

JOHN COOPER  
MAYOR



**METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY**

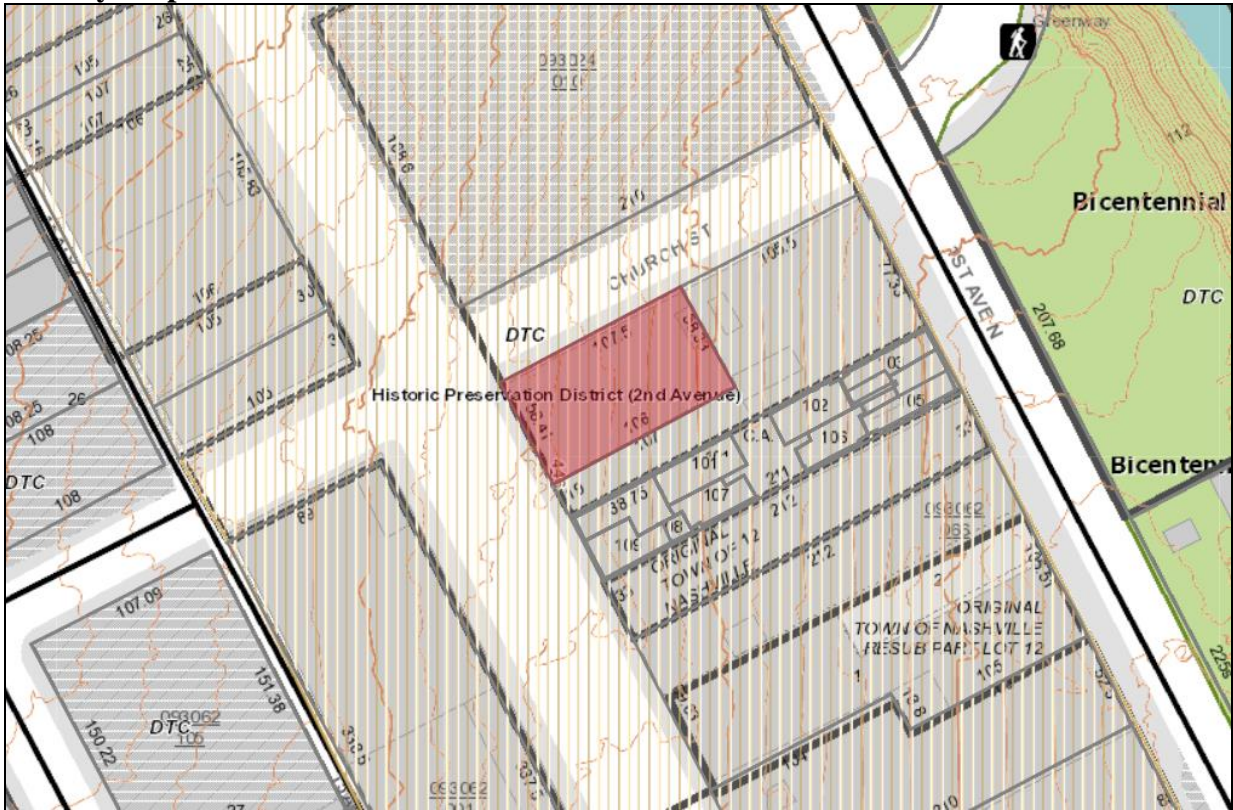
Metropolitan Historic Zoning Commission  
Sunnyside in Sevier Park  
3000 Granny White Pike  
Nashville, Tennessee 37204  
Telephone: (615) 862-7970

