

D O C K E T

12/20/2018

1:00 P.M.

**METROPOLITAN BOARD OF ZONING APPEALS
P O BOX 196300
METRO OFFICE BUILDING
NASHVILLE, TENNESSEE 37219-6300**

**Meetings held in the Sonny West Conference Center
Howard Office Building, 700 2nd Avenue South**

**MS. CYNTHIA CHAPPELL
MR. DAVID EWING, Chairman
MR. DAVID HARPER
MS. CHRISTINA KARPYNEC
MR. ROSS PEPPER
MS. ALMA SANFORD
MR. DAVID TAYLOR, Vice-Chair**

CASE 2018-522 (Council District - 17)

THE MC2 GROUP, INC, appellant and **THE MC2 GROUP, INC**, owner of the property located at **1704 CARVELL AVE**, requesting a variance to allow front loading garage in the R6-A District, to construct a single-family residence with front loading garage. Referred to the Board under Section 17.12.020 A. The appellant has alleged the Board would have jurisdiction under Section 17.40.180(B).

Use-Single Family

Map Parcel 10511019200

RESULTS

CASE 2018-566 (Council District - 19)

15TH & CHURCH EQUITY INVESTORS, appellant and **15TH AND CHURCH EQUITY INVESTORS, LLC**, owner of the property located at **1506 CHURCH ST# 100**, requesting a variance from parking requirements in the MUI-A District, to construct condominiums. Referred to the Board under Section 17.20.030. The appellant has alleged the Board would have jurisdiction under Section 17.40.180(B).

Use-MULTI-USE

Map Parcel 09212034000

RESULTS

CASE 2018-594 (Council District - 12)

ALEX STEVENSON, appellant and **BRUCE, DONALD & JOY**, owner of the property located at **112 AARONS CRESS BLVD**, requesting a variance from setback requirements in the Cluster Lot RS7.5 District, to construct a roof over a patio. Referred to the Board under Section 17.12.020 A. The appellant has alleged the Board would have jurisdiction under Section 17.40.180(B).

Use-Single Family

Map Parcel 087100A00400CO

RESULTS

CASE 2018-628 (Council District - 2)

NICK COLEMAN, appellant and **L & D HOSPITALITY, LLC**, owner of the property located at **410 DOMINICAN DR**, requesting variances from the 0-15' build to zone and landscape buffer requirements in the MUG-A District, to construct a hotel. Referred to the Board under Section 17.24.230, 17.12.020 (D). The appellant has alleged the Board would have jurisdiction under Section 17.40.180(B).

Use-Hotel

Map Parcel 08104020600

RESULTS

CASE 2018-644 (Council District - 17)

DEVAN McCLISH, appellant and **HOPP, STANLEY G.**, owner of the property located at **1044 A & B 2ND AVE S**, requesting variances from front and rear setbacks for two residential units in the R6 District, to permit two already constructed houses. Referred to the Board under Section 17.12.020. The appellant has alleged the Board would have jurisdiction under Section 17.40.180(B).

Use-Two-Single Family

Map Parcel 093150D00100CO

RESULTS

Map Parcel 093150D00200CO

CASE 2018-645 (Council District - 5)

ROERT BUTLER, appellant and **E TRINITY LN PROJECTS LLC**, owner of the property located at **935 E TRINITY LN**, requesting a variance from sidewalk requirements in the IR District, to renovate existing office space without building sidewalks or paying in the sidewalk fund. Referred to the Board under Section 17.20.120. The appellant has alleged the Board would have jurisdiction under Section 17.40.180(B).

Use-Office

Map Parcel 07205004000

RESULTS

CASE 2018-676 (Council District - 26)

BEN BUCHANAN, appellant and **CASTEEL, DANIEL W. & NANETTE A. & REBECCA**, owner of the property located at **402 RITCHIE DR**, requesting variances from side and rear setbacks in the RS20 District, to construct a detached garage. Referred to the Board under Section 17.12.020 a. The appellant has alleged the Board would have jurisdiction under Section 17.40.180(B).

Use-Single Family

Map Parcel 16004009700

RESULTS

CASE 2018-700 (Council District - 5)

MELISSA CHAMBERS, appellant and **CHAMBERS, AARON & MELISSA**, owner of the property located at **1219 N 7TH ST**, requesting a variance from sidewalk requirements in the SP District, to construct a single-family residence without building sidewalks. Referred to the Board under Section 17.20.120. The appellant has alleged the Board would have jurisdiction under Section 17.40.180(B).

Use-Single Family

Map Parcel 07116025100

RESULTS

CASE 2018-706 (Council District - 2)

DANIEL KENDRICK, appellant and **O.I.C. GOFF STREET RESIDENCES I**, owner of the property located at **842 B GOFF ST**, requesting a variance from sidewalk requirements in the R6 District, to construct two new single family units and only construct sidewalks along Goff St. Referred to the Board under Section 17.20.120. The appellant has alleged the Board would have jurisdiction under Section 17.40.180(B).

Use-Two-Family

Map Parcel 081072K90000CO

RESULTS

CASE 2018-707 (Council District - 6)

THOMAS McCULLOUGH, appellant and **GATES, SHARON I.**, owner of the property located at **611 ROSEBANK AVE**, requesting a variance from setback requirements in the R10 District, to construct a front porch. Referred to the Board under Section 17.12.030 C3. The appellant has alleged the Board would have jurisdiction under Section 17.40.180(B).

Use-Single Family

Map Parcel 08308014900

RESULTS

CASE 2018-709 (Council District - 17)

DAVID POWELL HASTINGS, appellant and **RED HORSE DEVCO., LLC**, owner of the property located at **461 HUMPHREYS ST**, requesting a variance from parking requirements in the MUL-A & CS District, to construct a mixed-use development to consist of a congregate living facility to include 152 sleeping units as well as 1405 square feet of commercial space. Referred to the Board under Section 17.20.030. The appellant has alleged the Board would have jurisdiction under Section 17.40.180(B).

Use-Proposed Commercial Use

Map Parcel 10507005300

RESULTS

CASE 2018-710 (Council District - 30)

MATTHEW LEVI COLLINS, appellant and **O.I.C. HOMES AT 322 DADE DRIVE**, owner of the property located at **324 B DADE DR**, requesting a variance from sidewalk requirements in the R10 District, to construct a single family residence without building sidewalks or paying into the sidewalk fund. Referred to the Board under Section 17.12.120. The appellant has alleged the Board would have jurisdiction under Section 17.40.180(B).

Use-Single Family

Map Parcel 148050C90000CO

RESULTS

CASE 2018-711 (Council District - 14)

TERRI LASOFF, appellant and **NATIONAL RETAIL PROPERTIES, INC.**, owner of the property located at **4809 OLD HICKORY BLVD**, requesting a variance from sidewalk requirements in the CL District, to renovate an existing bank without building sidewalks. Referred to the Board under Section 17.12.120. The appellant has alleged the Board would have jurisdiction under Section 17.40.180(B).

Use-Financial Institution

Map Parcel 07509026700

RESULTS

CASE 2018-713 (Council District - 5)

TRACEY COLLINS, appellant and **COLLINS, TRACEY**, owner of the property located at **305 HANCOCK ST**, requesting a variance from height restrictions in the SP District, to construct a detached dwelling unit 25' in height. Referred to the Board under Section 17.16.030 G 7 D. The appellant has alleged the Board would have jurisdiction under Section 17.40.180(B).

Use-Single Family

Map Parcel 08207017400

RESULTS

CASE 2018-715 (Council District - 20)

ROGERS GROUP INC., appellant and **ROGERS GROUP, INC.**, owner of the property located at **7177 COCKRILL BEND BLVD**, requesting a special exception in the IR District, to perform mineral extraction. Referred to the Board under Section 17.16.230 B. The appellant has alleged the Board would have jurisdiction under Section 17.40.180(B).

Use-Commercial

Map Parcel 09000000700

RESULTS

CASE 2018-716 (Council District - 19)

DUANE CUTHBERTSON, appellant and **BUILD NASHVILLE, LLC**, owner of the property located at **1006 11TH AVE N**, requesting a variance from sidewalk requirements in the RS3.75 District, to construct a single-family unit without building sidewalks or paying into the sidewalk fund. Referred to the Board under Section 17.20.120. The appellant has alleged the Board would have jurisdiction under Section 17.40.180(B).

Use-Single Family

Map Parcel 08116060200

RESULTS

CASE 2018-717 (Council District - 10)

SCOTT DENSON, appellant and **SSC RIVERGATE, LLC**, owner of the property located at **1905 GALLATIN PIKE N**, requesting a variance from the number of ground signs allowed in the CS District, to install a second ground sign. Referred to the Board under Section 17.32.130. The appellant has alleged the Board would have jurisdiction under Section 17.40.180(B).

