Zoning
R20 District

R20 requires a minimum 20,000 square foot lot and is intended for single-family dwellings and duplexes at an overall density of 2.31 dwelling units per acre including 25% duplex lots.

BELLEVUE COMMUNITY PLAN

Commercial Mixed
Concentration (CMC)

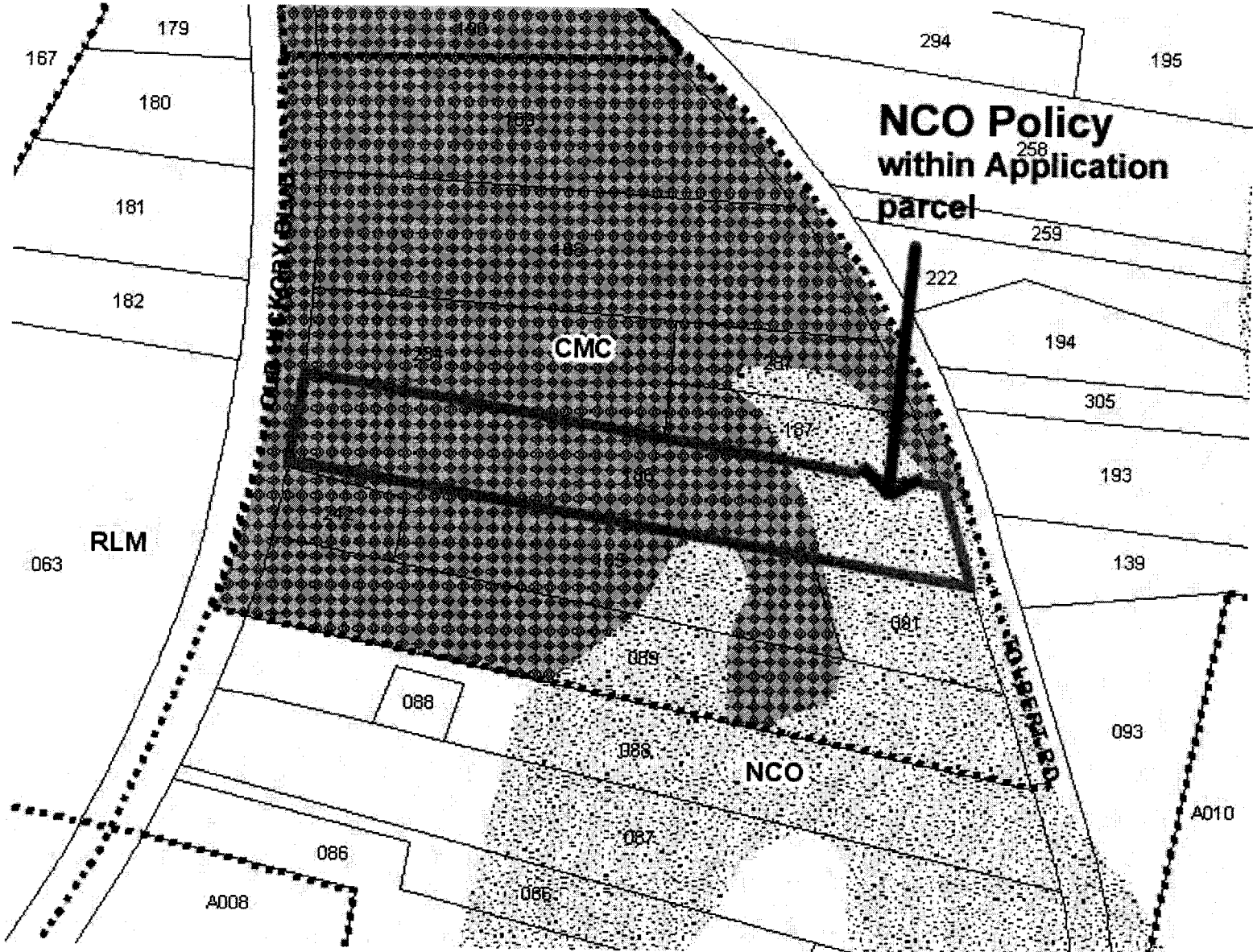
CMC policy is intended to include Medium High to High density residential, all types of retail trade (except regional shopping malls), highway-oriented commercial services, offices, and research activities and other appropriate uses with these locational characteristics.

Natural Conservation

NCO policy is intended for undeveloped areas with the presence of steep terrain, unstable soils, and floodway/floodplain. Low intensity community facility development and very low density residential development (not exceeding one dwelling unit per two acres) may be appropriate land uses.

Consistent with Policy?

No. The CMC policy calls for medium high to high density residential development of nine or more dwelling units per acre and the NCO policy calls for a



**NCO Policy
within Application
parcel**

CMC

RLM

NCO

063

093

A008

A010

086

086

087

088

088

089

081

193

305

194

222

259

294

195

179

180

181

182

167



Metro Planning Commission Meeting of 11/13/08

density of one dwelling unit per two acres. The residential density of the R20 zoning district is 2.31 dwelling units per acre.

Analysis

The CMC policy area covers approximately 1.5 acres of land fronting Old Hickory Boulevard. The NCO policy area covers approximately .47 acres of land fronting Tolbert Road. While the R20 zoning exceeds the low intensity called for in the NCO policy, it is closer to the policy than the current CL zoning. Staff recommends disapproval of the requested rezoning within CMC policy area, but approval of the request on the portion of the property within the NCO policy area.

PUBLIC WORKS RECOMMENDATION

A TIS may be required at development.

Typical Uses in Existing Zoning District: CL

Land Use (ITE Code)	Acres	FAR	Total Floor Area	Daily Trips (weekday)	AM Peak Hour	PM Peak Hour
Convenience Market (851)	1.97	0.06	5,149	3800	345	270

Maximum Uses in Existing Zoning District: CL

Land Use (ITE Code)	Acres	FAR	Total Floor Area	Daily Trips (weekday)	AM Peak Hour	PM Peak Hour
Strip Shopping (814)	1.97	0.60	51,487	2241	49	146

Typical Uses in Proposed Zoning District: R20

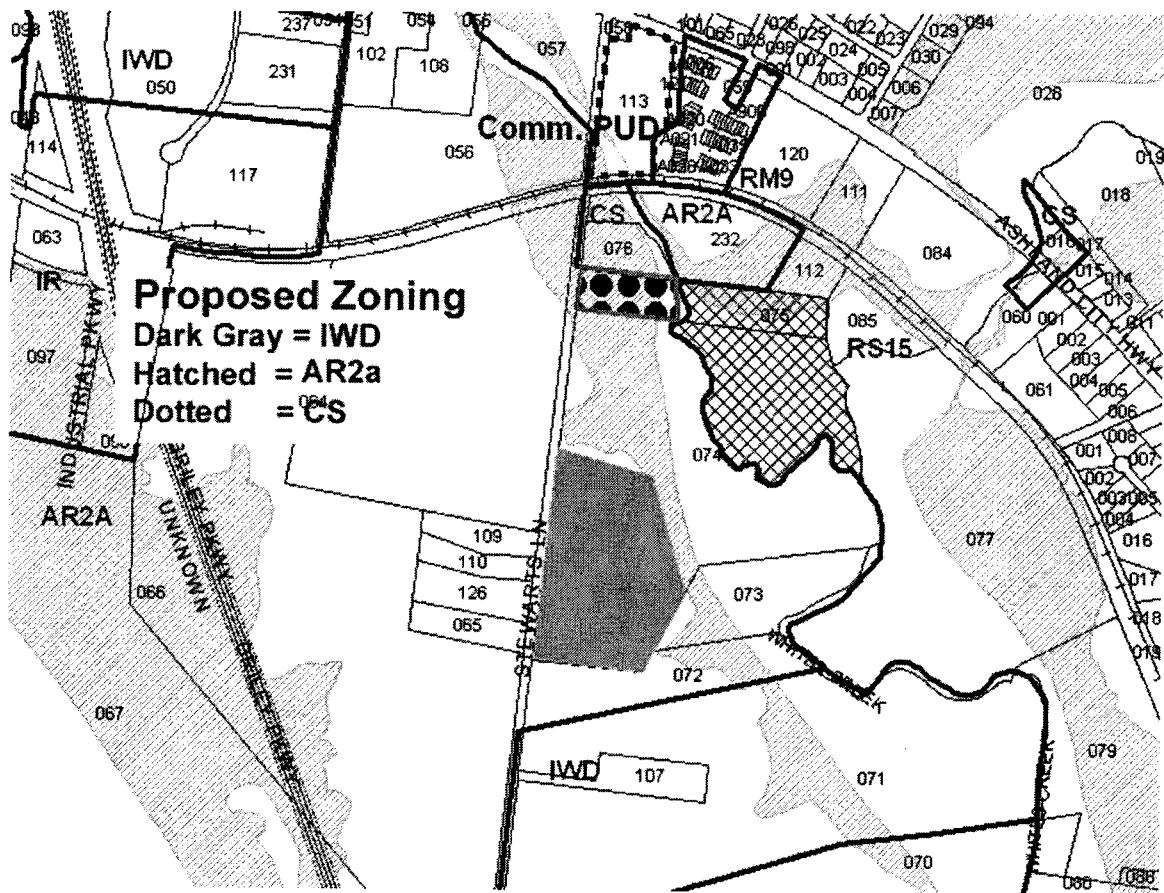
Land Use (ITE Code)	Acres	Density	Total Units	Daily Trips (weekday)	AM Peak Hour	PM Peak Hour
Single-Family Detached (210)	1.97	2.31	4	39	3	5

Change in Traffic Between Typical/Maximum Uses in Existing and Proposed Zoning District

Land Use (ITE Code)	Acres	--		Daily Trips (weekday)	AM Peak Hour	PM Peak Hour
--			+46,339	-1520	-293	-119

STAFF RECOMMENDATION

Staff recommends disapproval of R20 zoning within the CMC land use policy area, but approval of R20 zoning within the NCO land use policy area. The proposed R20 zoning district lacks the appropriate density needed to be consistent with CMC policy.



2008Z-084U-03

Map: 069-00 Parcels: Part of 074, 075

Bordeaux/Whites Creek Community Plan

Council District

1 - Lonell Matthews, Jr.



Project No.
Council District
School District
Requested by

Zone Change 2008Z-084U-03
1 – Mathews
1 - Gentry
Dale and Associates, applicant for Samara Farms, LLC,
owner

Staff Reviewer
Staff Recommendation

Swaggart
Disapprove the proposed change of 21.8 acres from AR2a to CS and IWD, but approve the proposed change of approximately 18.35 acres from RS15 to AR2a.

APPLICANT REQUEST

A request to rezone from Single-Family Residential (RS15) to Agricultural/Residential (AR2a) (18.35 acres) and from Agricultural/Residential (AR2a) to Commercial Service (CS) (3.2 acres) and Industrial Warehousing/Distribution (IWD) (18.6 acres) zoning a portion of properties located at 3952 Stewarts Lane and Stewarts Lane (unnumbered), approximately 1,725 feet south of Ashland City Highway (40.15 acres).

Existing Zoning
RS15 District

RS15 requires a minimum 15,000 square foot lot and is intended for single-family dwellings at a density of 2.47 dwelling units per acre.

AR2a District

Agricultural/Residential requires a minimum lot size of 2 acres and intended for uses that generally occur in rural areas, including single-family, two-family, and mobile homes at a density of one dwelling unit per 2 acres. The AR2a District is intended to implement the natural conservation or interim nonurban land use policies of the general plan.

Proposed Zoning
IWD District

Industrial Warehousing/Distribution is intended for a wide range of warehousing, wholesaling, and bulk distribution uses.

CS District

Commercial Service is intended for retail, consumer service, financial, restaurant, office, self-storage, light manufacturing and small warehouse uses.

AR2a District

See description above.



Metro Planning Commission Meeting of 11/13/08

BORDEAUX/WHITES CREEK COMMUNITY PLAN POLICY

Natural Conservation (NCO)

NCO policy is intended for undeveloped areas with the presence of steep terrain, unstable soils, and floodway/floodplain. Low intensity community facility development and very low density residential development (not exceeding one dwelling unit per two acres) may be appropriate land uses.

Industrial (IN)

IN areas are dominated by one or more activities that are industrial in character. Types of uses intended in IN areas include non-hazardous manufacturing, distribution centers and mixed business parks containing compatible industrial and non-industrial uses. On sites for which there is no endorsed campus or master plan, an Urban Design or Planned Unit Development overlay district or site plan should accompany proposals in this policy area.

Consistent with Policy?

The 18.35 acres zoned RS15 and proposed for AR2a is consistent with the NCO policy. The 3.2 acres zoned AR2a and proposed for CS is not consistent with the NCO policy. The 18.6 acres zoned AR2a and proposed for IWD would allow uses that are called for in the IN policy, but the policy requires a design plan such as a PUD or UDO accompany the request or that an SP zoning district be requested. No design plan was included in this request.