**STAFF RECOMMENDATION**  
**107 Church Street**  
**December 16, 2020**

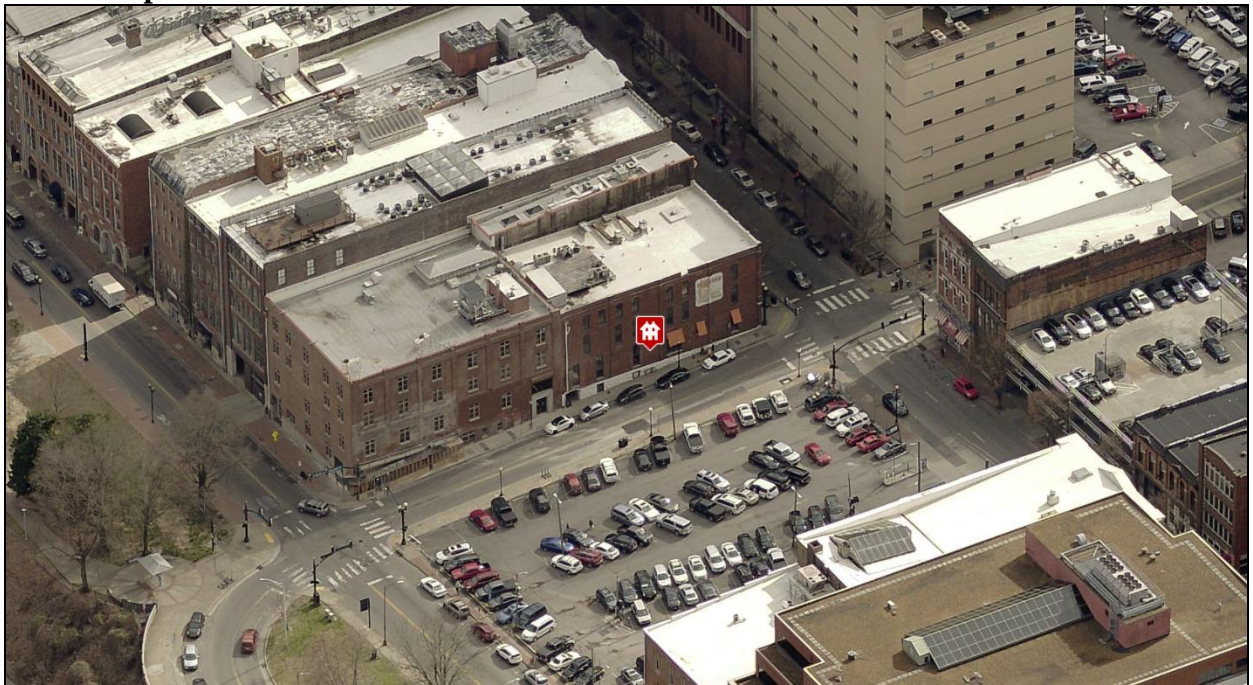
**Application:** Paint and Signage  
**District:** Second Avenue Historic Preservation Zoning Overlay  
**Council District:** 19  
**Base Zoning:** DTC  
**Map and Parcel Number:** 09302401500  
**Applicant:** Michael Durham, Bozman Sign Company Inc.  
**Project Lead:** Melissa Sajid, [Melissa.sajid@nashville.gov](mailto:Melissa.sajid@nashville.gov)

<p><b>Description of Project:</b> Application is for a painted sign on the Church Street façade.</p> <p><b>Recommendation Summary:</b> Staff recommends approval of the painted signage with the condition that it not include metallic, fluorescent and day-glow paints and with the understanding that the building has maxed out its painted signage allotment. With these conditions, Staff finds that the project meets Section IV. <i>Signage</i> of the design guidelines for the Second Avenue Historic Preservation Zoning Overlay.</p>	<p><b>Attachments</b> <b>A:</b> Sign plans</p>
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**Vicinity Map:**



**Aerial Map:**



## **Applicable Design Guidelines:**

### **II. Rehabilitation**

#### **PAINT**

##### **General Principle**

The painting of wood and metal surfaces is not reviewed by the MHZC. The painting and staining of masonry (brick and stone) are reviewed by the MHZC. Unless needed to cover mismatched or damaged masonry, or as a preservation measure for pitted brick, masonry not previously painted or stained should remain unpainted and unstained.

##### **M. Guidelines: Paint**

1. Building owners are encouraged to remove paint from masonry. Gentle, non-abrasive chemical cleaning is an appropriate way to remove paint.
2. Painting of stone and brick is generally not appropriate.
3. Staining of masonry may be appropriate if: brick has previously been painted; or if brick has been sandblasted or otherwise damaged and is too deteriorated to withstand weather. A brick color approximating the original color of the building's brick should be used.
4. Historic painted signage on exterior brick walls should be maintained.
5. Brick sealers are not recommended for exterior brick as it may cause damage to the brick face over time.

### **IV. SIGNAGE**

#### **Painted Signs**

All painting of masonry, whether for signage, to change the color of the building, or for artwork shall be reviewed by the MHZC. (Please see section on "walls" for guidance on painting a masonry building.)

Painted signage may be considered by the MHZC as modification, based on the following design criteria:

- Should only be added to rear elevations or exposed upper secondary elevations and should not cover transoms, columns, cornices, decorative elements, openings and architectural features or require the enclosure of openings.
- Painted on main facades or the first level of buildings are not appropriate.
- Generally, a painted sign should not be more than 125 square feet in size.
- Painted signs should serve as a sign for the current occupant(s) and should not advertise off-site businesses or products.
- Generally, painted signage should not have lighting; however, if lighting is necessary, it should be between one and two gooseneck lights or another type of light that can be hidden by an architectural feature. Metallic, fluorescent and day-glow paints are not appropriate.

**Background:** The building located at 107 Church Street is a three-story commercial building that was constructed c. 1890 and contributes to the historic character of the Second Avenue Historic Preservation Zoning Overlay. The building is located at the southeast corner of the intersection of Second Avenue North and Church Street (Figure 1). The historic building includes two businesses – 184 2<sup>nd</sup> Avenue N (Hooter’s) and 107 Church Street (Beer Sellar).