Use-Medical Office

Map Parcel 03402010600

RESULTS

CASE 2018-718 (Council District - 10)

CHICK-FIL-A, INC., appellant and **KDI RIVERGATE MALL, LLC**, owner of the property located at **2000 GALLATIN PIKE N**, requesting a variance from sidewalk requirements in the SCR District, to make renovations to existing restaurant without building sidewalks or paying into the sidewalk fund. Referred to the Board under Section 17.12.120. The appellant has alleged the Board would have jurisdiction under Section 17.40.180(B).

Use-Restaurant

Map Parcel 02614004800

RESULTS

CASE 2018-719 (Council District - 24)

FREDERICK STEVENHAGEN, appellant and **STEVENHAGEN, FREDERICK BONHAM & CARRIE ENGLAND**, owner of the property located at **725 PARK CIR**, requesting a variance from sidewalk requirements in the R6 District, to construct a single family residence without building sidewalks or paying into the sidewalk fund. Referred to the Board under Section 17.20.120. The appellant has alleged the Board would have jurisdiction under Section 17.40.180(B).

Use-Single Family

Map Parcel 10402000300

RESULTS

CASE 2018-720 (Council District - 21)

JEREMY PAYTON, appellant and **BETTY, DOUG & LAURA**, owner of the property located at **802 28TH AVE N & 804 A 28th AVE N**, requesting a variance from sidewalk requirements in the RS5 District, to construct single family units without building sidewalks or paying into the sidewalk fund. Referred to the Board under Section 17.20.120. The appellant has alleged the Board would have jurisdiction under Section 17.40.180(B).

Use-Two-Family

Map Parcel 09206042400

RESULTS

Map Parcel 092060D00100CO

CASE 2018-721 (Council District - 21)

JEREMY PAYTON, appellant and **BETTY, DOUGLAS E. & LAURA R.**, owner of the property located at **806 28TH AVE N**, requesting variances from sidewalk and setback requirements in the RS5 District, to construct two single family units on each lot without building sidewalks. Referred to the Board under Section 17.12.120 and 17.20.120. The appellant has alleged the Board would have jurisdiction under Section 17.40.180(B).

Use-Single Family

Map Parcel 09206042200

RESULTS

CASE 2018-722 (Council District - 13)

PLEASANT HILL CHURCH OF CHRIST, appellant and **WALDEN, ROBERT & WEAVER, MILTON ETAL TRS**, owner of the property located at **3354 BELL RD**, requesting a variance from sidewalk requirements in the R15 District, to construct a new church without building sidewalks or paying into the sidewalk fund. Referred to the Board under Section 17.12.120. The appellant has alleged the Board would have jurisdiction under Section 17.40.180(B).

Use-Religious Institution

Map Parcel 10800014700

RESULTS

CASE 2018-723 (Council District - 24)

WORLD OF LIFE CHRISTIAN CENTER, appellant and **WORD OF LIFE CHRISTIAN CENTER, INC.**, owner of the property located at **4100 CLARKSVILLE PIKE**, requesting a variance from sidewalk requirements in the CS District, to construct an addition to a church without building sidewalks or paying into the sidewalk fund. Referred to the Board under Section 17.12.120. The appellant has alleged the Board would have jurisdiction under Section 17.40.180(B).

Use-Religious Institution

Map Parcel 05800018100

RESULTS

CASE 2018-724 (Council District - 7)

TRIPP SMITH, appellant and **MIDDLE TENNESSEE FOUNDATION HOLDINGS, LLC**, owner of the property located at **1600 RIVERSIDE DR**, requesting a variance from sidewalk requirements in the R6, R10, CL District, to renovate an existing building with an alternative sidewalk design. Referred to the Board under Section 17.20.120. The appellant has alleged the Board would have jurisdiction under Section 17.40.180(B).

Use- Commercial

Map Parcel 07215018800

RESULTS

CASE 2018-725 (Council District - 17)

JOSH HELLMER, appellant and **CAROTHERS, JOHN E. & GLADYS O. & KINNARD, TIMOTHY ETA**, owner of the property located at **45 WHARF AVE**, requesting variances from sidewalk and front setback requirements in the R6 District, to construct a single family unit without building sidewalks or paying into the sidewalk fund. Referred to the Board under Section 17.20.030 C. 3. and 17.20.120. The appellant has alleged the Board would have jurisdiction under Section 17.40.180(B).

Use-Single Family

Map Parcel 10503013100

RESULTS

CASE 2018-727 (Council District - 18)

WILLIAM HART, appellant and **2305 12 AVENUE SOUTH PARTNERS, LLC**, owner of the property located at **2305 12TH AVE S**, requesting a special exception from front setback requirements in the CS District, to construct a covered patio. Referred to the Board under Section 17.12.035 D.1. The appellant has alleged the Board would have jurisdiction under Section 17.40.180(B).

Use-Commercial

Map Parcel 10513009600

SHORT TERM RENTAL

CASE 2018-662 (Council District - 17)

COLLINS LEGAL, LLC, appellant and **TBC I, LLC**, owner of the property located at **1014B W GROVE AVE**, requesting an Item A appeal, challenging the zoning administrator's denial of a short term rental permit. Applicant operated prior to obtaining the legally required permit in the R8 District. Referred to the Board under Section 17.16.250 E. The appellant has alleged the Board would have jurisdiction under Section 17.40.180(A).

Use-Short Term Rental

Map Parcel 105090R00200CO

RESULTS

CASE 2018-666 (Council District - 20)

PATRICK THOMAS, appellant and **THOMAS, ALBERT P. IV & HELLSTERN, RONALD A.**, owner of the property located at **647 C JAMES AVE**, requesting an Item A appeal, challenging the zoning administrator's denial of a short-term rental permit. Applicant operated prior to obtaining the legally required permit in the R8 District. Referred to the Board under Section 17.16.250 E. The appellant has alleged the Board would have jurisdiction under Section 17.40.180(A).

Use-Short Term Rental

Map Parcel 090080K00100CO

RESULTS

CASE 2018-697 (Council District - 6)

AMY PICKARD, appellant and **PICKARD, AMY & MCSWAIN, BRANDON**, owner of the property located at **731 JOSEPH AVE**, requesting an Item A appeal, challenging the zoning administrator's denial of a short term rental permit. Applicant operated after the issued STRP permit was cancelled due to change of ownership in the RM20 District. Referred to the Board under Section 17.16.250 E. The appellant has alleged the Board would have jurisdiction under Section 17.40.180(A).

Use-Short Term Rental

Map Parcel 08207019200

RESULTS

CASE 2018-698 (Council District - 3)

ANTONISHA NEWMAN, appellant and **NEWMAN, ANTONISHA**, owner of the property located at **500 W VAILVIEW CT**, requesting an Item A appeal, challenging the zoning administrator's denial of a short term rental permit. Applicant operated prior to obtaining the legally required permit in the RS10 District. Referred to the Board under Section 17.16.250 E. The appellant has alleged the Board would have jurisdiction under Section 17.40.180(A).

Use-Short Term Rental

Map Parcel 050160A01100CO

RESULTS

CASE 2018-704 (Council District - 17)

ELDRIDGE, NATASHA, appellant and **ELDRIDGE, NATASHA**, owner of the property located at **1021 SUMMIT AVE**, requesting an Item A appeal, challenging the zoning administrator's denial of a short term rental permit. Applicant operated after the their short term rental permit was cancelled due to change of ownership in the R6-A District. Referred to the Board under Section 17.16.250 E. The appellant has alleged the Board would have jurisdiction under Section 17.40.180(A).

Use-Short Term Rental

Map Parcel 10505057500

RESULTS

CASE 2018-705 (Council District - 25)

RICHEY, LINDSLEY, appellant and **RICHEY, LINDSLEY**, owner of the property located at **3709 HILDALE DR**, requesting an Item A appeal, challenging the zoning administrator's denial of a short term rental permit. Applicant operated after the issued short term rental permit has expired in the RS-20 District. Referred to the Board under Section 17.16.250 E. The appellant has alleged the Board would have jurisdiction under Section 17.40.180(A).

Use-Short Term Rental

Map Parcel 11709002800

RESULTS

Metropolitan Board of Zoning Appeals

Metro Howard Building
800 Second Avenue South
Nashville, Tennessee 37210

METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY



Appellant: Rob Cushman

Date: 8-14-18

Property Owner: The MCA Group

Case #: 2018-522

Representative: Rob Cushman

Map & Parcel: 105-11-192

Council District 17

The undersigned hereby appeals from the decision of the Zoning Administrator, wherein a Zoning Permit/Certificate of Zoning Compliance was refused:

Purpose:

Requesting variance to allow front loading garage

Activity Type: New Construction - Single Family (HPR)

Location: 1704 Carvell Ave.