PUBLIC WORKS RECOMMENDATION

Typical/Maximum Uses in Existing Zoning District: RS15

Land Use (ITE Code)	Acres	Density	Total Number of Lots	Daily Trips (weekday)	AM Peak Hour	PM Peak Hour
Single-Family Detached (210)	18.35	2.47	45	499	41	53

Typical/Maximum Uses in Existing Zoning District: AR2a

Land Use (ITE Code)	Acres	Density	Total Number of Lots	Daily Trips (weekday)	AM Peak Hour	PM Peak Hour
Single-Family Detached (210)	21.55	0.5	10	96	8	11



Metro Planning Commission Meeting of 11/13/08

Typical Uses in Proposed Zoning District: AR2a

Land Use (ITE Code)	Acres	Density	Total Number of Lots	Daily Trips (weekday)	AM Peak Hour	PM Peak Hour
Single-Family Detached (210)	18.35	0.5	9	87	7	10

Typical Uses in Proposed Zoning District: CS

Land Use (ITE Code)	Acres	FAR	Total Floor Area	Daily Trips (weekday)	AM Peak Hour	PM Peak Hour
Convenience Market (851.)	3.2	0.04*	5,576	4116	374	293

*adjusted as per use

Maximum Uses in Proposed Zoning District: CS

Land Use (ITE Code)	Acres	FAR	Total Floor Area	Daily Trips (weekday)	AM Peak Hour	PM Peak Hour
Strip Shopping (814)	3.2	0.60	83,635	3616	NA	223

Typical Uses in Proposed Zoning District: IWD

Land Use (ITE Code)	Acres	FAR	Total Floor Area	Daily Trips (weekday)	AM Peak Hour	PM Peak Hour
Small Warehouse (150)	18.35	0.170	135,885	674	62	64

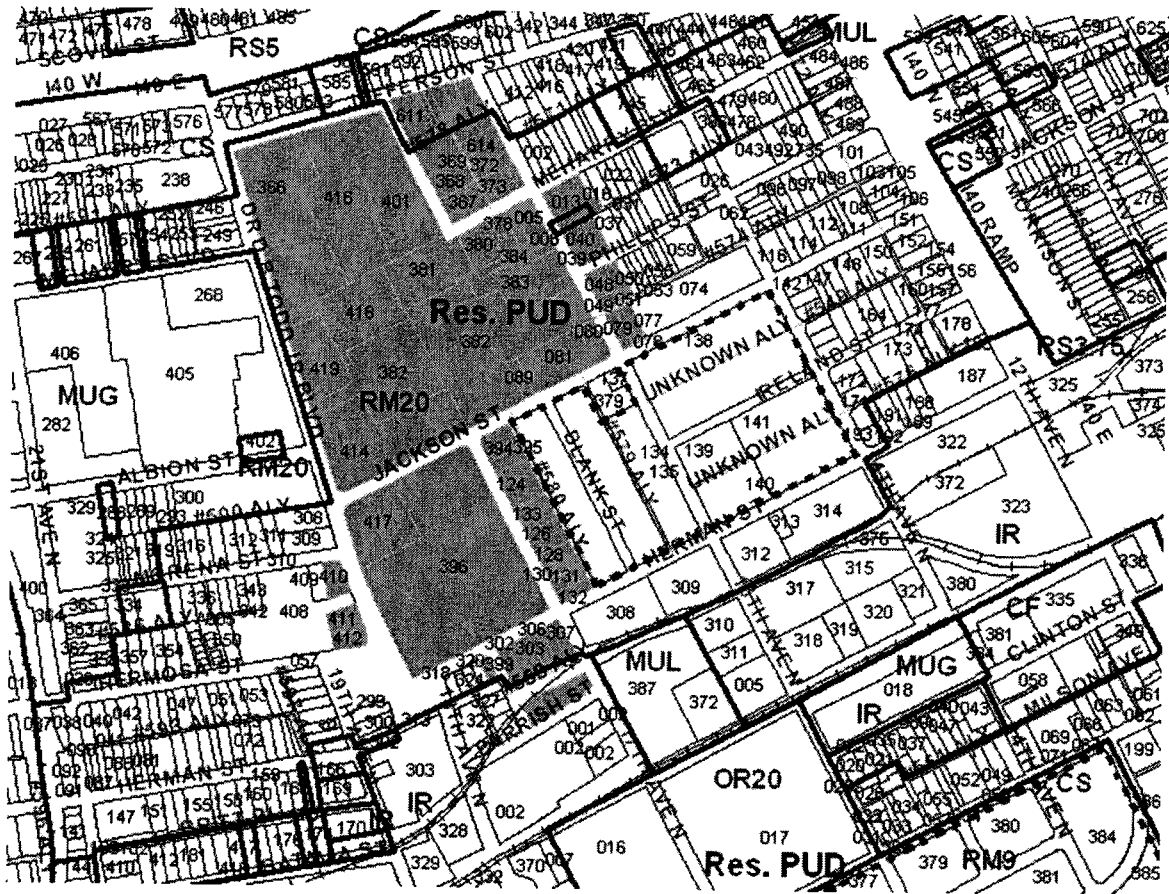
Maximum Uses in Proposed Zoning District: IWD

Land Use (ITE Code)	Acres	FAR	Total Floor Area	Daily Trips (weekday)	AM Peak Hour	PM Peak Hour
Warehousing (150)	18.35	0.80	639,461	3172	288	301

STAFF RECOMMENDATION

Staff recommends disapproval of the proposed change of 21.8 acres from AR2a to CS and IWD, but approval the proposed change of approximately 18.35 acres from RS15 to AR2a.

SEE NEXT PAGE



2008IN-002U-08

Fisk University Institutional Overlay

Map: 092-03 Parcels: Various

Map: 092-04 Parcels: Various

Map: 081-150 Parcels: Various

Map: 092-08 Parcel: 001

North Nashville Community Plan

Council District 19 – Erica Gilmore



Metro Planning Commission Meeting of 11/13/2008

Item #8

Project No.
Project Name
Council Bill
Council District
School District
Requested by

Institutional Overlay 2008IN-002U-08
Fisk University I.O.
None
19 - Gilmore
07 - Kindall
Councilmember Megan Berry for various property owners, and Tuck-Hinton Architects, for Fisk University, owner

Staff Reviewer
Staff Recommendation

Leeman
Approve with conditions

APPLICANT REQUEST
Institutional Overlay

A request to apply an Institutional Overlay District to Fisk University located east of Dr. D.B. Todd Boulevard, along 16th Avenue North, 17th Avenue North, Herman Street, Jackson Street, Jefferson Street, Meharry Boulevard, and Phillips Street (44.23 acres), zoned Multi-Family Residential (RM20), to identify the proposed campus boundaries and future university planning efforts.

Existing Zoning
RM20 District

RM20 is intended for single-family, duplex, and multi-family dwellings at a density of 20 dwelling units per acre.

CS District

Commercial Service is intended for retail, consumer service, financial, restaurant, office, self-storage, light manufacturing and small warehouse uses.

OR20 District

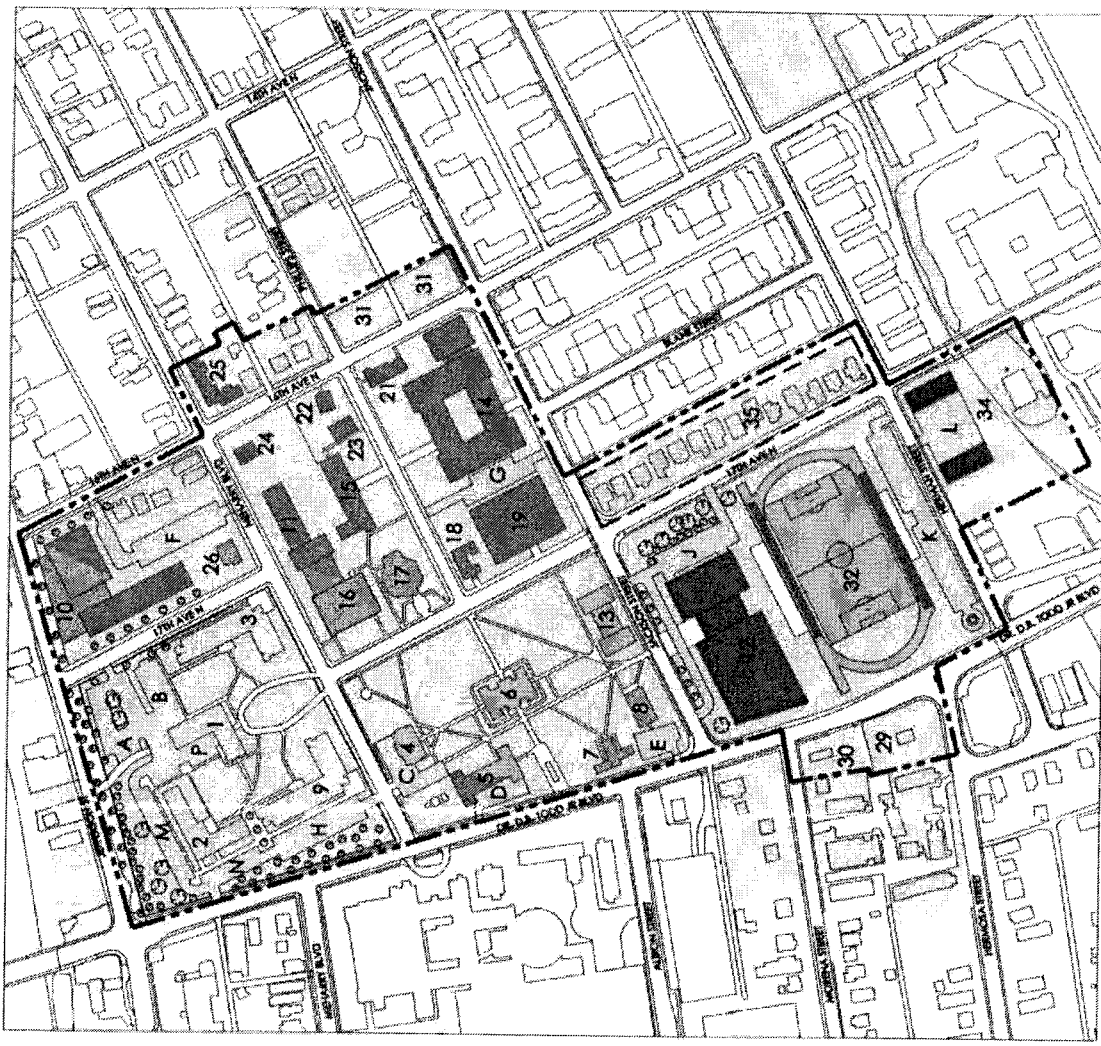
Office/Residential is intended for office and/or multi-family residential units at up to 20 dwelling units per acre.

Redevelopment District

The Jefferson Street Redevelopment District is a zoning overlay administered by the Metro Development and Housing Agency for certain properties located along Jefferson Street.

Proposed Zoning
IO District

The purpose of the Institutional Overlay district is to provide a means by which colleges and universities situated wholly or partially within areas of the community designated as residential by the General Plan may continue to function and grow in a sensitive and planned manner that preserves the integrity and long-term viability of those neighborhoods in which



MASTER PLAN

- LEGEND**
- 1. Jubilee Hall
 - 2. Creshaw Hall
 - 3. New Residence Hall East
 - 4. Carnegie Hall
 - 5. Talley Brady Hall
 - 6. Cravath Hall
 - 7. Little Theater
 - 8. Van Vechten Art Gallery
 - 9. New Residence Hall West
 - 10. New Community Arts/Academic Building
 - 11. New Expanded Student Union/Academic Building
 - 12. New Gymnasium & Wellness Center
 - 13. New Administrative Building
 - 14. New Science Building
 - 15. Park - Johnson Hall
 - 16. New/Renovated Spence Hall
 - 17. Fisk University Memorial Chapel
 - 18. Harris Music Building
 - 19. John Hope & Aurelia E. Franklin Library
 - 20. Race Relations Building
 - 21. General Administrative Offices
 - 22. Alumni House
 - 23. W.E.B. Du Bois Honors Center
 - 24. Boyd House
 - 25. Burrus Hall
 - 26. John Wesley Work House
 - 27. Campus Grounds Shop
 - 28. Basic College
 - 29. James Weldon Johnson House
 - 30. Bon Temps House
 - 31. Tennis Courts
 - 32. New Track & Field
 - 34. Maintenance/Operational Building
 - 35. New Infill Residential

- UNIVERSITY PARKING**
- A. 38 Spaces
 - B. 27 Spaces
 - C. 17 Spaces
 - D. 12 Spaces
 - E. 21 Spaces
 - F. 50 Spaces
 - G. 12 Spaces
 - H. 50 Spaces
 - I. 36 Spaces
 - J. 108 Spaces
 - K. 42 Spaces - Possible Overflow
 - L. 27 Spaces
 - M. 17 Spaces
 - N. 16 Spaces
 - P. 16 Spaces
- KEY**
- Academic Area
 - Campus Related Residential
 - General Admin. Offices
 - Support Services - Buildings
 - Support Services - Parking
 - Operational Areas
 - Athletic Areas - Buildings
 - Athletic Areas - Fields
 - Proposed 100' Zoning Boundary (+4.23 Acres)

NOTE
 Any future expansion of the Institutional Overlay boundary will require an amendment to the Institutional Overlay and Metro Council approval.

Future development outside the Institutional Overlay will be governed by the zoning on the property and/or the Redevelopment district, not by this Institutional Overlay.



Metro Planning Commission Meeting of 11/13/2008

they are situated. The institutional overlay district is intended to delineate on the official zoning map the geographic boundaries of a college or university master development plan, and to establish by that master development plan the general design concept and permitted land uses (both existing and proposed) associated with the institution.

NORTH NASHVILLE COMMUNITY PLAN

Fisk-Meharry, Hadley-Washington, McKissack Park (& Watkins Park Detailed Neighborhood Design Plan)

Major Institutional (MI)

MI is intended to apply to existing areas with major institutional activities that are to be conserved, and to planned major institutional areas, including expansions of existing areas and new locations. Examples of appropriate uses include colleges and universities, major health care facilities and other large scale community services that do not pose a safety threat to the surrounding neighborhood.

Mixed Housing in Neighborhood General (Special Policy Area # 2)

Neighborhood General covers areas with primarily residential character. They include a full range of residential housing types from well-integrated apartment buildings to single-family detached homes. NG includes a lower intensity residential character that will remain as such with the addition of new residences on vacant lots. Neighborhood General covers a majority of the McKissack Park and Hadley-Washington neighborhoods. It also covers most of the Fisk-Meharry neighborhood not included in the master plans for Fisk University and Meharry Medical College.

Mixed Use in Neighborhood Urban/ Mixed use in Major Institutional

MU is intended for buildings that are mixed horizontally and vertically. The latter is preferable in creating a more pedestrian-oriented streetscape. This category allows residential as well as commercial uses. Vertically mixed-use buildings are encouraged to have shopping activities at street level and/or residential above.

Consistent with Policy?