Figure 1. 184 2<sup>nd</sup> Avenue N/107 Church Street, March 2019.

**Analysis and Findings:** The request is to install a painted sign on the Church Street façade of the building (Figure 2).

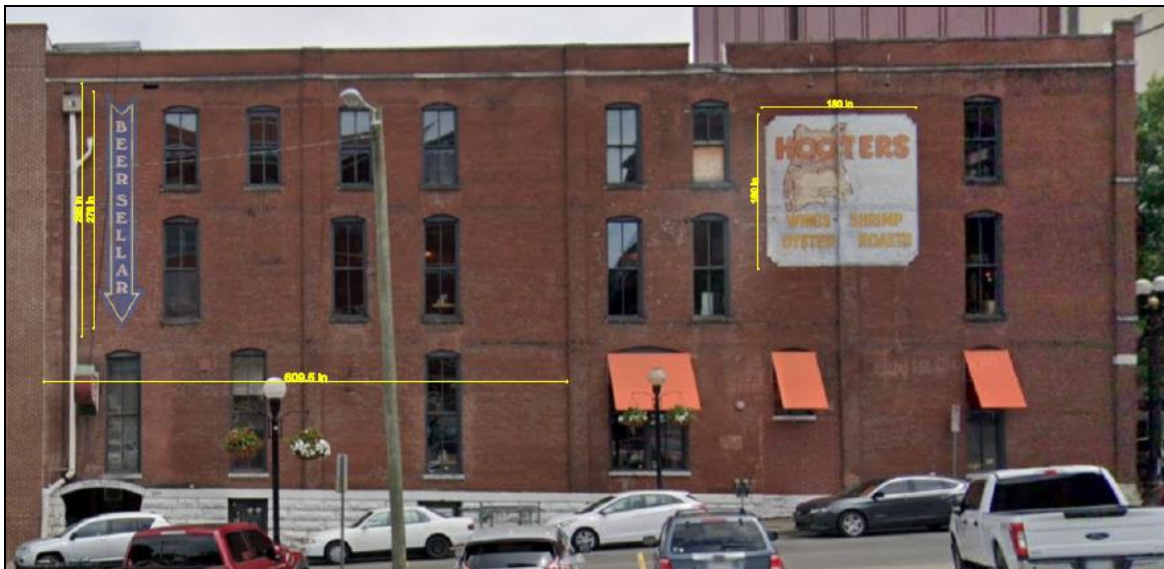


Figure 2. Proposed painted sign on the left and existing painted sign on the right.

Allotment: Per the design guidelines, “a painted sign should not be more than 125 sq. ft. in size.” The Commission has interpreted this as the maximum allotment of painted signage for the building. There is an existing painted sign on the Church Avenue façade that is two hundred twenty-five square feet (225 sq. ft.). This application proposes to add a second painted sign that is one hundred fifteen square feet (115 sq. ft.). Signage allotment is determined based on the building and not the number of businesses. Although Beer Sellar has a Church Street address, it is the same building as 184 2<sup>nd</sup> Ave N.

The existing signage at Hooters pre-dates the establishment of the overlay and was likely installed in 1994 when the projecting sign on Second Avenue was first approved. Although technically not yet considered historic, the existing painted sign is the only painted sign in the Second Avenue Overlay that is not historic. In the nearby Broadway Historic Preservation Zoning Overlay, additional allotment has been allowed when a historic sign has been kept, even if the signage exceeded the limits. Since the proposed signage is minimal; the existing sign is an established sign in the district being approximately twenty-five (25) years old and predating the overlay; and there are no other non-historic existing painted signs in the district to set a precedent; staff finds the proposed painted sign to be appropriate with the understanding that the building has met its allotment for painted signage.