This property is in the RB-A Zone District, in accordance with plans, application and all data heretofore filed with the Zoning Administrator, all of which are attached and made a part of this appeal. Said Zoning Permit/Certificate of Zoning Compliance was denied for the reason:

Reason: Zoning does not allow front loading garages

Section(s): 17-12-020(A)

Based on powers and jurisdiction of the Board of Zoning Appeals as set out in Section 17.40.180 Subsection B Of the Metropolitan Zoning Ordinance, a Variance, Special Exception, or Modification to Non-Conforming uses or structures is here by requested in the above requirement as applied to this property.

The MCA Group, Inc.
Appellant Name (Please Print)

Rob Cushman
Representative Name (Please Print)

639 E Main St, Ste B202
Address

1019 Avery Trace Cir
Address

Hendersonville, TN 37075
City, State, Zip Code

Hendersonville, TN 37075
City, State, Zip Code

615-559-2212
Phone Number

615-559-2212
Phone Number

rob@stratosdevelopment.com
Email

rob@stratosdevelopment.com
Email

Appeal Fee: \$100.00



**Metropolitan Government
of Nashville and Davidson County, Tennessee
Department of Codes and Building Safety
800 Second Avenue South, Nashville, TN 37210**



3545850

ZONING BOARD APPEAL / CAAZ - 20180048569
Inspection Checklist for Use and Occupancy
This is not a Use and Occupancy Notification

PARCEL: 10511019200**APPLICATION DATE:** 08/14/2018**SITE ADDRESS:**

1704 CARVELL AVE NASHVILLE, TN 37203
W SIDE CARVELL AVE S OF SOUTHGATE AVE.

PARCEL OWNER: THE MC2 GROUP, INC**CONTRACTOR:****APPLICANT:****PURPOSE:**

requesting variance to allow front loading garage

*Before a Use and Occupancy Letter can be issued for this project, the following approvals are required.
Inspections Foundation = before concrete poured, Framing = before covering wall and after rough-in inspections.*

There are currently no required inspections

Inspection requirements may change due to changes during construction.

In simple terms, for the Board to grant you a variance in the zoning ordinance, you must convey to the Board what your hardship is. Hardships are narrowness, shallowness, irregular shape, and topography of property. The Board can also consider other practical difficulties such as mature trees, easements, and location of disposal systems which can affect your plan. Consideration can be given to the characteristics of the neighborhood and the way it is developed. One or more of these conditions **MUST** affect your inability to build or occupy the property to prove your case.

At the public hearing, please be prepared to tell the Board what your hardship is, why you can not build in accordance with zoning without requesting a variance and why you feel you have a legitimate hardship.

The Board can not grant a variance based solely on an inconvenience to the applicant nor solely on a financial consideration. It is incumbent on you as the appellant to complete this form by conveying a **HARDSHIP** as outlined. At the meeting it is important that you explain this hardship as effectively as possible.

WHAT SPECIFIC AND UNIQUE CIRCUMSTANCES (HARDSHIP) EXIST THAT WOULD AUTHORIZE THE CONSIDERATION OF THE BOARD UNDER THE REVIEW STANDARDS AS OUTLINED?

This lot is exceptionally shallow making side or rear entry garage very difficult. Also the topography of the lot makes rear load garage detrimental to height and impervious surfaces.

The lot slopes steeply from the street to the rear of the property, making front load garages more usable.

The other hardships include dedication of ROW to widen the street in the future, sewer easement in the rear of the property making parking in the rear more difficult in the future, and requirement for the appellant to replace the entire water main (1000') down Carvell Ave.

APPLICATIONS FOR VARIANCE REQUESTS

After your appeal is filed, Zoning staff will visit the site to take photographs for the Board members so that they will have a better idea of the nature of your request. Zoning staff will notify the district council member of the hearing. You will be responsible for preparing the envelopes and notices for mailing to the owners of property within 600 feet of the property at issue in this case. The envelopes must include the return address for the BZA and the case number. Fold and insert the notices into envelopes, seal the envelopes, and apply first class postage. These neighbor notices must be delivered to Zoning staff at least twenty-three (23) days before the public hearing. Additionally, you will be responsible for purchasing, posting, and removing the red Zoning Appeal signs for the subject property. (See attached Metro Code of Laws requirements regarding sign placement.)

The day of the public hearing, it will be your responsibility to convey to the Board the nature of the hardship in your request that makes it difficult/impossible for you to comply with the Zoning Code. It would be to your benefit to let your neighbors know about your request prior to all notices being sent to them from our office.

Any party can appeal the Board's decision to Chancery or Circuit Court within sixty (60) days from the date the order in the case is entered. Should your request be granted, we would remind you that it is your responsibility to obtain the permit for which you have applied. You should also be aware that you have two (2) years to obtain the permit or you would have to re-file your request with the Board.

Once your request is filed, the staff will review your request to verify that the submittal is complete. Incomplete submittals will not be scheduled for a hearing until complete.

Any correspondence to the Board must be submitted to our office by noon, the Monday prior to the public hearing to be included in the record. You must provide eight (8) copies of your information to staff..

We hope that this information will be of help to you in understanding the variance procedure and if our office can be of further assistance, please do not hesitate to contact us.

METROPOLITAN BOARD OF ZONING APPEALS (615) 862-6530

I am aware that I am responsible for posting and also removing the sign(s) after the public hearing.

Robert A. [Signature]
APPELLANT

8-14-18
DATE

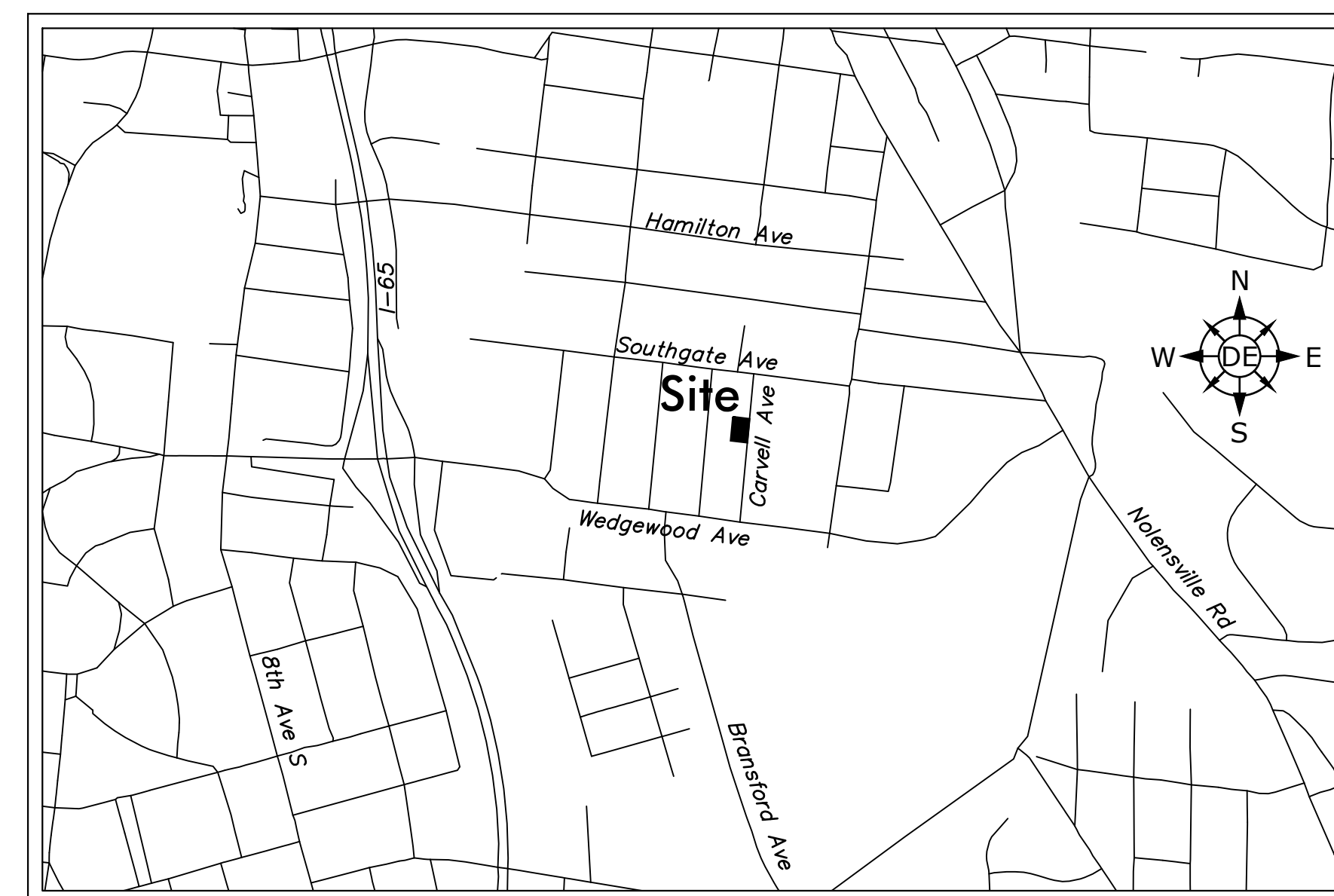
1704 Carvell Ave

Being Parcel 192 on Tax Map 105-11
Nashville, Davidson County, Tennessee

Revisions:

Drawing Notes:

Date: July 27, 2018



Vicinity Map
N.T.S.