Yes. The proposed plan is consistent with the Major Institutional Policy and the Mixed Use and Mixed Housing Policies outlined in the North Nashville



Metro Planning Commission Meeting of 11/13/2008

Community Plan, including the adopted Detailed Neighborhood Design Plan calling for an Institutional Overlay to be applied to the Fisk University campus.

PLAN PURPOSE

The Zoning Code intends for the application of the institutional overlay district to be limited to those land areas encompassed by a college or university master development plan. The plan must adequately describe the extent of the existing and proposed campus of the institution along with long-range growth objectives and an assignment of institutionally related land uses. The master development plan and accompanying documentation must be sufficient in detail to provide the public with a good understanding of the developed campus's impact on the adjoining neighborhood(s). The master development plan must distinguish between the following types of generalized campus activities: academic areas, such as classrooms and labs; general administrative offices; support services, such as major parking areas, food services and bookstores; campus-related residential areas, including dormitories, fraternities and sororities; operational areas, such as maintenance buildings, power plants and garages; and athletic areas, including gymnasiums, intramural facilities, stadiums and tracks.

PLAN DETAILS

Fisk University is situated on approximately 44-acres of land located south of Jefferson Street, including properties located along both sides of 16th Avenue North to Dr. D.B. Todd Jr. Boulevard, to Parrish Street on the south side. There are three parcels included on the west side of Dr. D.B. Todd Jr. Boulevard and multiple properties located on the east side of 16th Avenue North between Meharry Boulevard and Jackson Street.

The stated purpose of the plan is *not* to significantly expand the boundaries of the university, but to establish more definitive boundaries and edges so it can be more easily distinguished from Meharry Medical College to the west and the surrounding neighborhood.

The proposed plan includes new buildings intended to replace outdated facilities, while preserving the important historic features and buildings existing on the campus. The plan proposes several new buildings, included in the following table:



Metro Planning Commission Meeting of 11/13/2008

New Buildings/Facilities and Uses	Proposed Floor Area	Proposed Number of Stories/Units
Gymnasium and Wellness Center	100,000 sq. ft. with a seating capacity of 2,000	2-3 Levels
Administrative Building: Offices	30,000 sq. ft.	2-3 Levels
Academic/Support Building: Classrooms, meeting space, bookstore, sub shop, and cafeteria	35,000-45,000 sq. ft.	2-3 Levels
Community Arts/Academic Building: Practice and teaching studios, music labs, faculty offices, music library; and Lobby/Community space including box office, retail, restaurants/concessions, meeting space, art gallery, Fisk Jubilee Museum	60,000-75,000 sq. ft.	2-3 Levels
Science Building: Classrooms and labs	130,000 sq. ft.	3 Levels
Residence Hall West	63,200 sq. ft. / 170-175 beds	4 Levels
Residence Hall East	94,800 sq. ft. / 170-275 beds	5-6 Levels
Maintenance Building	15,000-20,000 sq. ft.	1-2 Levels
Residential along 17th Avenue North	N/A	14 Units
Track and Field Facilities	N/A	N/A

Proposed Number of Students

The enrollment for the 2007-2008 school year was 770 students, while the proposed Institutional Overlay plans for a capacity of up to about 950 students.

The plan includes approximately 925,000 square feet of total floor area, where about 560,000 square feet of total floor area currently exists. While the plan includes approximately 550,000 square feet of new construction, it also includes about 195,000 square feet of demolition of existing structures.

Architectural Guidelines

The plan provides architectural character and building façade guidelines to insure that any new construction on the Fisk campus will complement the historic structures and reinforce the ambiance of the historic district without replicating the historic structures. These standards will insure that each building will be architecturally compatible with the surrounding buildings and overall campus in terms of building materials and scale. They also insure that the views and vistas to the historic structures are preserved.



Metro Planning Commission Meeting of 11/13/2008

Landscaping Guidelines

Landscaping standards for all new buildings and parking areas are included. The plan states that “[e]very effort will be made to plan new buildings and site improvements in a manner that will preserve many of these existing trees” and requires a landscape plan to be approved with every final site plan application. It calls for trees within the courtyards and guidelines for screening mechanical and service equipment.

Parking

New parking facilities are proposed around Crosthwaite Hall and the New Residence Hall West at the corner of Jefferson Street and D.B. Todd Jr. Boulevard, as well as the reconfiguration of the existing parking lot behind Jubilee Hall. Staff recommends that a condition be added to the overlay to require that with any Final Site Plan for new parking facilities along Jefferson Street and/or Dr. D.B. Todd Jr. Boulevard, a detailed landscaping plan must be provided showing the preservation of the existing trees outside of the area shown on the Master Plan for parking, and showing additional landscaping at a minimum of 30 inches in height immediately surrounding the parking lots along Jefferson Street and Dr. D.B. Todd Jr. Boulevard to provide screening of vehicles from the streets.

Historic Properties

Fisk University includes 15 buildings listed on the National Register of Historic Places and three that are National Register Eligible. While most of the proposed Institutional Overlay is located within a National Register Historic District (not a Historic Zoning district), the Historical Commission has indicated that there are no buildings of historic significance being demolished with this plan.

HISTORICAL COMMISSION RECOMMENDATION

Approval.

PUBLIC WORKS RECOMMENDATION

1. A reevaluation of the access and parking requirements will be required in the future if building sizes and uses are changed significantly from what is included in the Master Plan.
2. In accordance with the IO requirements, the Traffic Impact Study shall be updated a minimum of every



Metro Planning Commission Meeting of 11/13/2008

5 years and shall include an updated parking analysis.

3. An updated parking analysis may be required by the Metro Traffic Engineer if significant changes are made concerning the availability of on-street public parking on and around the Fisk campus.

STORMWATER RECOMMENDATION

Approved. Any excavation, fill, or disturbance of the existing ground elevation must be done in accordance with storm water management ordinance No. 78/840 and approved by The Metropolitan Department of Water Services prior to final site plan approval.

FIRE MARSHAL RECOMMENDATION

Conditional. The turning radius of a fire department access road shall be 25' inside and 50' outside. Fire department access roads shall be provided such that any portion of the facility or any portion of an exterior wall of the first story of the building is located not more than 150 ft (46 m) from fire department access roads.

More than 50 ft (15 m) above grade and containing intermediate stories or balconies, Class I standpipe system shall be installed. More than three stories above grade, Class I standpipe system shall be installed. All dead end roads over 150 ft. in length require a 100 ft. diameter turnaround, this includes temporary turnarounds. Temporary T-type turnarounds that last no more than one year shall be approved by the Fire Marshal's Office.

METRO DEVELOPMENT AND HOUSING AGENCY (MDHA)

"MDHA has reviewed the master plan and Phase III does follow our land use guidelines. University/ Institutional-related Facilities and Cultural Facilities in the Jefferson Street Redevelopment District are allowed.

As described in the approved Redevelopment Plan, MDHA will review any plans for new construction or addition to any building in this parcel. For any new development, redevelopment or improvement, a site plan shall be prepared which shows location of structures, appurtenance, walls, signs, driveways, parking and service areas, walks, utilities, plantings,



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and grades. The site plan shall be submitted for review and approval by MDHA's Design review Committee before issuance of any associated building permits."

STAFF RECOMMENDATION

In reviewing the Fisk University Institutional Overlay, staff has determined that the proposed plan is consistent with the North Nashville Community Plan and DNDP, and meets the requirements, as outlined by the Metro Zoning Code, for applying the IO district. Staff recommends conditional approval.

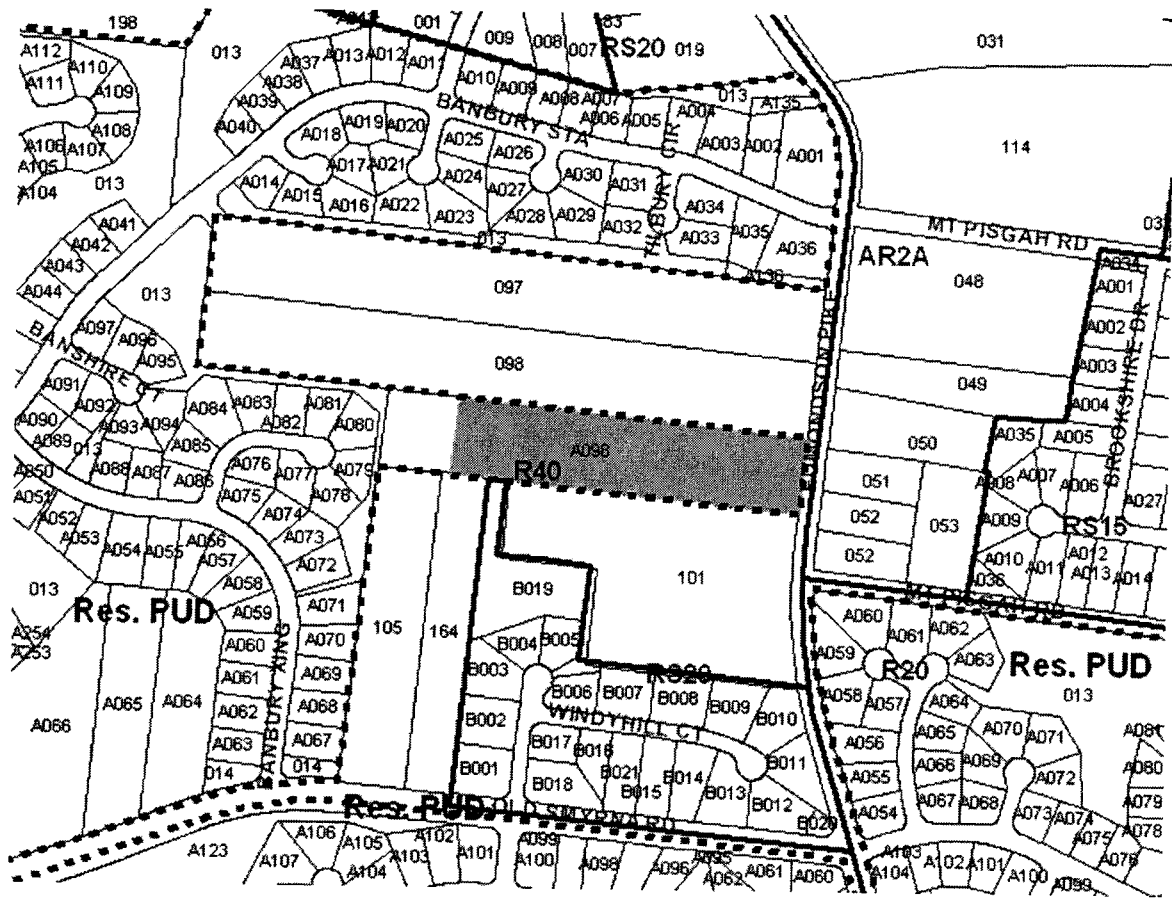
CONDITIONS

1. All Public Works conditions and requirements shall be met with the submittal of any Final Site Plan.
2. With any Final Site Plan for new parking facilities along Jefferson Street and/or Dr. D.B. Todd Jr. Boulevard, a detailed landscaping plan must be provided showing the preservation of the existing trees outside of the area shown on the Master Plan for parking and showing additional landscaping at a minimum of 30 inches in height immediately surrounding the parking lots along Jefferson Street and Dr. D.B. Todd Jr. Boulevard to provide screening of vehicles from the streets.
3. No electronic signs shall be permitted.
4. Prior to the issuance of any permits, MDHA will review any plans for new construction or addition to any building in Phase 3 of the Institutional Overlay. For any new development, redevelopment or improvement, a site plan shall be prepared which shows location of structures, appurtenance, walls, signs, driveways, parking and service areas, walks, utilities, plantings, and grades. The site plan shall be submitted for review and approval by MDHA's Design review Committee before issuance of any associated building permits.
5. Temporary buildings and/or structures, to be used for a limited, specified time period, must be approved by the Planning staff.
6. A corrected copy of the preliminary Institutional Overlay (IO) plan incorporating the conditions of approval by the Planning Commission and Council



Metro Planning Commission Meeting of 11/13/2008

shall be provided to the Planning Department prior to the filing of any additional development applications for this property, and in any event no later than 120 days after the effective date of the enacting ordinance. If a corrected copy of the IO plan incorporating the conditions therein is not provided to the Planning Department within 120 days of the effective date of the enacting ordinance, then the corrected copy of the IO plan shall be presented to the Metro Council as an amendment to this IO ordinance prior to approval of any grading, clearing, grubbing, final site plan, or any other development application for the property.



96P-007G-12

Banbury Crossing (Pud Cancellation)

Map: 172-09-0- A Parcel: Part of 098

Southeast Community Plan

Council District 31 – Parker Toler



Project No.	Planned Unit Development 96P-007G-12
Project Name	Banbury Crossing PUD Cancellation
Council District	31 - Toler
School District	2 - Brannon
Requested by	Kathy Harriman, owner
Staff Reviewer	Sexton
Staff Recommendation	<i>Approve</i>

APPLICANT REQUEST
Cancel PUD

A request to cancel a portion of the Banbury Crossing Planned Unit Residential Development district located on a portion of property at 5999 Edmondson Pike, approximately 180 feet north of Mt. Pisgah Road, zoned One and Two-Family Residential (R40), (4.2 acres).

Existing Zoning
R40 District

R40 requires a minimum 40,000 square foot lot and is intended for single-family dwellings and duplexes at an overall density of 1.16 dwelling units per acre including 25% duplex lots.

Residential PUD

A residential PUD overlay was applied to these properties in July 1996 to permit the development of 190 single-family lots. There have been several revisions made to the PUD. The last revision was approved on August 20, 1998, to permit the development of 4 single-family lots.

DONELSON HERMITAGE
COMMUNITY PLAN

Residential Low Medium (RLM)

RLM policy is intended to accommodate residential development within a density range of two to four dwelling units per acre. The predominant development type is single-family homes, although some townhomes and other forms of attached housing may be appropriate.

Consistent with policy?

RLM policy calls for a residential density of two to four dwelling units per acre. Removal of the residential PUD overlay on this site would revert to the base zoning district of One and Two-Family Residential (R40). While this is slightly less dense than the policy calls for, the cancellation of the PUD will not increase residential density and will not preclude this property from being rezoned in the future to be consistent with the RLM policy.