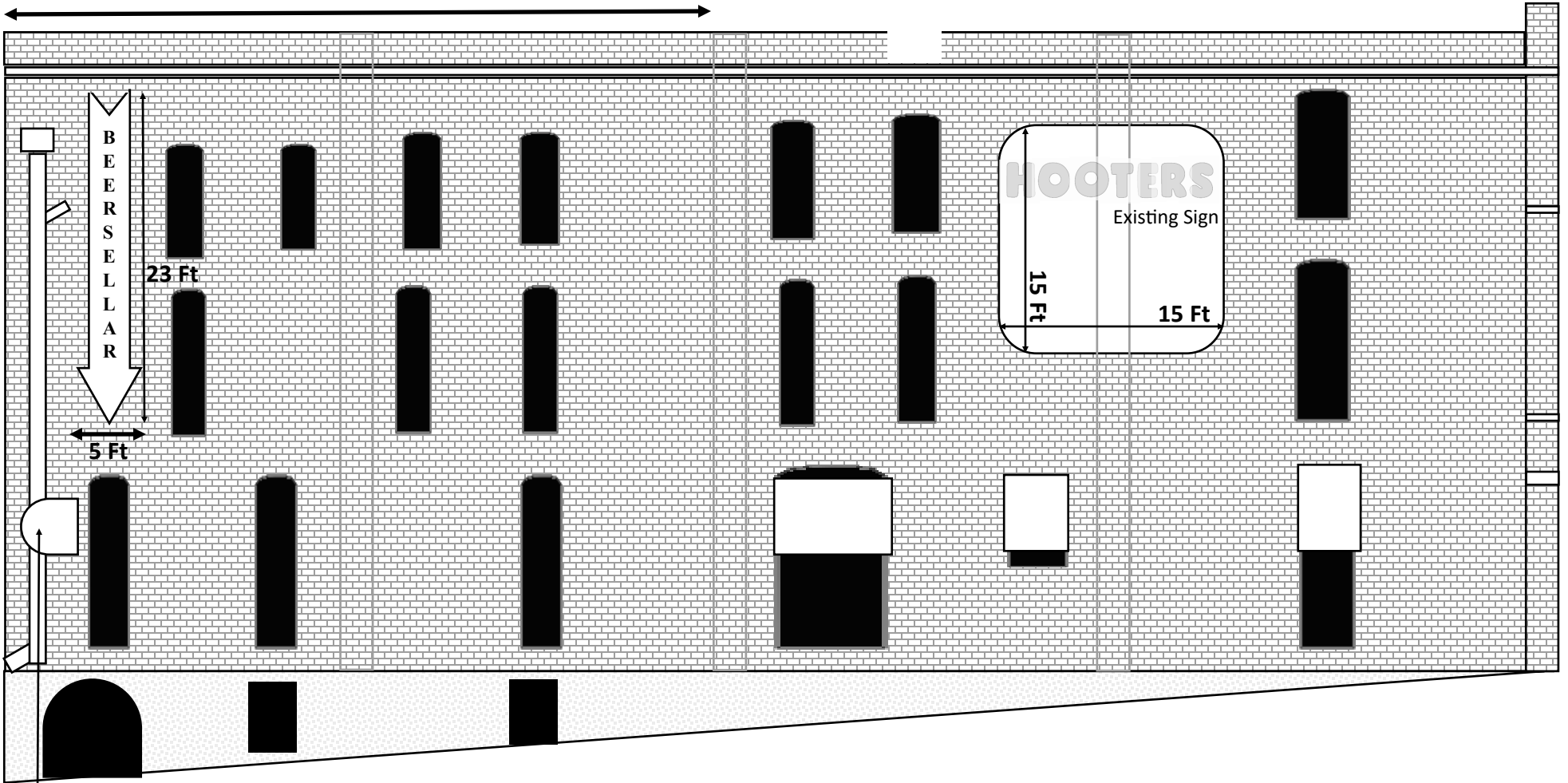
Location: The proposed painted sign would be located on the Church Street façade above the second story windowsills and would be vertically oriented to highlight the entrance for the business at 107 Church Street. The location above the second story windowsills meets the design guidelines.

Materials & Design Standards: The signage does not advertise an off-site business. No lighting is proposed. Staff recommends that the paint not include metallic, fluorescent and day-glow paints.

**Recommendation:** Staff recommends approval of the painted signage with the condition that it not include metallic, fluorescent and day-glow paints and with the understanding that the building has maxed out the painted signage allotment. With these conditions, Staff finds that the project meets Section IV. *Signage* of the design guidelines for the Second Avenue Historic Preservation Zoning Overlay.

107.5 Ft

50.79 Ft



29SqFt Existing Projecting Sign

Beer Sellar  
Job NO.

paint a sign  
on a historic building

Font: Windsor 1905



862 Easthagan Drive  
Nashville, TN 37217  
615.331.0805  
www.bozmansigns.com



DATE:  
11-17-20

CONTACT:  
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DESIGN BY:  
T. Word

FILE NAME  
beer sellar/building  
facade

- Concept
- Preliminary
- Production



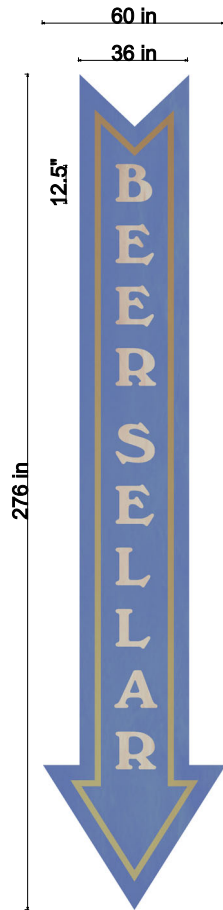
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