Engineer
Dewey Engineering
Contact: Michael Dewey, PE
2925 Berry Hill Drive
Nashville, TN 37204
Phone: (615) 401-9956

Flood Note
This Property is Not Located
Within a Flood Hazard Area as
Designated by "Zone X" on Firm
Panel #47037C0244H.
Dated April 5, 2017.

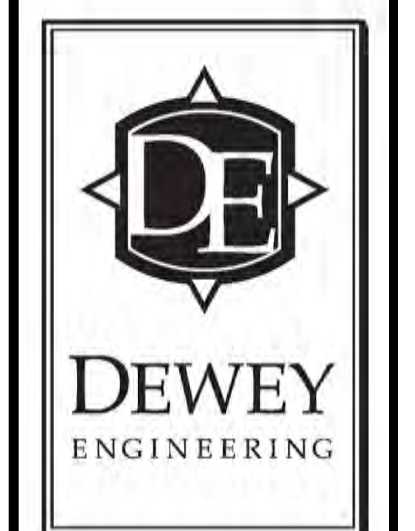
Owner
The MC2 Group, Inc
639 E Main St
Hendersonville, TN 37075

Site Benchmark
Water Meter Lid Located
Approximately 32 ft South of the
Northeast Corner of the Site
NAVD88 Elev. = 493.73

Sheet Schedule

1	C0.0	Cover Sheet
2	C1.0	Existing Conditions and Erosion Control Plan
3	C2.0	Layout and Utilities Plan
4	C3.0	Grading & Drainage Plan
5	C4.0	Details
6	L1.0	Landscape Plan

1704 Carvell Ave
Tax Map 105-11, Parcel 192
Nashville, Davidson County, Tennessee

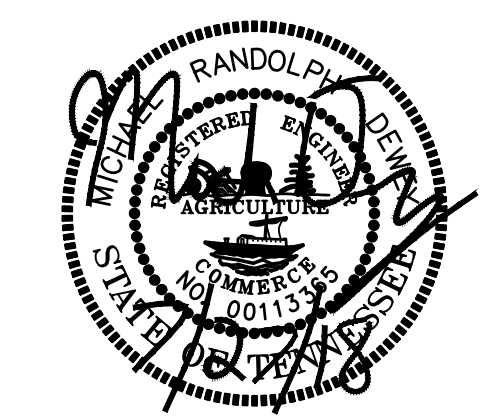
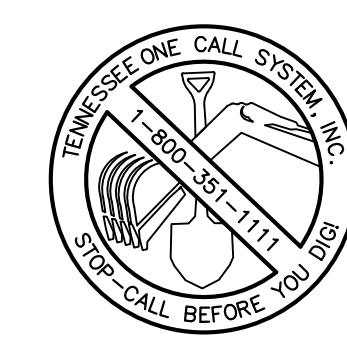


Cover Sheet

Job No. 17037

C0.0

1 of 6

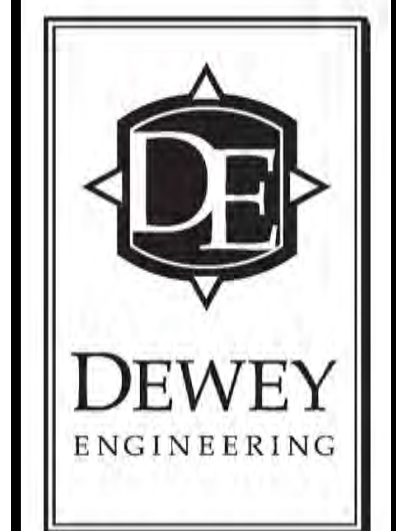


Revisions:

Drawing Notes:

Date: July 27, 2018

1704 Carvell Ave
Tax Map 105-11, Parcel 192
Nashville, Davidson County, Tennessee

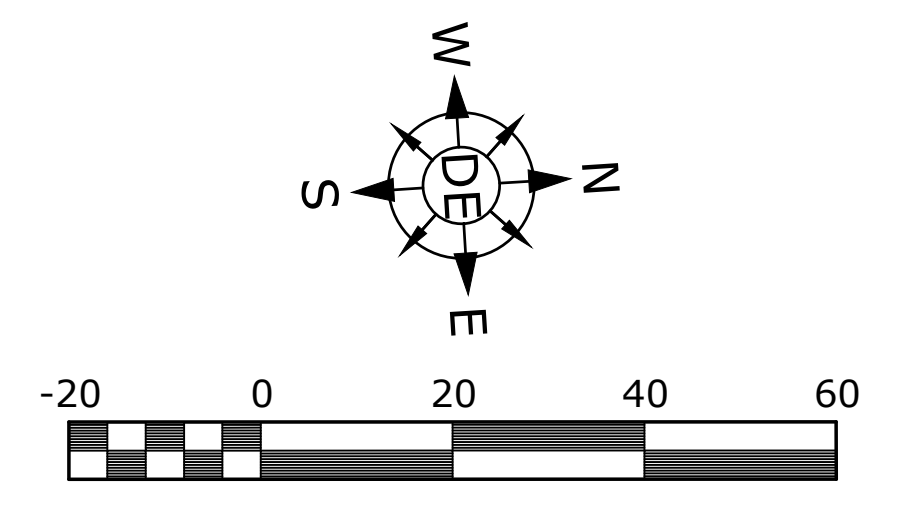


Existing Conditions & Initial Erosion Control Plan

Job No. 17037

C1.0

2 of 6



Engineer
Dewey Engineering
Contact: Michael Dewey, PE
2925 Berry Hill Drive
Nashville, TN 37204
Phone: (615) 401-9956

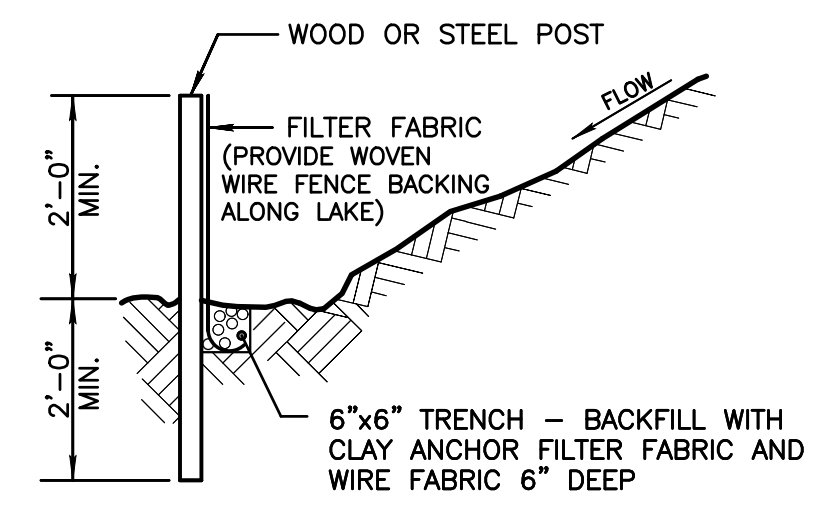
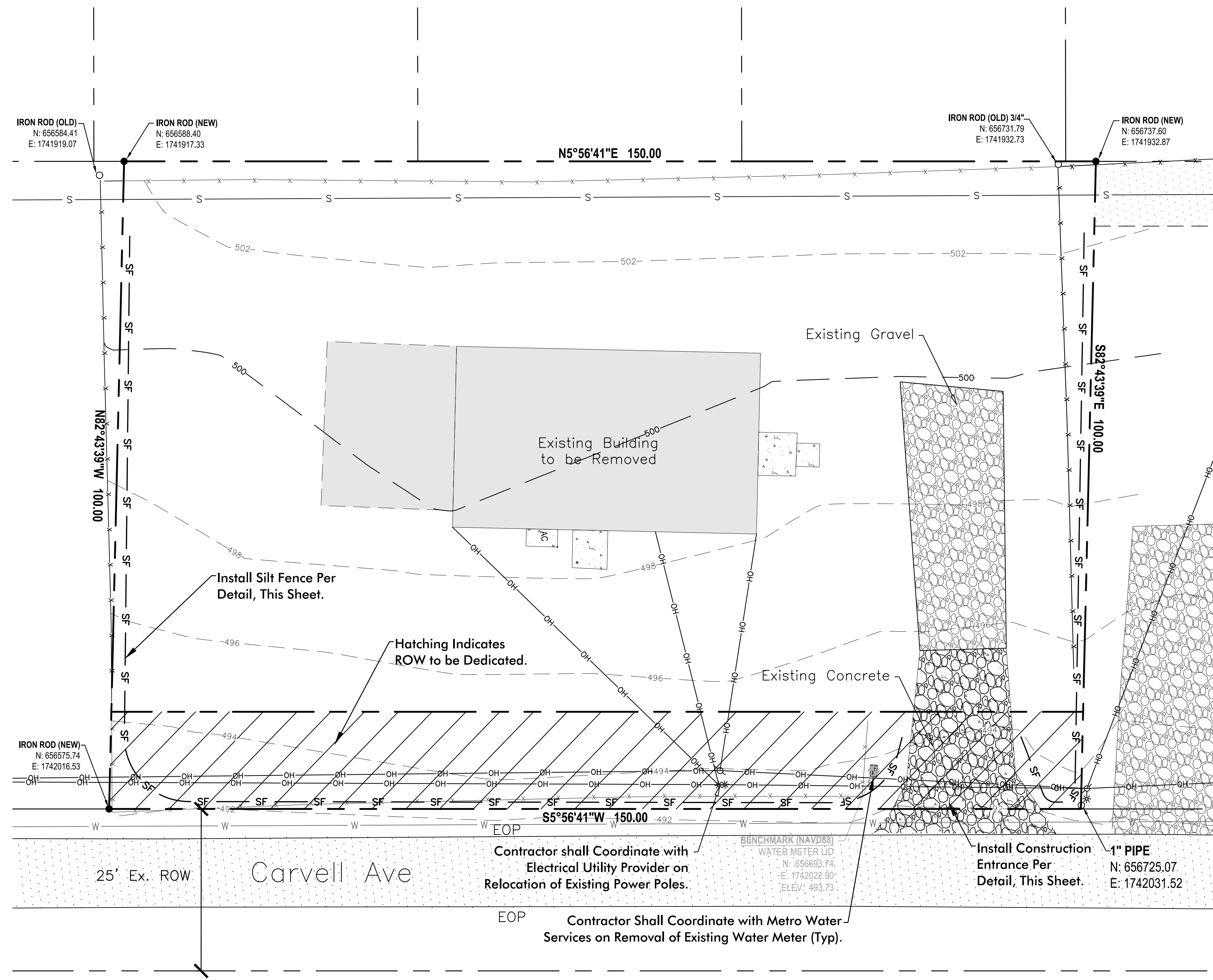
Owner
The MC2 Group, Inc
639 E Main St
Hendersonville, TN 37075