Rede Kitterm
DB 21070623 Page 101058

E 25th Ave
113.10'

S 82th Ave
113.10'

TRACT 2
33975.8 SQ. FT.
0.78 ACRES

TRACT 1
100824.7 SQ. FT.
2.30 ACRES

ENCROACHMENT
5814.740 1.3'

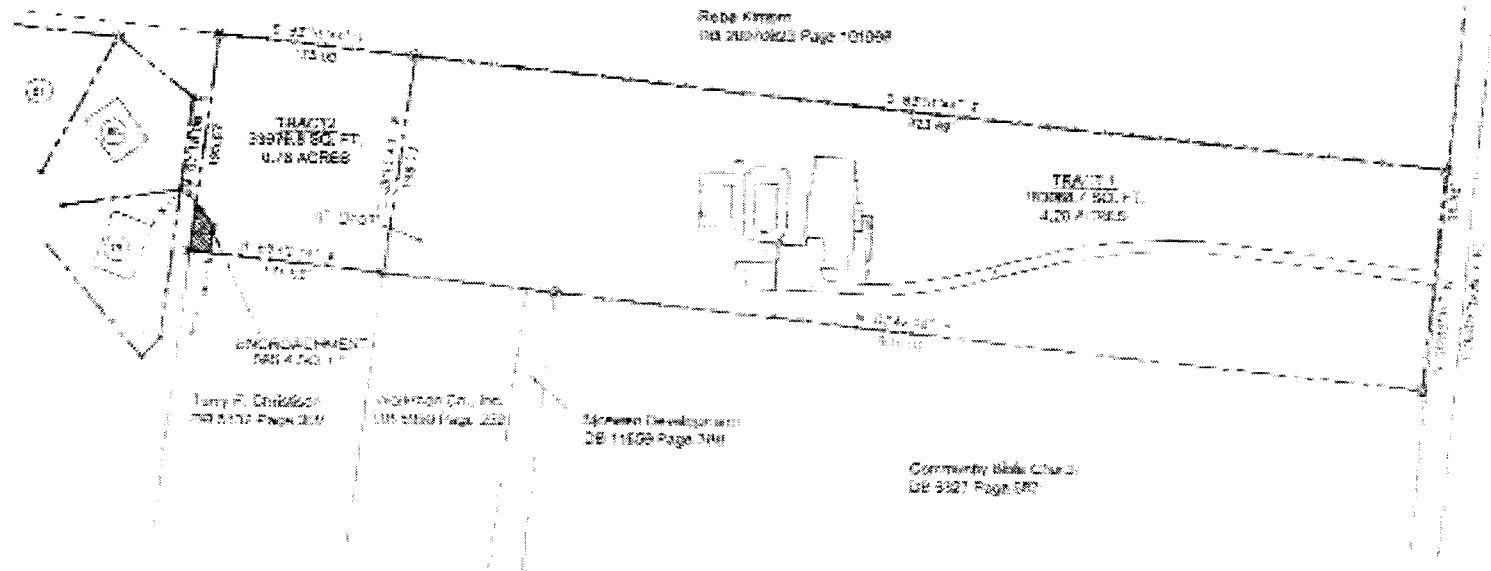
Terry F. Christoff
DB 21172 Page 280

Wickham Co., Inc.
DB 21150 Page 230

Marion Development
DB 11522 Page 314

Community Bible Church
DB 9327 Page 587

(2)





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FIRE MARSHAL RECOMMENDATION

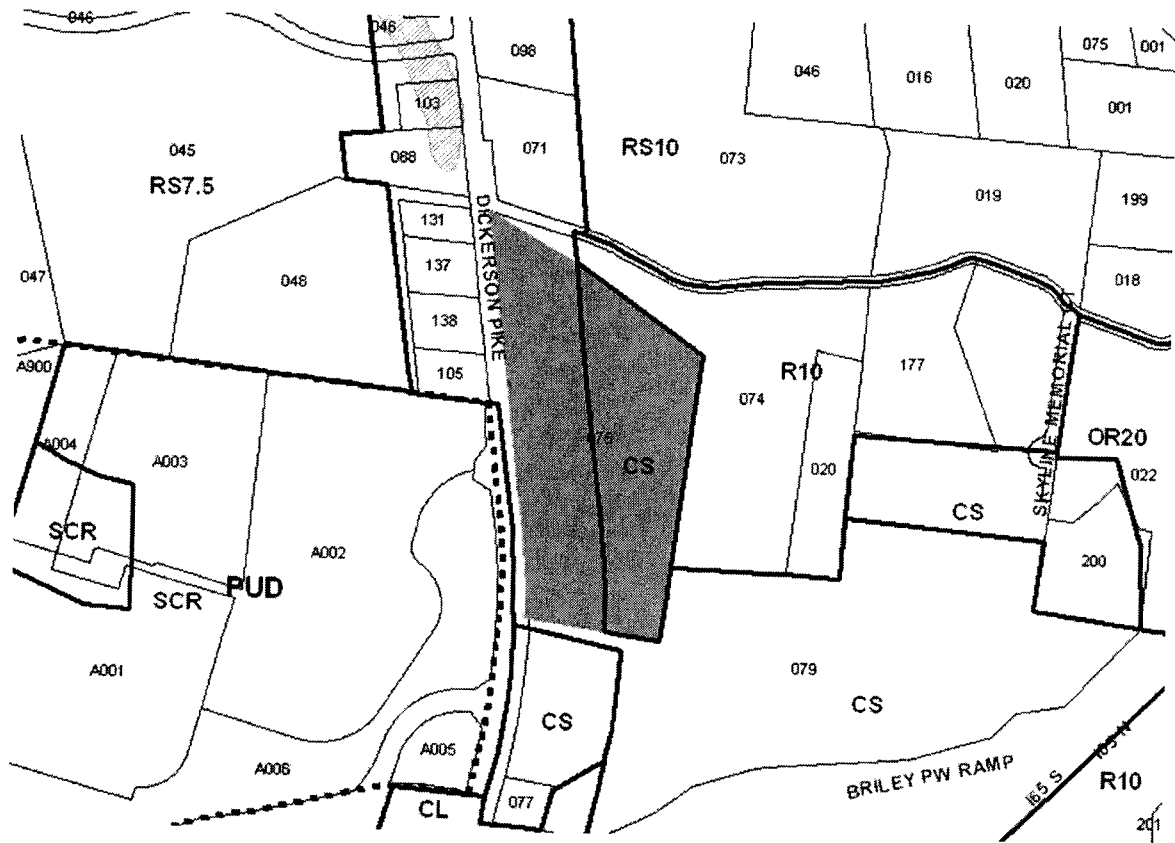
Approved based on no construction being done under this application. Any construction will require additional information.

STAFF RECOMMENDATION

Staff recommends approval of the request to cancel the Banbury Crossing PUD. The cancellation of the PUD will not increase residential density and will not preclude this property from being rezoned in the future to be consistent with the RLM policy.

SEE NEXT PAGE

CONCEPT PLANS



2008S-165G-02
 3465 Dickerson Road
 Map: 050-00 Parcel: 075
 Parkwood/Union Hill Community Plan
 Council District 4 – Michael Craddock



Project No.
Project Name
Council District
School District
Requested by

Subdivision 2008S-165G-02
3465 Dickerson Pike
4 - Craddock
3 - North
Skyline Commercial Properties LLC, owner, Barge
Cauthen & Associates, surveyor

Staff Reviewer
Staff Recommendation

Bernards
Approve with conditions

APPLICANT REQUEST
Concept Plan

A request for concept plan approval to create eight lots on property located at 3465 Dickerson Pike, approximately 1,400 north of Briley Parkway (23.68 acres), zoned Commercial Service (CS).

ZONING
CS District

Commercial Service is intended for retail, consumer service, financial, restaurant, office, self-storage, light manufacturing and small warehouse uses.

SUBDIVISION DETAILS

The concept plan proposes eight commercial lots at 3465 Dickerson Pike. Five lots are to front onto Dickerson Pike with three larger lots accessed from private drives. Access onto the site will be from two points along Dickerson Pike. Both will line up with driveways across the street with the southern access at the signalized driveway of the Nashville Commons development.

Public sidewalks are proposed along Dickerson Pike and private sidewalks are proposed along the private drives that serve the eight lots. In addition, a four foot bicycle lane is shown along Dickerson Pike, consistent with the Strategic Plan for Sidewalks & Bikeways.

Taylor-O'Connell Cemetery

There is an existing cemetery on the property. The Taylor O'Connell cemetery will remain. An access easement is shown on the plan but a ten foot buffer around the gravesites is required under Tennessee Code 46-8-103 and will need to be shown on the development plan and final plat.

PUBLIC WORKS
RECOMMENDATION

All Public Works' design standards shall be met prior to any final approvals and permit issuance. Any approval is subject to Public Works' approval of the construction plans.

COOPERATIVE
STATE P.C. 852
MAP 50 PARCEL 71

HORACE B. COOPER ET AL.
R. 144 P.C. 85
MAP 50 PARCEL 72

OLD DUE WEST AVENUE
(LOCAL) 50' R.O.W.

HORACE B. COOPER ET AL.
R. 144 P.C. 85
MAP 50 PARCEL 74

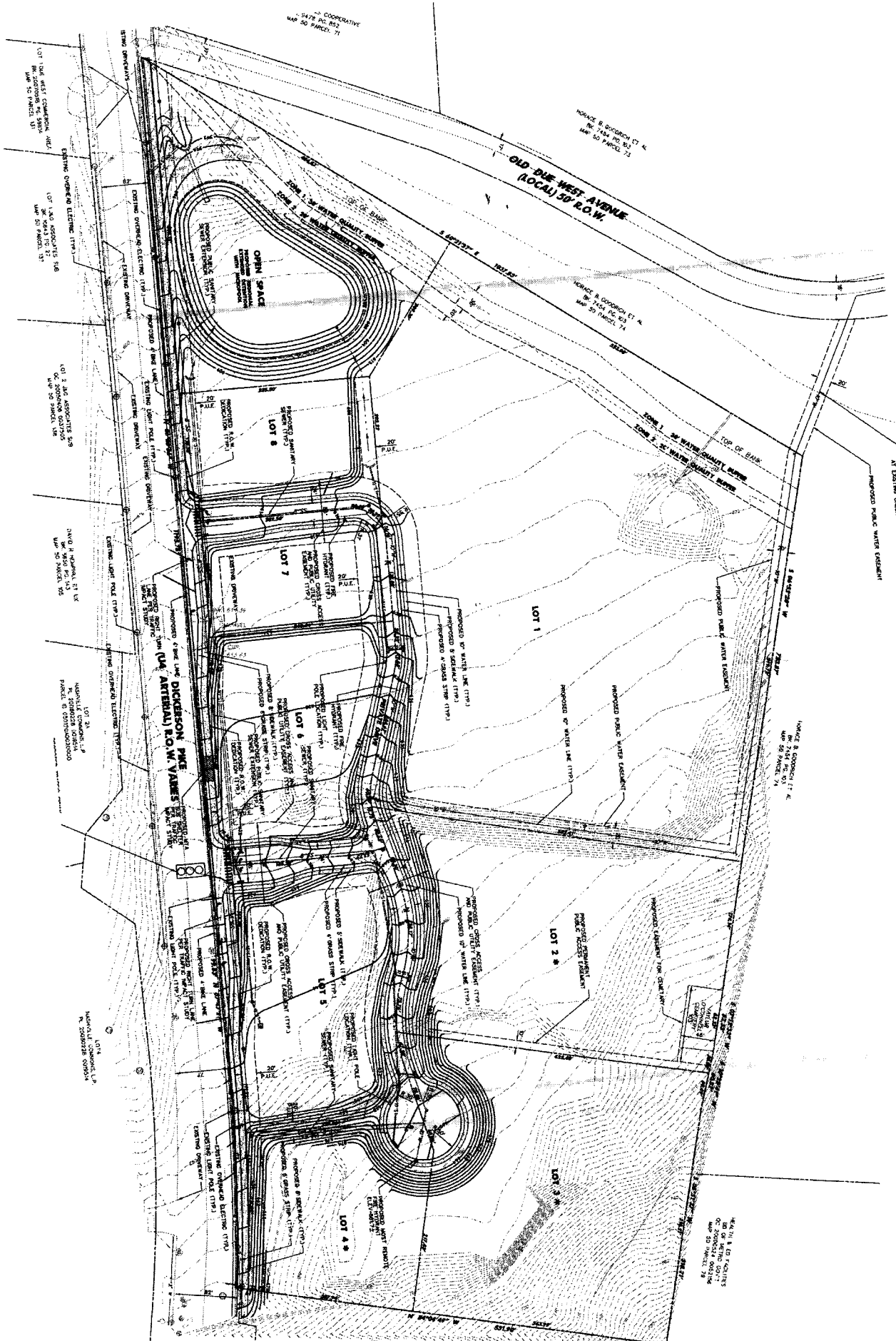
PROPOSED PUBLIC WATER EXHAUSTION
AT EXISTING CREEK

HORACE B. COOPER ET AL.
R. 144 P.C. 85
MAP 50 PARCEL 73

WALTER S. & D. HOLLAND
R. 144 P.C. 85
MAP 50 PARCEL 75

WALTER S. & D. HOLLAND
R. 144 P.C. 85
MAP 50 PARCEL 76

2008S-165G-02





Metro Planning Commission Meeting of 11/13/2008

Along Dickerson Pike, construct a six (6') foot furnishing zone and eight (8') foot sidewalk, consistent with the Strategic Plan for Sidewalks & Bikeways. Locate sidewalks within the public right of way / dedicate right of way.

Along Dickerson Pike construct bike lanes, consistent with the Strategic Plan for Sidewalks & Bikeways. If you have any questions or need any additional information, please let me know.

No direct access to Dickerson Pike will be permitted from any proposed out parcel. All access to Dickerson Pike shall limited to the proposed center and northernmost access drives.