Flood Note
This Property is Not Located Within a Flood Hazard Area as Designated by "Zone X" on Firm Panel #47037C0244H. Dated April 5, 2017.

Site Benchmark
Water Meter Lid Located Approximately 32' South of the Northeast Corner of the Site NAVD88 Elev. = 493.73

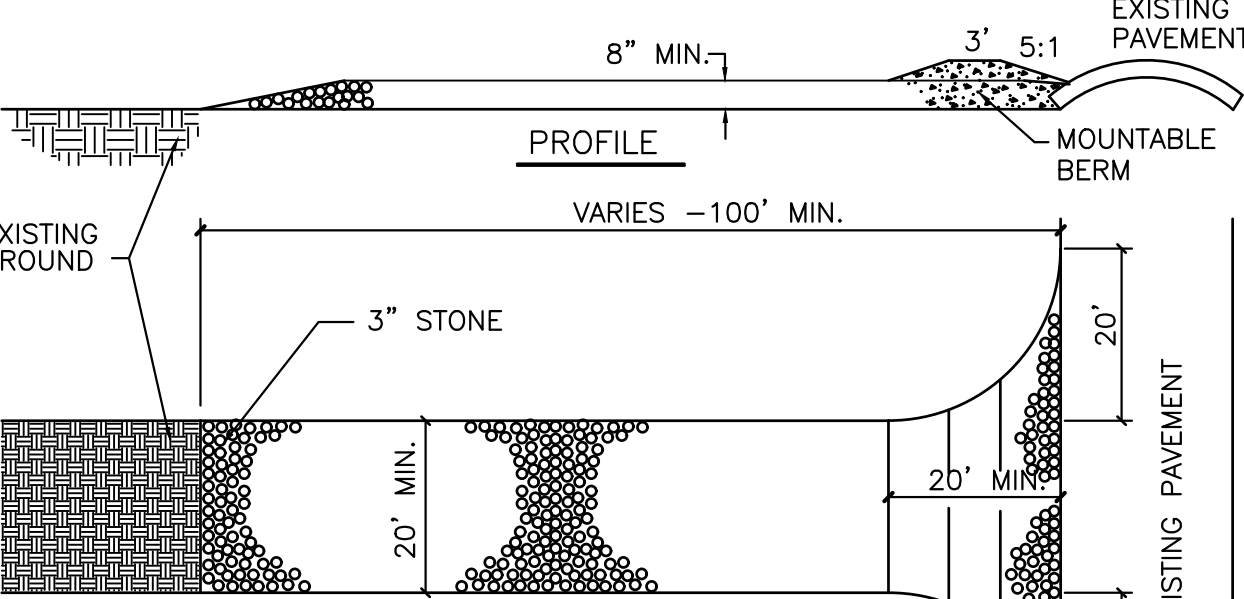
Erosion Control & Grading Notes:

- 1. ALL PERIMETER EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO THE COMMENCEMENT OF GRADING.
- 2. EXPOSE AS SMALL AN AREA OF SOIL AS POSSIBLE ON THE SITE FOR NO MORE THAN 15 DAYS. KEEP DUST WITHIN TOLERABLE LIMITS BY SPRINKLING OR OTHER ACCEPTABLE MEANS.
- 3. ALL CUT/FILL AREAS TO HAVE A MINIMUM OF 6" OF TOPSOIL COVER. AREAS DRESSED WITH TOPSOIL SHALL RECEIVE 12 POUNDS PER 1000 SQUARE FEET OF 6-12-12 FERTILIZER (UNLESS OTHERWISE SPECIFIED IN WRITTEN SPECIFICATIONS), 5 POUNDS OR MORE OF KENTUCKY 31 FESCUE SEED PER 1000 SQUARE FEET, AND A STRAW MULCH OF 70%-80% COVERAGE (APPROXIMATELY 125 POUNDS PER 1000 SQUARE FEET), UNLESS OTHERWISE NOTED.
- 4. EROSION CONTROL BARRIER IS CALLED OUT ON THE PLANS AND IS TO COMPLY WITH THE METROPOLITAN STORMWATER MANAGEMENT MANUAL VOLUME FOUR, SECTION TCP-14.
- 5. DISTURBED AREAS ARE TO BE GRADED TO DRAIN AS INDICATED IN THE PLAN TO SEDIMENT BARRIERS DURING AND UPON THE COMPLETION OF CONSTRUCTION.
- 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE VERIFICATION AND THE LOCATION OF ANY EXISTING UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO AVOID DAMAGE TO ALL EXISTING UTILITIES DURING CONSTRUCTION. IF DAMAGE DOES OCCUR TO ANY SUCH INSTALLATION, FULL REPAIR WILL BE ACCOMPLISHED AS PER THE CURRENT SPECIFICATION GOVERNING SUCH WORK.
- 7. ANY ACCESS ROUTES TO THE SITE SHALL BE BASED WITH CRUSHED STONE, ASTM #1 STONE, 100 FEET LONG AND AT LEAST 8" THICK.
- 8. THE PLACING AND SPREADING OF ANY FILL MATERIAL IS TO BE STARTED AT THE LOWEST POINT AND BROUGHT UP IN HORIZONTAL LAYERS OF 8" THICKNESS (OR AS DIRECTED BY THE SOILS INVESTIGATIVE REPORT). SAID FILL MATERIAL IS TO BE FREE OF SOD, ROOTS, FROZEN SOILS, OR ANY OTHER DECOMPOSABLE MATERIAL. SAID FILL IS TO BE COMPACTED TO A MINIMUM OF 95% STANDARD PROCTOR, OR AS OTHERWISE SPECIFIED BY THE SOILS REPORT OR WRITTEN SPECIFICATIONS.
- 9. THE CONTRACTOR SHALL OBTAIN A GRADING PERMIT FROM THE METRO WATER SERVICES NPDES DEPARTMENT (880-2420) PRIOR TO COMMENCING WORK.
- 10. THE CONTRACTOR SHALL LOCATE AND STAKE THE LAYOUT OF THE SITE IN THE FIELD FOR INSPECTION BY THE ENGINEER. THE CONTRACTOR SHALL CHECK THE GRADES AND FINAL DIMENSIONS ON THE GROUND, AND REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY FOR A DECISION.
- 11. SURPLUS EXCAVATION OF TOPSOIL SHALL BE PLACED ON THE SITE AS APPROVED BY THE OWNER FOR THE PURPOSE OF FUTURE LANDSCAPE USE.
- 12. THE CONTRACTOR SHALL FURNISH AND INSTALL ALL NECESSARY TEMPORARY WORKS FOR THE PROTECTION OF THE PUBLIC AND EMPLOYEES, INCLUDING WARNING SIGNS AND LIGHTS.
- 13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE DONE TO THE PREMISES OR ADJACENT PREMISES OR INJURIES TO THE PUBLIC DURING THE CONSTRUCTION CAUSED BY HIMSELF, HIS SUB-CRACKERS, OR THE CARELESSNESS OF ANY OF HIS EMPLOYEES.
- 14. ALL WORK IS TO BE COMPLETED IN ACCORDANCE WITH THE APPROVED PLANS AND SHALL BE IN COMPLIANCE WITH THE RULES AND REGULATIONS SET FORTH IN THE METRO WATER SERVICES STORM WATER MANAGEMENT MANUAL. THE CONTRACTOR SHALL GIVE ALL NECESSARY NOTICE, OBTAIN ALL PERMITS, AND PAY FEES REQUIRED FOR THE COMPLETION FOR HIS PORTION OF THE WORK. HE SHALL ALSO COMPLY WITH ALL CITY, COUNTY, AND STATE LAWS AND ORDINANCES OR REGULATIONS RELATING TO PORTIONS OF WORK WHICH HE IS TO PERFORM.
- 15. ALL EROSION CONTROL MEASURES SHALL REMAIN IN PLACE UNTIL SITE IS STABILIZED AND CONSTRUCTION IS COMPLETE.
- 16. CONTRACTOR SHALL PROVIDE AN AREA FOR CONCRETE WASH DOWN AND EQUIPMENT FUELING IN ACCORDANCE WITH METRO CP-12 & CP-13. CONTRACTOR TO COORDINATE EXACT LOCATION WITH NPDES DEPARTMENT DURING PRECONSTRUCTION MEETING. CONTROL OF OTHER SITE WASTES SUCH AS DISCARDED BUILDING MATERIALS, CHEMICALS, LITTER, AND SANITARY WASTES THAT MAY CAUSE ADVERSE IMPACTS TO WATER QUALITY IS ALSO REQUIRED BY THE GRADING PERMITEE. LOCATIONS OF AND/OR NOTES REFERRING TO THESE BMP'S SHALL BE SHOWN ON THE EPSC PLAN.
- 17. IT IS RECOMMENDED THAT THE CONTRACTOR OBTAIN THE SERVICES OF A LICENSED GEOTECHNICAL ENGINEER PRIOR TO COMMENCING WITH CONSTRUCTION TO DETERMINE THE POTENTIAL OF THE EXISTENCE OF UNSUITABLE SOIL MATERIAL ON-SITE. IF IT IS DETERMINED THAT THE SUBSURFACE IS NOT SUITABLE FOR CONSTRUCTION AND UNDERCUTTING IS REQUIRED, THE CONTRACTOR SHALL CONTACT THE OWNER AND THE ENGINEER IMMEDIATELY.
- 18. THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS PRIOR TO THE COMMENCING OF ANY CONSTRUCTION ACTIVITIES LOCATED WITHIN PUBLIC RIGHT OF WAY.
- 19. STEEP SLOPES TO BE STABILIZED WITHIN 7 DAYS OF FINAL GRADING.