Align proposed northernmost drive with existing commercial driveway on the west side of Dickerson Pike. Remove the island shown in this driveway.

In accordance with the recommendations of the traffic impact study, the following improvements are required:

1. Construct additional 3rd NB thru lane on Dickerson Pike along project frontage from Skyline medical Center and terminate just north of northernmost access drive with transitions and signage per AASHTO/MUTCD/TDOT standards.
2. Construct the northernmost site access drive at Dickerson Pike with one entering and two exiting lanes (LT and RT).
3. At Dickerson Pike and the Nashville Commons signalized access at the southern access drive: modify eastbound approach from Nashville Commons to provide a left turn lane a shared lane for left and thru traffic and a right turn lane.
4. At Dickerson Pike and Nashville Commons signalized access at the southern access drive, construct an exclusive northbound right turn lane with 100 ft of storage and transitions per AASHTO/MUTCD standards.
5. Southern access drive should provide 4 lanes that include 3 exiting lanes (dual left turn lanes and a shared lane for thru and right turns) and 1 entering lane.
6. Provide a bus shelter on-site. Coordinate the location with MTA.



Metro Planning Commission Meeting of 11/13/2008

STORMWATER RECOMMENDATION

Approved

NES RECOMMENDATION

- 1) Developer to provide a civil duct and gear (pad/switch) locations for NES review and approval. This shall cover the entire project area.
- 2) Developer drawing should show any existing utilities easements on property and the utility poles on the property and/or r-o-w.
- 3) 20-foot public utility easement required adjacent to public r-o-w and 20 foot PUE adjacent to the private drive. Make drainage and common open space areas should be a public utility easement.
- 4) NES can meet with developer/engineer upon request to determine electrical service options
- 5) NES needs any drawings that will cover any road improvements to Metro r-o-w that Public Works will require.
- 6) NES follows the National Fire Protection Association rules; Refer to NFPA 70 article 450-27; and NESC Section 15 - 152.A.2 for complete rules (see NES Construction Guidelines under "Builders and Contractors" tab @ www.nespower.com).
- 7) NES needs to know if the developer has other options on property next to this area, if so NES needs an overall concept plan.
- 8) Developer shall work with the NES Vegetation Management Section if NES has to build ovhd distributions lines for serve.

FIRE MARSHAL RECOMMENDATION

Reviewed

- Show all fire hydrant(s) flow data or the proposed fire hydrant(s) flow data on plans or the fire hydrant with the highest elevation and the most remote in the development.
- All fire department access roads shall be 20 feet minimum width and shall have an unobstructed vertical clearance of 13.6 ft.
- No part of any building shall be more than 500 ft from a fire hydrant via an approved hard surface road.
- All roadways with-two way traffic shall comply with public works minimum requirements.
- Dead end fire mains over 600 feet in length are required to be no less than 10 inch in diameter. If this is to be a public fire main, a letter from Metro Water is



Metro Planning Commission Meeting of 11/13/2008

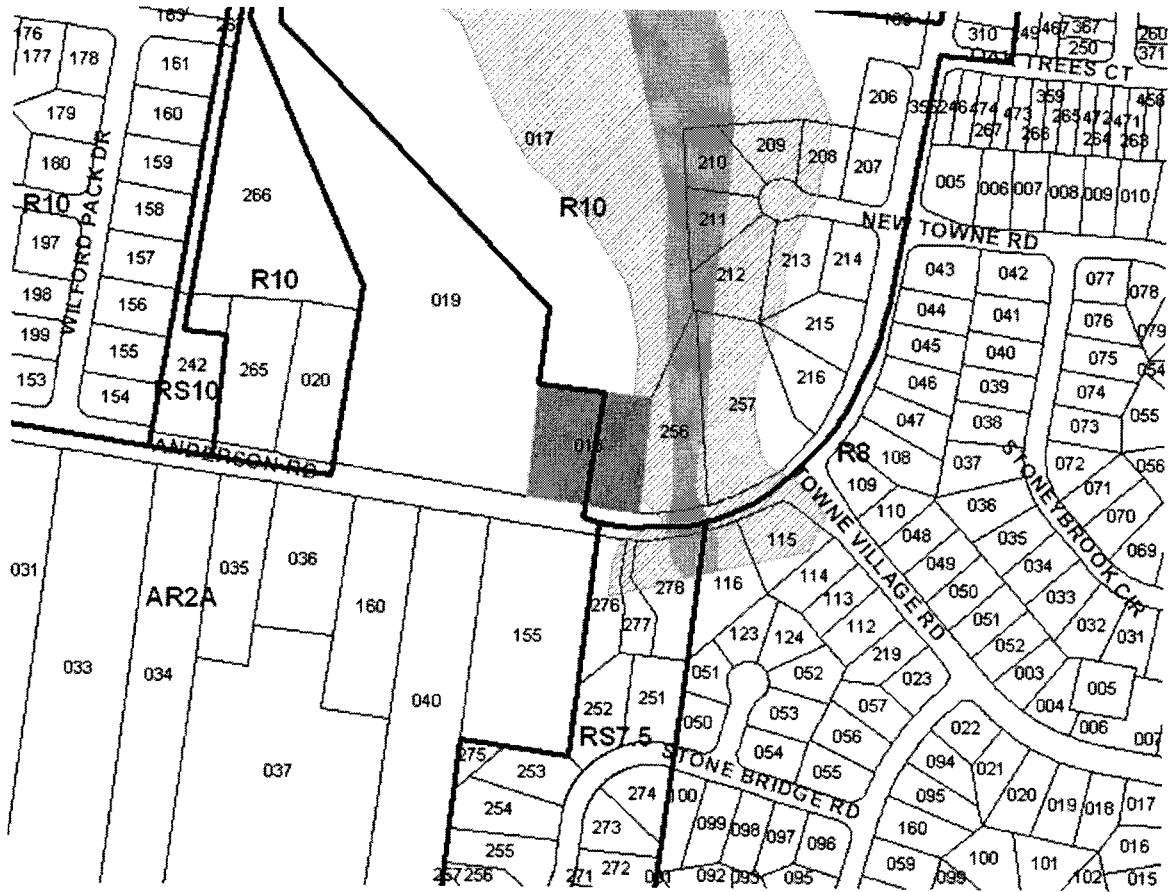
- required excepting the length and size.
- More than 50 ft (15 m) above grade and containing intermediate stories or balconies, Class I standpipe system shall be installed.
 - Fire department access roads shall be provided such that any portion of the facility or any portion of an exterior wall of the first story of the building is located not more than 150 ft (46 m) from fire department access roads.
 - Provide Civil Plans which show water mains, fire hydrants, the proposed flow from the fire hydrant with the highest elevation and most remote in this project, street access and topographic elevations.
 - The turning radius of a fire department access road shall be 25' inside and 50' outside.
 - Fire Hydrants shall be in-service before any combustible material is brought on site.
 - All new construction shall be protected by a fire hydrant(s) that comply with the 2006 edition of NFPA 1 table H.
 - Before a building permit can be issued Water Plans showing water mains, fire hydrants, the proposed flow from the fire hydrant with the highest elevation and most remote in this project, street access and topographic elevations shall be provided.
 - Access to each property shall be from a public access way or property controlled by the property owner w/out crossing other property owner's property lines to reach the property unless an easement.

STAFF RECOMMENDATION

The 3465 Dickerson Road Concept Plan meets the requirements of the Subdivision Regulations and staff recommends the request be approved with conditions.

CONDITIONS

1. The development plan and final plat shall include a ten foot buffer around the gravesites as required by Tennessee Code 46-8-103.
2. The development plan shall comply with the requirements of the Fire Marshal as identified in the staff report.
3. The development plans shall comply with the requirements of the Public Works Department.



2008S-175U-13
 Alicia Lane Subdivision
 Map: 150-00 Parcel: 018
 Antioch/Priest Lake Community Plan
 Council District 29 – Vivian Wilhoite



Project No.
Project Name
Council District
School District
Requested by

Subdivision 2008S-175U-03
Alicia Lane Concept Plan
29 – Wilhoite
6 - Johnson
Larry Hall, owner, Dale & Associates, surveyor

Staff Reviewer
Staff Recommendation

Jones
Approve with conditions

APPLICANT REQUEST
Concept Plan

A request for concept plan approval to create two open space lots and to dedicate right-of-way connecting to Anderson Road on property located at 3166 Anderson Road, approximately 330 feet west of Towne Village Road (1.0 acres), zoned Agricultural Residential (AR2a) and One and Two Family Residential (R10).

ZONING
AR2a District

Agricultural/Residential requires a minimum lot size of 2 acres and intended for uses that generally occur in rural areas, including single-family, two-family, and mobile homes at a density of one dwelling unit per 2 acres. The AR2a District is intended to implement the natural conservation or interim non-urban land use policies of the general plan.

R10 District

R10 requires a minimum 10,000 square foot lot and is intended for single -family dwellings and duplexes at an overall density of 4.63 dwelling units per acre including 25% duplex lots.

SUBDIVISION DETAILS

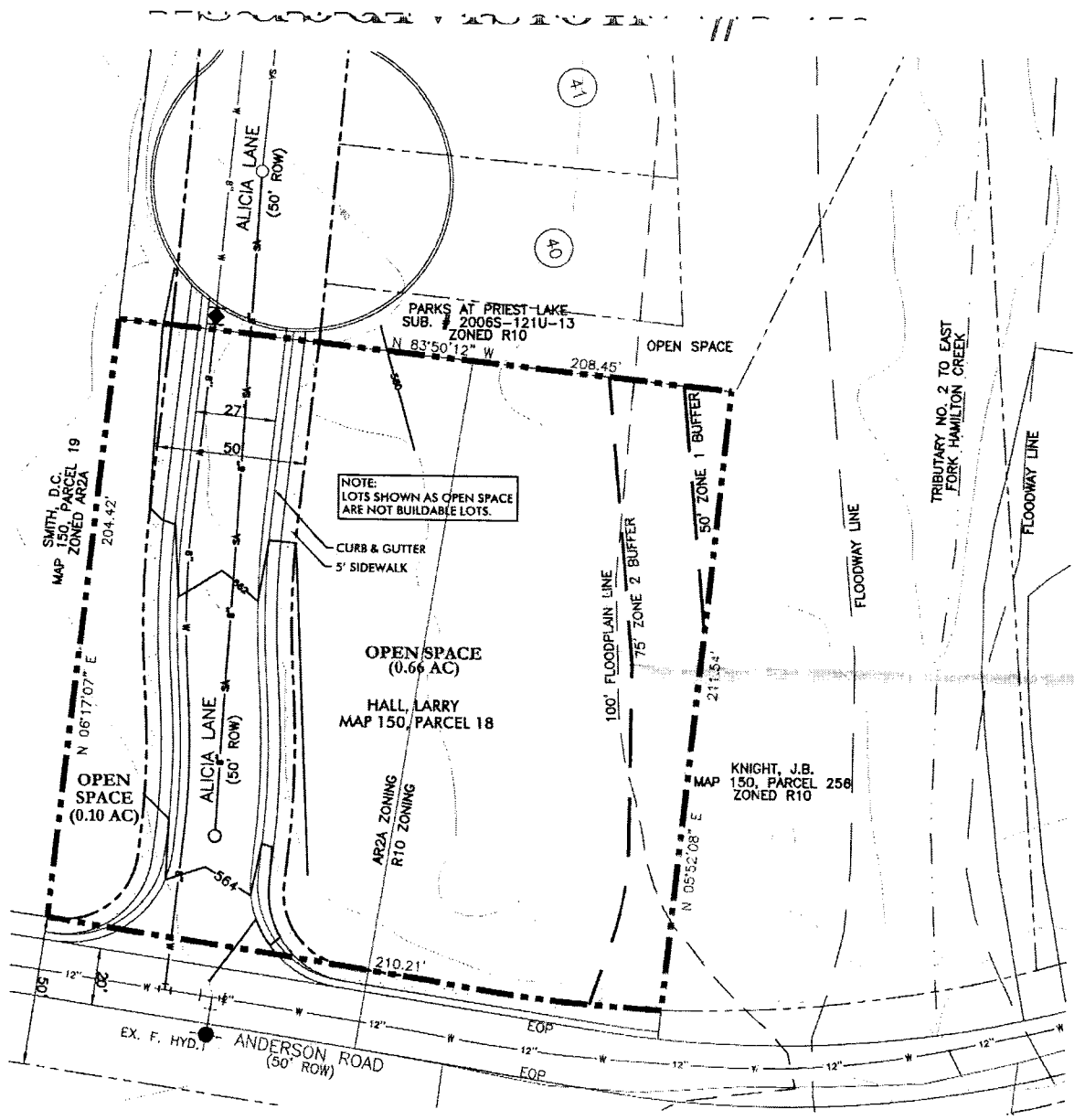
The concept plan proposes to create two open space lots and to dedicate 50 feet of right-of-way for the extension of Alicia Lane. The open space lots are designated as non-buildable lots. Lot 1 consists of 0.10 acres and Lot 2 totals 0.66 acres. The eastern boundary of Lot 2 lies within the floodplain and a 75 foot buffer is provided to preserve the natural state of the floodplain.

Access/Street Connectivity

The concept plan proposes the construction of 50 feet of right-of-way to extend Alicia Lane south to Anderson Road. The extension of Alicia Lane will provide additional access for The Park at Priest Lake Subdivision which is

CONCEPT PLAN FOR ALICIA LANE SUBDIVISION

7





Metro Planning Commission Meeting of 11/13/08

immediately north of the site. Five-foot sidewalks are proposed within the right-of-way on both sides of the street and will extend to the property's frontage along Anderson Road.

PUBLIC WORKS RECOMMENDATION

The developer's construction drawings shall comply with the design regulations established by the Department of Public Works. Final design may vary based on field conditions.

STORMWATER RECOMMENDATION

Approved.

FIRE MARSHAL RECOMMENDATION

Approved based on no construction being done this application. Any construction will require additional information.

STAFF RECOMMENDATION

Staff recommends conditional approval of the concept plan to create two open space lots and dedicate right of way.

CONDITIONS

1. All development plans shall comply with the design regulations established by the Department of Public Works.
2. Pursuant to 2-3.4.e of the Metro Subdivision Regulations, if this application receives conditional approval from the Planning Commission, that approval shall expire unless revised plans showing the conditions on the face of the plans are submitted prior to any application for a final plat, and in no event more than 30 days after the effective date of the Commission's conditional approval vote.

SEE NEXT PAGE

FINAL PLAT SUBDIVISIONS



2008S-169G-14

Hermitage Estates, Resub. Lots 177 & Reserve Parcel 'A'

Map: 075-10 Parcels: 142, 192

Donelson/Hermitage/Old Hickory Community Plan

Council District 11 – Darren Jernigan



Project No.
Project Name

Subdivision 2008S-169G-14
Hermitage Estates Resubdivision of Lot 177
and Reserve Parcel A

Council District
School District
Requested by

11- Jernigan
4 – Glover
Lisa Benedict, owner, James Terry & Associates,
surveyor

Staff Reviewer
Staff Recommendation

Bernards
Approve

APPLICANT REQUEST

Final Plat

A request for final plat approval to create one lot and remove the reserve status from a parcel located at 8304 Terry Lane and Terry Lane (unnumbered), approximately 160 feet north of Tyler Drive (0.29 acres), zoned Single-Family Residential RS10.

ZONING
RS10 District

RS10 requires a minimum of 10,000 square foot lot and is intended for single-family dwellings at a density of 3.7 dwelling units per acre.

SUBDIVISION DETAILS

The purpose of this subdivision is to remove the reserve parcel status on a parcel and to combine that parcel with an existing lot in order to create one buildable lot. A number of reserve parcels were included in the original platting of Hermitage Estates. A note on the plat indicated that these were to not be used as building sites until approved by the Planning Commission.

Section 2-9.1.b of the Subdivision Regulations requires that the removal of the reserve status on a parcel be approved by the Planning Commission except when the parcel is in reserve pending an action by a public utility to provide service availability as noted on the face of the approved subdivision plat that created the reserve parcel. There is no explanation provided on the original plat as to why this parcel has been designated as reserved.

The applicant is requesting that the reserve status be removed from Parcel A. While this parcel does not have street frontage, it is being combined with Lot 177, which fronts onto Terry Lane to create one lot with street frontage.

TERRY LANE

(50' PUBLIC R.O.W.)

2-1/2" RW

50' P.O.W.

Existing Wood Fence

Parcel 143.00
Tax Map 75-10
LOT 178
HERMITAGE ESTATES
Plat Book 3300, Page 70 & 71,
R.O.D.C., Tennessee

DELTA=08°25'11"
R=616.50'
E=87.00'
T=43.58'
N 33°47'12" E
CHD.=86.93'

Concrete Monument (Found)

Iron Rod (Set)
Anchor Easement

L=87.00'

40' Building Setback Line

42.8'

18.9'

EXISTING RESIDENCE

(142.00)
177

Iron Rod (Set) in Existing Fence Line

129.53'

68.62'

N53°20'59"E

N60°07'06"W

104.66'

N60°24'51"W
46.30'

S34°26'52"W

130 RTT

Concrete Monument (Found)

Iron Rod (Set)

Parcel 141.00
Tax Map 75-10
LOT 417
HERMITAGE ESTATES
SECTION 3
Plat Book 3700, Page 116,
R.O.D.C., Tennessee

TO BE ABANDONED BY THE RECORDING OF THIS PLAT
Original Lot Line





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**PUBLIC WORKS
RECOMMENDATION**

No exception taken.

**STORMWATER
RECOMMENDATION**

Approved

**WATER SERVICES
RECOMMENDATION**

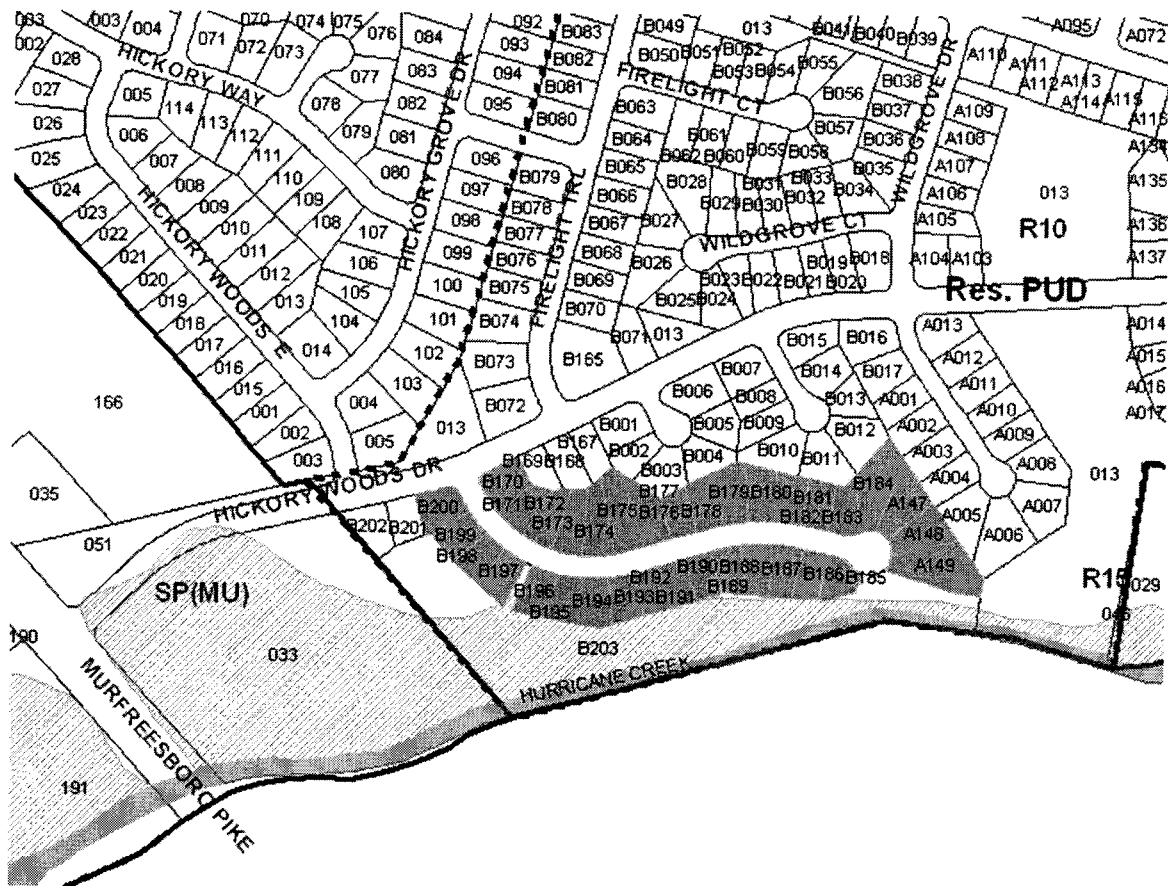
Approved

**FIRE MARSHAL
RECOMMENDATION**

Ignore; no comments at this time

STAFF RECOMMENDATION

Staff recommends approval of the request to remove the reserve parcel status and to combine the parcel with an exiting lot to create one buildable lot.



2008S-183U-13

Hickory Woods Estates, Sec. C, Ph. II (Sidewalk Variance)

Map: 176-05-0-A Parcels: Various

Antioch/Priest Lake Community Plan

Council District

32 – Sam Coleman



Project No.	Subdivision 2008S-183U-13
Project Name	Hickory Woods Estates, Phase 2, Sec. C
Council District	32 - Coleman
School Board District	06 - Johnson
Requested By	Wamble and Associates, PLLC
Staff Reviewer	Leeman
Staff Recommendation	<i>Approve variance with conditions</i>

APPLICANT REQUEST
Variance for a sidewalk

A request for a variance to remove a 950 foot long, unbuilt sidewalk along the north side of Brookstone Court within the Hickory Woods Estates Planned Unit Development, zoned One and Two-Family Residential (R10), and to build a 530 foot long sidewalk along the north side of Lavergne-Couchville Pike between Murfreesboro Pike and Hickory Way, (12.49 acres).

R10 District

R10 requires a minimum 10,000 square foot lot and is intended for single -family dwellings and duplexes at an overall density of 4.63 dwelling units per acre including 25% duplex lots.

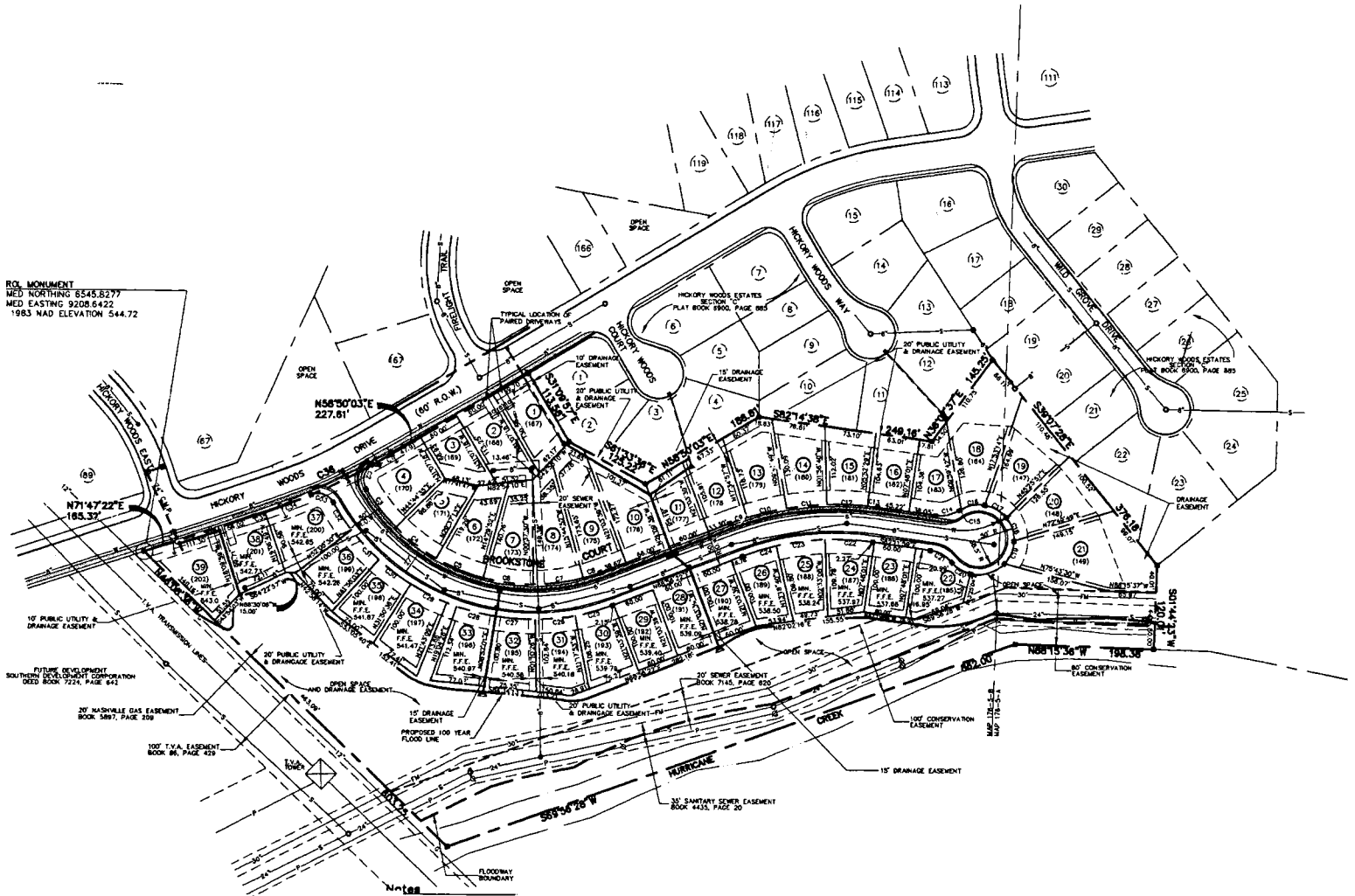
PLAN DETAILS

The applicant is requesting a variance to the Subdivision Regulations to eliminate a sidewalk along the north side of Brookstone Court. This sidewalk was shown on the Final PUD plan and the Final Plat approved by the Planning Commission on February 4, 1999. At the time of the Preliminary PUD approval in 1997, and the Final Site Plan in 1998, as well as the Final Plat in 1999, sidewalks were required by the Subdivision Regulations on one side of the street.

The applicant is requesting the variance along Brookstone Court due to the topography on this side of the road. The applicant has indicated:

“[t]he topography on this side of Brookstone Court slopes steeply upward from the street, preventing the ability to build this sidewalk and maintain access to garages for houses that are built on these lots. If the fronts of the lots are graded down to accommodate this sidewalk, the driveway reconstruction between the back of the sidewalk and the front of the garages will be so steep that access to the garages will be impossible. Therefore, based

ROCK MONUMENT
MED NORTHING 8545.8277
MED EASTING 9208.6422
1983 MAD ELEVATION 544.72





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on the hardship created by the topography of these lots I request the approval to build a section of sidewalk on LaVergne-Couchville Pike in lieu of building the sidewalk within this development along Brookstone Court which is a dead-end cul-de-sac street.”

Off-Site Sidewalk Installation

While the developer constructed the streets and sold the lots without constructing the required sidewalks, the developer is now proposing to construct a 530 foot long sidewalk along a portion of LaVergne-Couchville Pike that would provide a continuous connection between Murfreesboro Pike and Hickory Way. The applicant has indicated that the property owner's along Brookstone Court do not want a sidewalk to be constructed and that it would cause an undue hardship to the property owners in that they would have to remove mailboxes and rebuild driveways.

PUBLIC WORKS RECOMMENDATION

Public Works agrees with the sidewalk variance request.
The developer's engineer is to provide construction plans to Public Works for approval prior to beginning construction.

STAFF RECOMMENDATION

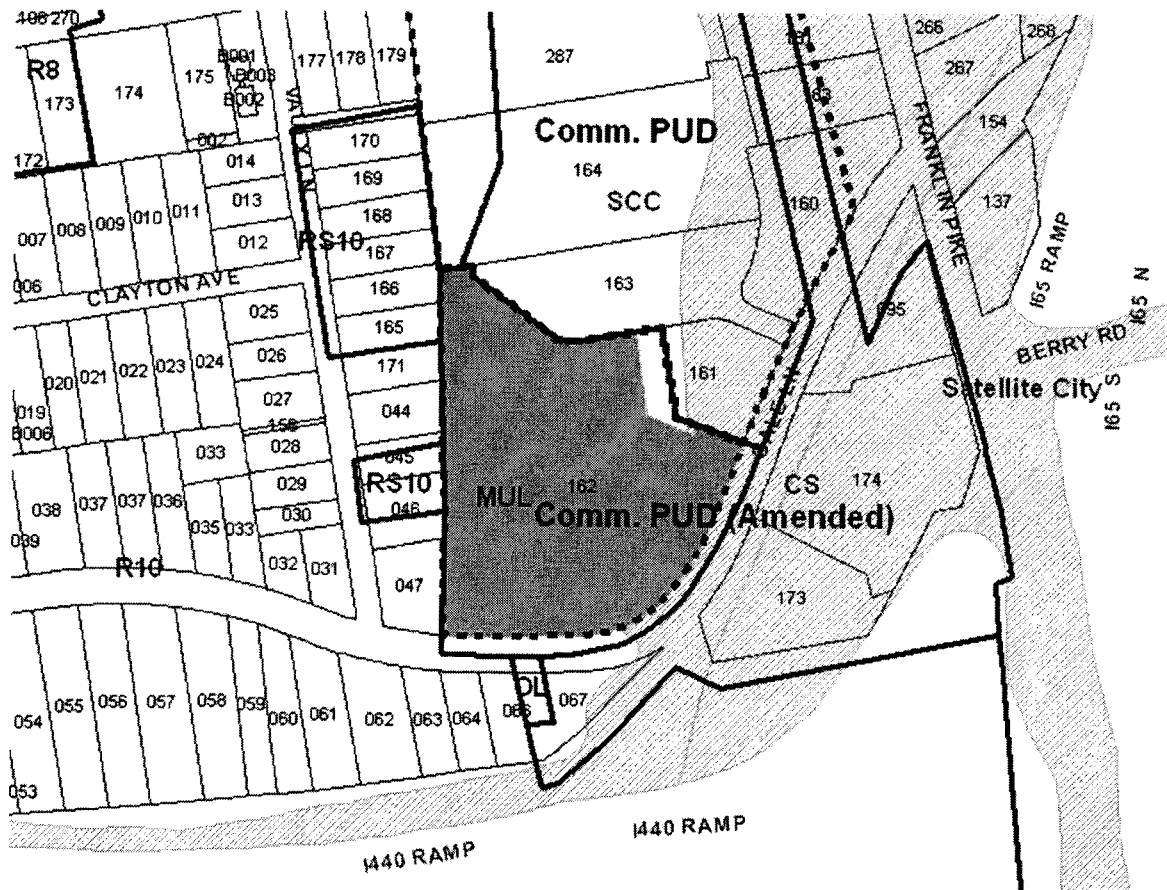
Staff recommends approval of the sidewalk variance with a condition that 530 feet of sidewalk be constructed by the developer along LaVergne-Couchville Pike.

CONDITIONS

1. Prior to the release of any bonds for Hickory Woods Estates a sidewalk must be constructed and accepted by Metro Public Works approximately 530 feet in length along the north side of LaVergne-Couchville Pike between Murfreesboro Pike and Hickory Way.

SEE NEXT PAGE

**REVISIONS
and FINAL SITE PLANS**



89P-022U-10

Melrose Pud (Gale Park Revision #1)

Map: 118-06 Parcels: 162

Green Hills/Midtown Community Plan

Council District 17 – Sandra Moore



**Project No.
Project Name**

**Planned Unit Development 89P-022U-10
Melrose Shopping Center (Gale Park
Revision # 1)**

**Council District
School District
Requested By**

17 - Moore
7 - Kindall
Barge, Waggoner, Sumner and Cannon, applicant for
L5 Development, LLC, owner

**Staff Reviewer
Staff Recommendation**

Swaggart
Staff recommends approval with conditions. Prior to approval of the final site plan for the construction of any residential unit or commercial space, or the issuance of any building permits, comments from the Fire Marshal's office must be addressed.

**APPLICANT REQUEST
Revise Preliminary PUD and
Final Site Plan**

A request to revise the preliminary plan and for final approval for grading for a portion of the Melrose Planned Unit Development Overlay located at Gale Lane (unnumbered), approximately 150 feet east of Vaulx Lane (6.95 acres), zoned Mixed Use Limited (MUL), to permit 4,200 square feet of commercial space, 16 townhomes, 62 single-family (cottage) units, and 13 flats.

**Zoning
MUL District**

Mixed Use Limited is intended for a moderate intensity mixture of residential, retail, restaurant, and office uses.

PLAN DETAILS

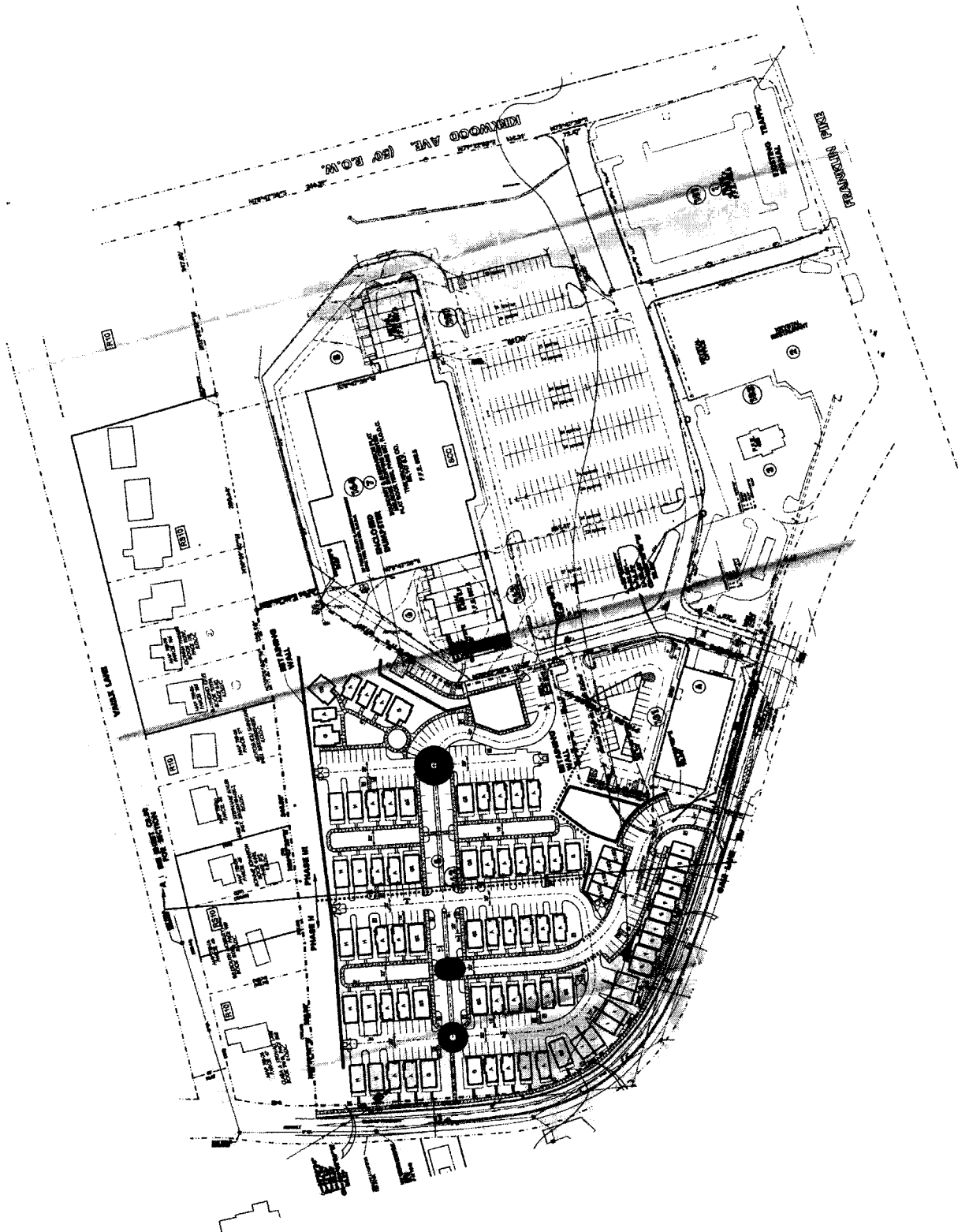
This application is to revise the last approved preliminary plan and for final approval for grading. Approval will not allow for any development, but will allow for grading only. Prior to any development a final site plan must be approved by the Planning Commission.

Preliminary Plan

The Melrose PUD was originally a commercial development that was approved in 1989. The PUD was amended to allow for residential uses in 2007. The amendment, which included this portion of the PUD, was approved for 4,200 square feet of retail and restaurant uses and 96 residential units consisting of 33 attached townhomes, 5 flats over retail, and 58 detached single-family townhomes.

Revised Site Plan

The revised site plan calls for 4,200 square feet of commercial space and 91 residential units. Residential





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units consist of 16 townhomes, 62 single-family (cottage) units, and 13 flats. The overall residential density will be approximately 13 units per acre, with a total floor area of 143,214 square feet. The development will be constructed in three phases. Phase 1 will consist of mass grading which is requested with this application. Phase 2 will consist of 53 units and the retail building, and Phase 3 will consist of 38 units.

Units along Gale Lane are oriented towards Gale Lane, with parking located at the rear of the units. Interior units front on small public greens. Sidewalks are shown on the plan and will provide for efficient pedestrian movement within the development and to adjacent streets.

Access to all the residential units and the commercial area will be provided from private drives. Access into the development will be provided from two locations. One main access point will be from Gale Lane, and the secondary access point will be from the commercial portion of the PUD to the east.

The PUD is within the Urban Zoning Overlay (UZO) and would require a total of 130 parking spaces. The plan calls for 231 parking spaces and is in compliance with Metro parking requirements.

Staff Analysis

The proposed revised site plan is consistent with the concept and general layout of the last plan approved by Council, and meets current zoning requirements. Revisions include minor shifts in the number of unit types and the reduction in the number of total residential units, as well as minor revisions to the interior layout. An additional revision includes the removal of a vehicular access point off of Gale Lane. While this revision could be considered major due to its potential impact on access, sufficient access is retained and access has been approved by Public Works. A sidewalk connection is shown where the drive was originally located. Since the revisions do not alter the concept or general layout of the plan last approved by Council, no Council action is required.



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PUBLIC WORKS RECOMMENDATION

All Public Work's design standards shall be met prior to any final approvals and permit issuance. Final design may vary based on field conditions.

STORMWATER RECOMMENDATION

Approved with conditions:

Water quality units placed in series is not acceptable.

FIRE MARSHAL RECOMMENDATION

Pending

1. A fire department access road shall extend to within 50 ft of at least one exterior door that can be opened from the outside and that provides access to the interior of the building.
2. Before a plat for 1 or 2 family construction can be approved mains, fire hydrants, the proposed flow from the hydrant with the highest elevation and most remote in this project shall all be shown on plans also street access and topographic elevations.
3. The turning radius of a fire department access road shall be 25' inside and 50' outside.
4. Fire hydrant(s) shall comply with 2006 edition of NFPA 1 table H.
5. Dead end fire mains over 600 feet in length are required to be no less than 10 inch in diameter. If this is to be a public fire main, a letter from Metro Water is required excepting the length and size.
6. Fire Hydrants shall be in-service before any combustible material is brought on site.
7. No part of any building shall be more than 500 ft from a fire hydrant via an approved hard surface road.

STAFF RECOMMENDATION

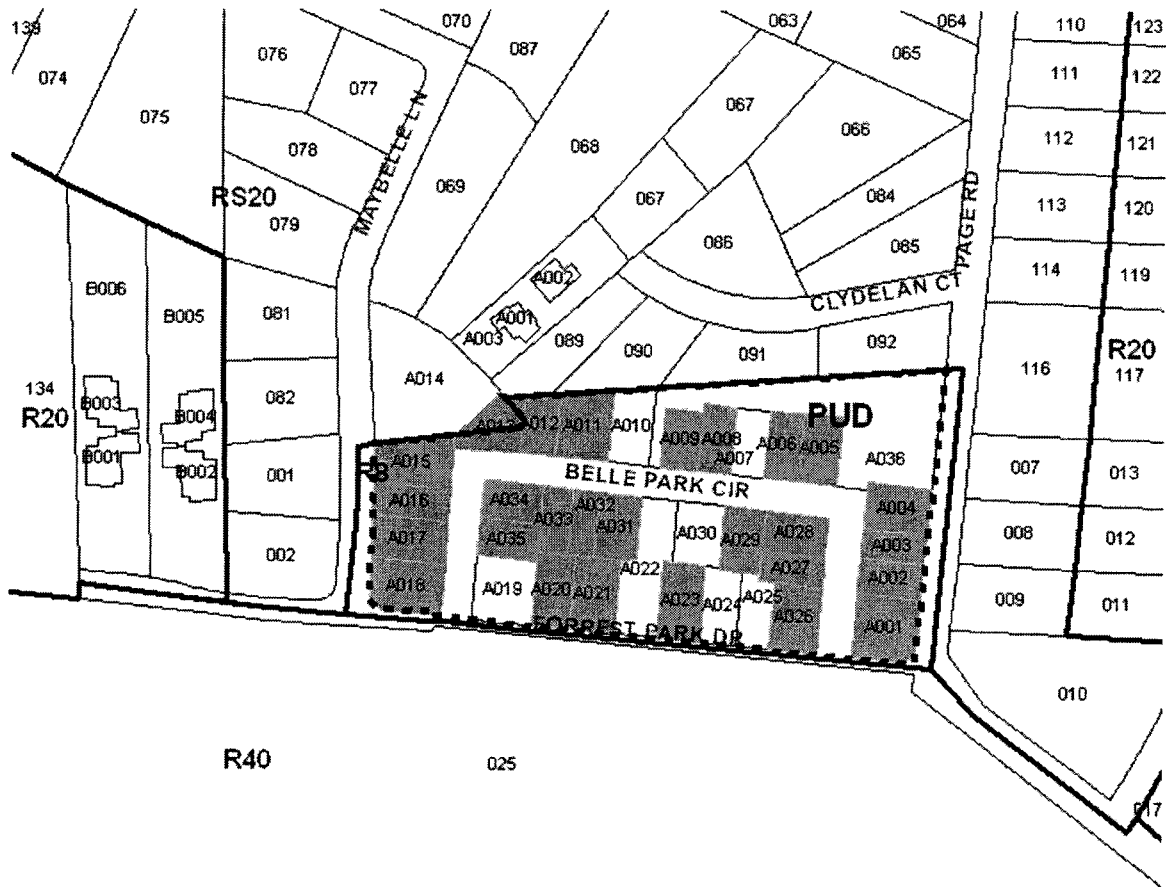
Staff recommends approval with conditions. Prior to the approval of the final site plan or the issuance of any building permits for the construction of any residential unit or commercial space, comments from the Fire Marshal's office must be addressed.



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CONDITIONS

1. There shall be no pole signs allowed, and all free standing signs shall be monument type not to exceed five feet in height. Changeable LED, video signs or similar signs allowing automatic changeable messages shall be prohibited. All other signs shall meet the base zoning requirements, and must be approved by the Metro Department of Codes Administration.
2. The requirements of the Metro Fire Marshal's Office for emergency vehicle access and adequate water supply for fire protection must be met prior to the issuance of any building permits.
3. If the PUD final site plan or final plat indicates that there is less acreage than what is shown on the approved preliminary plan, the final site plan shall be appropriately adjusted to show the actual total acreage, which may require that the total number of dwelling units or total floor area be reduced.
4. Prior to any additional development applications for this property, and in no event later than 120 days after the date of conditional approval by the Planning Commission, the applicant shall provide the Planning Department with a corrected copy of the preliminary PUD plan. Failure to submit a corrected copy of the preliminary PUD within 120 days will void the Commission's approval and require resubmission of the plan to the Planning Commission.



2003P-010U-07
 Jardin De Belle (formerly Belle Park)
 Map: 130-13-0-A Parcels: various
 West Nashville Community Plan
 Council District 34 – Carter Todd



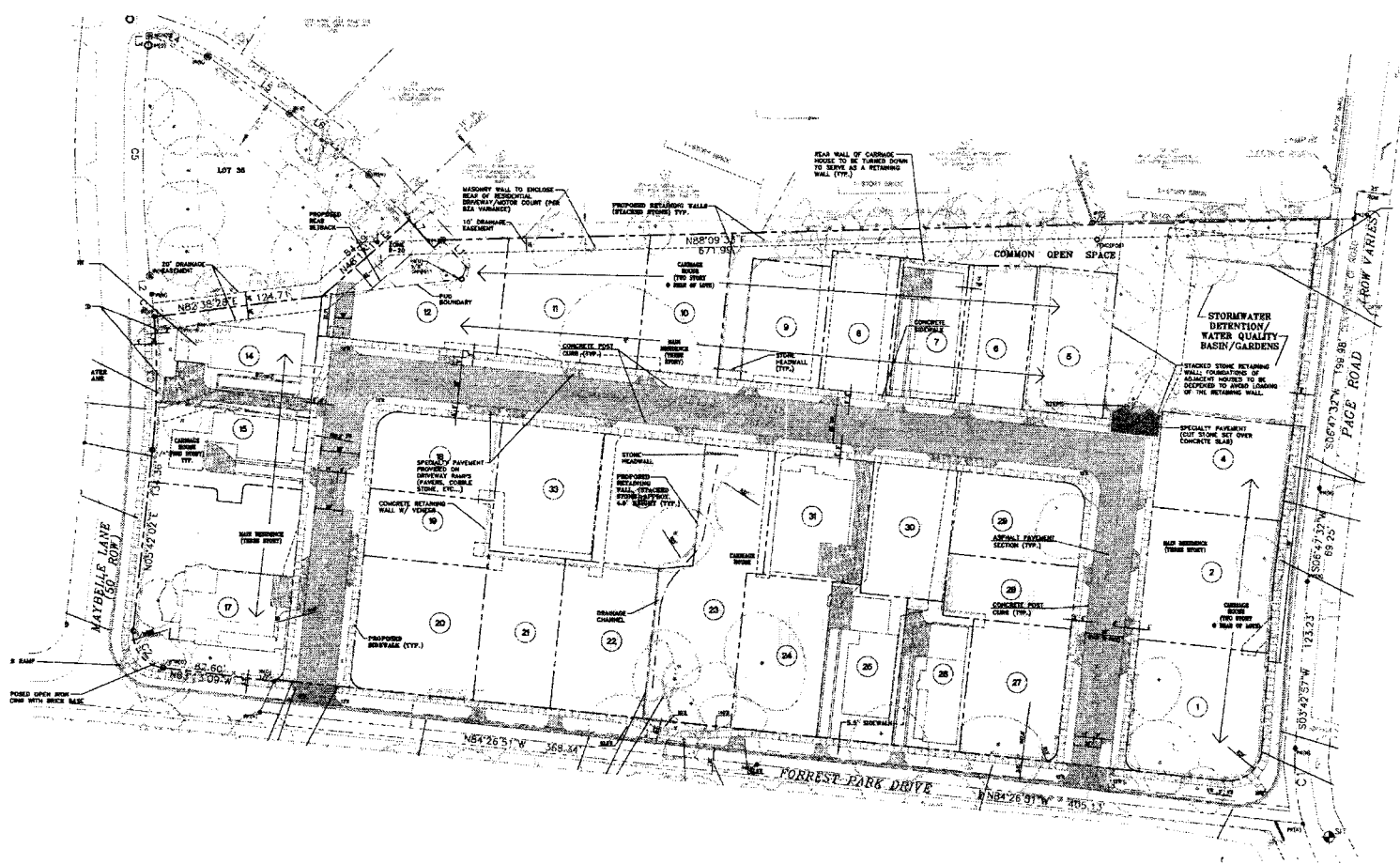
Project No.	Planned Unit Development 2003P-010U-07
Project Name	Jardin de Belle (Belle Park)
Council Bill	None
Council District	34 – Todd
School Board District	8 - Fox
Requested By	Littlejohn Engineering Associates, Inc., applicant, for Deer Creek Construction Inc., Susan Michael, W. Hugh Nelson Builders LLC, Elizabeth and William Minkoff, Csaba Rusznak, Marta Papp, Charles Rogan Allen, Thomas L. Black, owners

Staff Reviewer	Leeman
Staff Recommendation	<i>Disapprove. Approve with conditions if the Fire Marshal has approved the plan prior to the Planning Commission meeting.</i>

APPLICANT REQUEST	A request to revise the preliminary plan and for final approval for a residential Planned Unit Development district located between Page Road and Maybelle Lane to reduce the overall number of lots from 34 single-family lots to 30 single-family lots.
Revise Preliminary PUD and Final Site Plan	

PLAN DETAILS	The proposed plan reduces the overall number of lots within the PUD from 34 to 30 single-family lots, while still maintaining the requirements of the PUD for a “Charleston Style” development. The proposed plan combines lots in areas where owners were having difficulty developing the homes due to large trees that are required to be protected and because lots were too small, in some instances, to develop side entry garages as is encouraged under a Charleston Style development. The proposed revision also maintains the requirement for the review and approval of all building plans by the Architectural Review Committee and Metro Planning Department for compliance with the original intent of the PUD, and review of a tree maintenance plan prior to the issuance of building permits.
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History	The preliminary PUD plan was approved by the Planning Commission in November 2003, and the Metro Council in January 2004. The approved PUD included 34 single-family lots consisting of a mix of Charleston-style houses. Every lot was proposed to have either rear access or side access leading to a rear-located garage / carriage house. The plan includes a
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private street for ingress and egress from Forrest Park Drive. A condition of the approval of the PUD was that many of the existing trees on the site were to remain. A tree Maintenance Plan was subsequently adopted by the Planning Commission after many trees were removed during the initial installation of infrastructure.

The tree maintenance plan included the following steps:

- Re-establish the tree-save fencing on the designated trees to be preserved prior to the issuance of any building permit. The fencing shall be installed per Metro standards in the location designated as “construction phase tree protection fencing” on the final PUD plan. It shall be agreeable to leave an opening in the tree protection fencing to allow for continued maintenance of these areas.
- The Architectural Review Committee (ARC) as established by the covenants and restrictions shall serve in the role of interfacing with the homebuilders to communicate the requirements of the tree preservation maintenance program. When architectural plans are submitted to the ARC for lots containing preservation trees, the ARC shall have a certified arborist review the building plans and develop specific tree maintenance recommendations to be performed by the homebuilder. The arborist’s recommendations will then be incorporated as a part of the ARC’s plan approval for that particular lot. The homebuilder/lot owner would then contract with a certified arborist to have these measures implemented. The homeowner shall perform these measures in accordance with the approved tree preservation recommendations or the ARC shall implement their authority to have the measures performed in accordance with the provisions of the covenants and restrictions.
- Trees planted as a compensatory measure for displaced or damaged preservation trees shall be maintained by the developer’s property manager until such time that a homeowner purchases a lot containing such tree(s). The responsibility shall transfer to the homeowner at the juncture when a building plan application is filed with the ARC or



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when a period of two years expires from the time of planting for the replacement tree(s).

- If any Preservation or Replacement trees die, the tree shall be replaced with a tree of similar size up to a maximum of 6" caliper size within a period of 90 days. This time frame shall apply with the exception of times of the year when trees are not being dug due to drought or mid-winter conditions.

Variances

This plan also includes all of the variances that were originally approved by the Planning Commission and the Board of Zoning Appeals under BZA Case No. 2004-048. The Zoning Administrator has indicated that the variances within the PUD run with the land, not with the original lot layout. The variances that were granted were for: front setbacks, side setbacks, rear setbacks, perimeter lot size, maximum building coverage, buffer yard design requirements, height and setback requirements for perimeter walls and columns, and, allowable building height for accessory structures.

Council Conditions

The proposed revision will also be conditioned upon meeting the conditions included in the original Council Ordinance BL2003-91.

METRO PUBLIC WORKS RECOMMENDATION

No exception taken.

METRO FIRE MARSHAL RECOMMENDATION

Denied. We are not approving this project because of the low water pressure from the Fire Hydrants in that area.

Due to new information about this project it will be rejected. Fire Hydrant flow data shall be printed on the plans for the fire hydrant(s) used to protect new construction for this project.

- A fire hydrant shall be provided within 100' of the fire department connection.
- One & two family final plat plans must show results from fire hydrant(s) flow test, performed within 6 months with a minimum of 1000 gpm @ 20 psi available at hydrants, for buildings up to 3600sq. ft. to be approved for fire hydrant flow requirements. More than 50 ft (15 m) above grade



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and containing intermediate stories or balconies, Class I standpipe system shall be installed.

- Fire Hydrant flow data shall be printed on the plans for the fire hydrant(s) used to protect new construction for this project.
- A fire department access road shall extend to within 50 ft of at least one exterior door that can be opened from the outside and that provides access to the interior of the building.
- Fire department access roads shall be provided such that any portion of the facility or any portion of an exterior wall of the first story of the building is located not more than 150 ft (46 m) from fire department access roads.
- All dead end roads over 150 ft. in length require a 100 ft. diameter turnaround, this includes temporary turnarounds.
- Temporary T-type turnarounds that last no more than one year shall be approved by the Fire Marshal's Office.

STORMWATER RECOMMENDATION

Approved.

STAFF RECOMMENDATION

Staff recommends disapproval, however, if the Fire Marshal has approved the plan prior to the Planning Commission meeting, staff recommends approval with conditions.

CONDITIONS (if approved)

1. The Tree Maintenance Plan outlined above shall apply to all future construction activity. The mitigation and maintenance plan shall not void any previous conditions of approval not related to landscaping.
2. All conditions of Council Ordinance BL2003-91 are applicable and shall be enforced.
3. Prior to the issuance of any permits, confirmation of PUD final site plan approval of this proposal shall be forwarded to the Planning Commission by the Stormwater Management division of Water Services.
4. Prior to the issuance of any permits, confirmation of PUD final site plan approval of this proposal shall



Metro Planning Commission Meeting of 11/13/08

be forwarded to the Planning Commission by the Traffic Engineering Sections of the Metro Department of Public Works for all improvements within public rights of way.

5. This approval does not include any signs. Signs in planned unit developments must be approved by the Metro Department of Codes Administration except in specific instances when the Metro Council directs the Metro Planning Commission to review such signs.
6. The requirements of the Metro Fire Marshal's Office for emergency vehicle access and adequate water supply for fire protection must be met prior to the issuance of any building permits.
7. Authorization for the issuance of permit applications will not be forwarded to the Department of Codes Administration until four additional copies of the approved plans have been submitted to the Metro Planning Commission.
8. The PUD final site plan as approved by the Planning Commission will be used by the Department of Codes Administration to determine compliance, both in the issuance of permits for construction and field inspection. Significant deviation from these plans may require reapproval by the Planning Commission and/or Metro Council.
9. A corrected copy of the PUD final site plan incorporating the conditions of approval by the Planning Commission shall be provided to the Planning Department prior to the issuance of any permit for this property, and in any event no later than 120 days after the date of conditional approval by the Planning Commission. Failure to submit a corrected copy of the final PUD site plan within 120 days will void the Commission's approval and require resubmission of the plan to the Planning Commission.