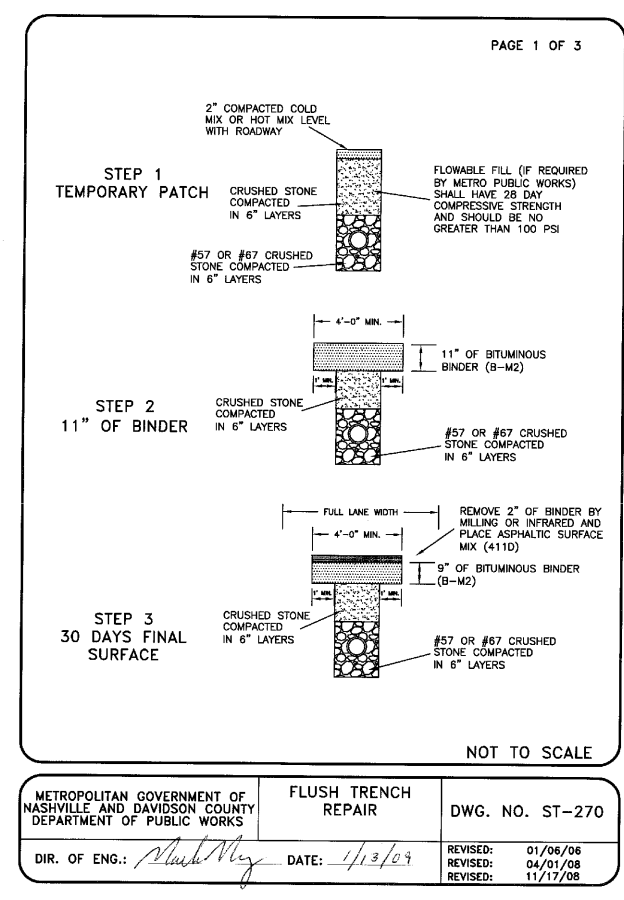
- NOTES:
- 1. FILTER FABRIC FENCE TO BE PLACED PRIOR TO START OF ROUGH GRADING.
 - 2. STEEL POSTS SHALL BE APPROVED BY OWNER PRIOR TO USE.
 - 3. WOOD POSTS SHALL BE 2"x 2" MIN., OAK OR SIMILAR HARDWOOD.
 - 4. POSTS SHALL BE SPACED AT 6' INTERVALS.
 - 5. FILTER FABRIC SHALL BE SECURELY BOUND TO POSTS WITH EITHER STAPLES OR WIRE TIES.
 - 6. FILTER FABRIC SHALL BE POLYPROPYLENE FABRIC BY CORPS OF ENGINEERS GUIDE SPEC. CW 02215. WITH EQUIVALENT OPENING SIZE (EOS) OF NO.100 SIEVE MIN., NO. 40 SIEVE MAX., AS DETERMINED
- MAINTENANCE NOTES:
- 1. INSPECT TWICE WEEKLY, 72 HOURS APART AND AFTER EACH RAINFALL
 - 2. REPAIR WHEREVER FENCE IS DAMAGED.
 - 3. REMOVE SEDIMENT WHEN IT REACHES 1/3 THE HEIGHT OF THE FENCE
 - 4. REMOVE SILT FENCE WHEN NO LONGER NEEDED. FILL AND COMPACT PAST HOLES AND ANCHOR TRENCH REMOVE SEDIMENT ACCUMULATION, AND GRADE

SILT FENCE DETAIL
SEE METRO STORMWATER MANAGEMENT MANUAL VOLUME 4, TCP-13
NOT TO SCALE



- 1. STONE SIZE - USE 2" STONE, OR EQUAL
- 2. MIN. LENGTH - 100 FEET.
- 3. MIN. THICKNESS - EIGHT(8) INCHES.
- 4. WIDTH - TWENTY(20) FOOT MINIMUM
- 5. FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
- 6. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE.
- 7. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND, AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.

TEMPORARY CONSTRUCTION ENTRANCE
SEE METRO STORMWATER MANAGEMENT MANUAL VOLUME 4, TCP-02
NOT TO SCALE



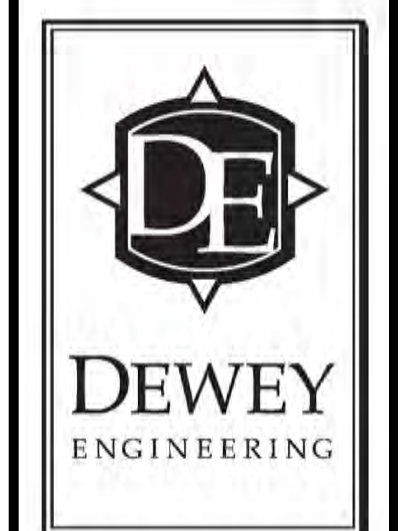
FLUSH TRENCH REPAIR
DWG. NO. ST-270
DATE: 1/18/18

Revisions:

Drawing Notes:

Date: July 27, 2018

1704 Carvell Ave
Tax Map 105-11, Parcel 192
Nashville, Davidson County, Tennessee

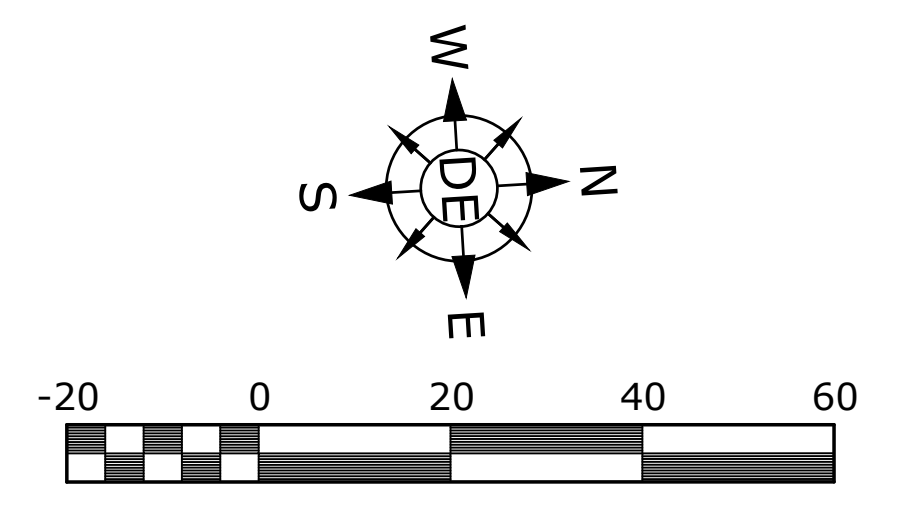


Layout and Utilities Plan

Job No. 17037

C2.0

3 of 6



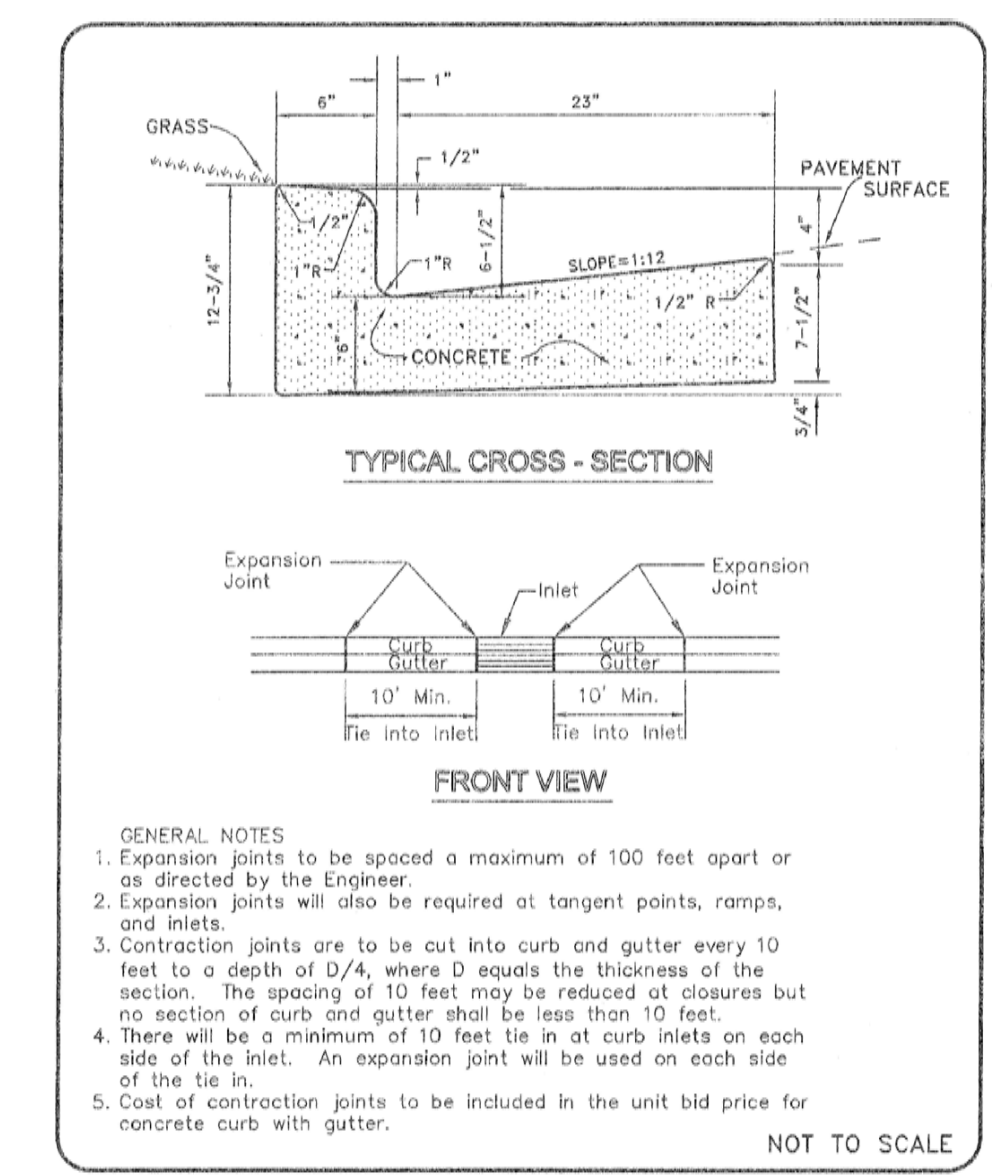
Scale 1" = 20'
Total Site Acreage: 0.29 Acres
Limits of Disturbance: 0.34 Acres

Engineer
Dewey Engineering
Contact: Michael Dewey, PE
2925 Berry Hill Drive
Nashville, TN 37204
Phone: (615) 401-9956

Flood Note
This Property is Not Located
Within a Flood Hazard Area as
Designated by "Zone X" on Firm
Panel #47037C0244H.
Dated April 5, 2017.

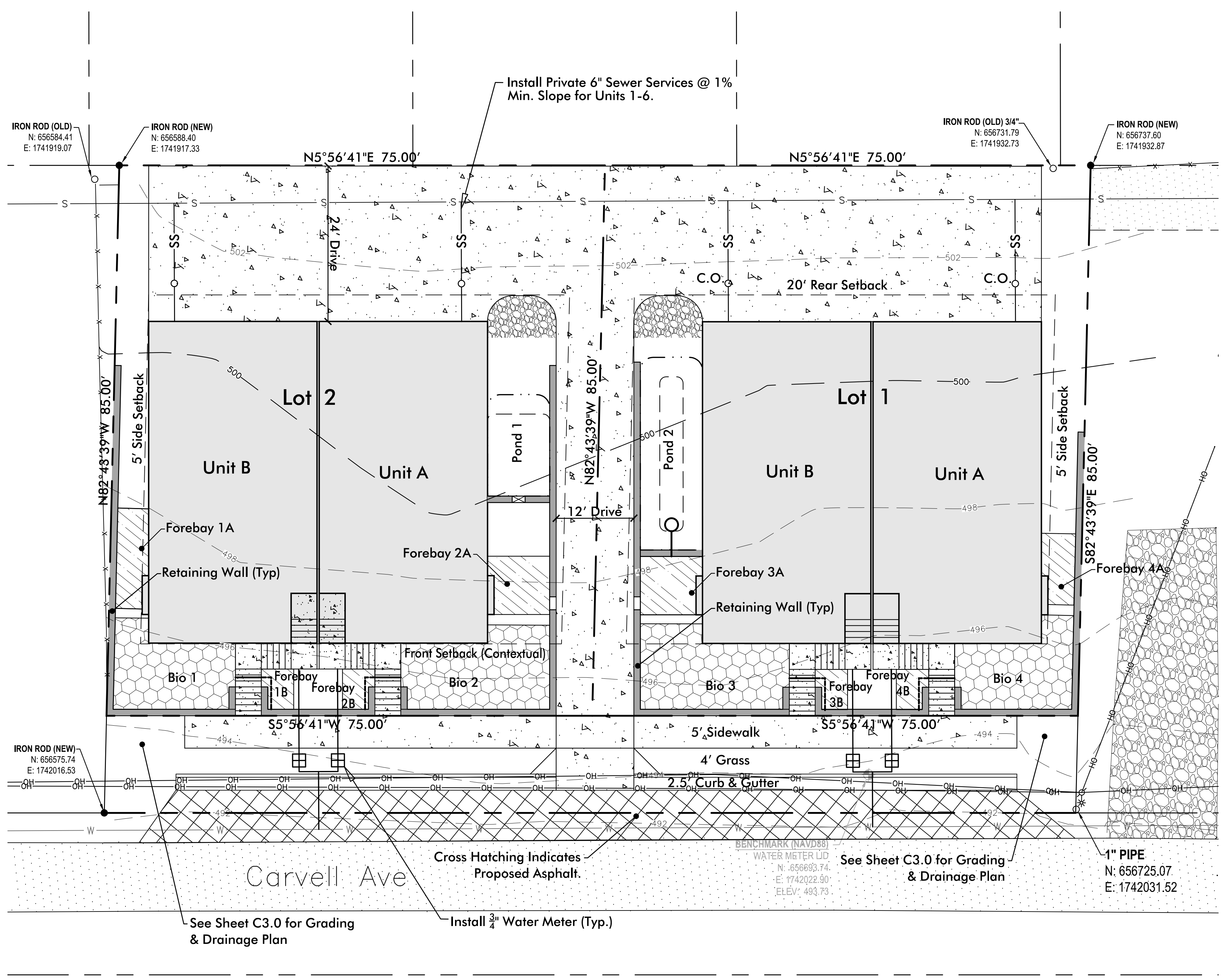
Owner
The MC2 Group, Inc
639 E Main St
Hendersonville, TN 37075

Site Benchmark
Water Meter Lid Located
Approximately 32 ft South of the
Northeast Corner of the Site
NAVD88 Elev. = 493.73



GENERAL NOTES:
1. Expansion joints to be spaced a maximum of 100 feet apart or as directed by the Engineer.
2. Expansion joints will also be required at tangent points, ramps, and inlets.
3. Expansion joints are to be cut into curb and gutter every 10 feet to a depth of D/4, where D equals the thickness of the section. The spacing of 10 feet may be reduced at closures but no section of curb and gutter shall be less than 10 feet.
4. There will be a minimum of 10 feet tie in at curb inlets on each side of the inlet. An expansion joint will be used on each side of the tie in.
5. Cost of contraction joints to be included in the unit bid price for concrete curb with gutter.

METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY DEPARTMENT OF PUBLIC WORKS
STANDARD CURB WITH GUTTER
DWG. NO. ST-200
DIR. OF ENG.: *Mark May* DATE: 5/12/03
REVISED: 07/21/00
REVISED: 05/02/03



Install Private 6" Sewer Services @ 1% Min. Slope for Units 1-6.

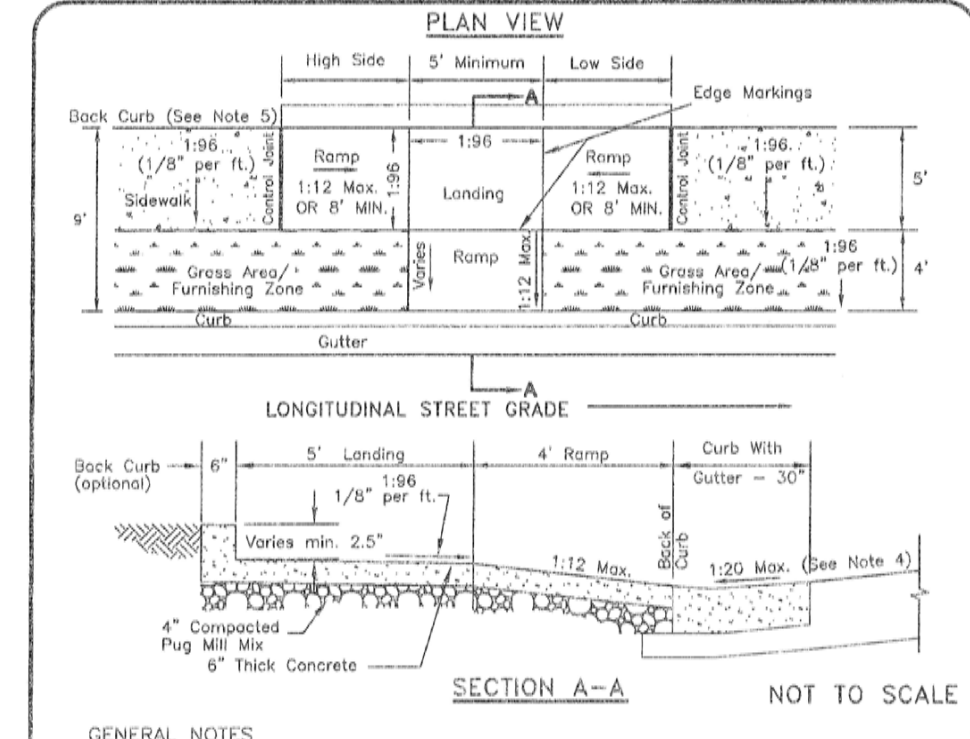
Cross Hatching Indicates Proposed Asphalt.

See Sheet C3.0 for Grading & Drainage Plan

Install 3/4" Water Meter (Typ.)

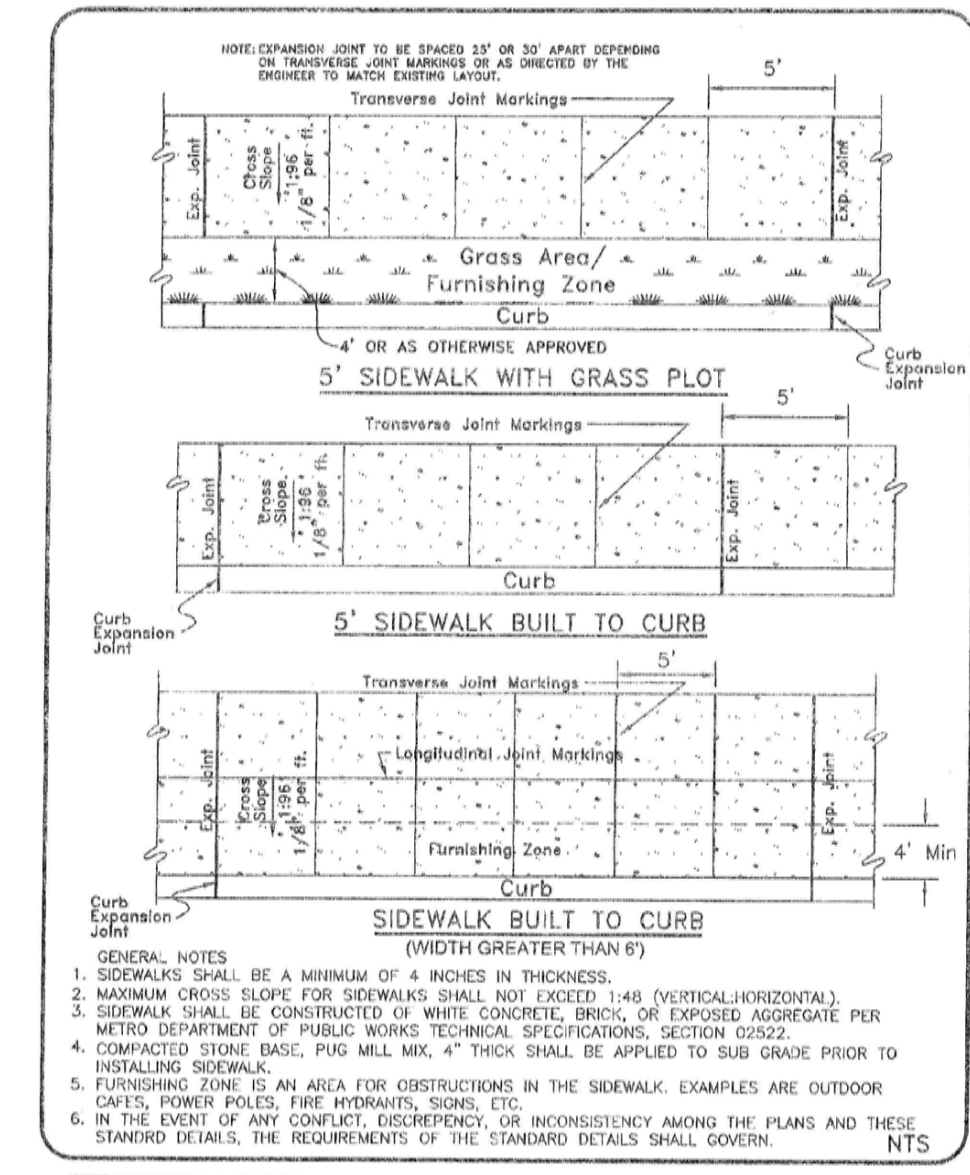
See Sheet C3.0 for Grading & Drainage Plan

1" PIPE
N: 656725.07
E: 1742031.52



GENERAL NOTES:
1. Ramp shall be flush with the gutter or edge of pavement.
2. Cross-slope of landing and of sidewalk shall not exceed 1:48 (vertical:horizontal).
3. Surface texture of the curb ramp shall be stable, firm, and slip-resistant. The surface shall be coarse broomed "white" concrete finish transverse to the slope of the ramp.
4. The normal gutter slope of 1:12 (vertical:horizontal) shall be reduced to 1:20 (vertical:horizontal) of the ramp when the curb and gutter is poured before the ramp, or the gutter at the ramp must be cut out, removed, and repoured when the ramp is poured.
5. Back curb height along ramp shall transition from 0 inches at expansion joints to the proposed height of back curb at landing and shall be a constant height through landing. Detention of back curb requires approval of inspector. Removal to be noted in project file and on inspection report.
6. High side and low side ramps shall have a maximum slope of 1:12 (vertical:horizontal) or shall be 8 feet (96 inches) minimum in length.

METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY DEPARTMENT OF PUBLIC WORKS
NEW CONSTRUCTION CURB RAMP
DWG. NO. ST-320
DIR. OF ENG.: *Mark May* DATE: 5/14/03
REVISED: 07/18/02
REVISED: 05/08/03



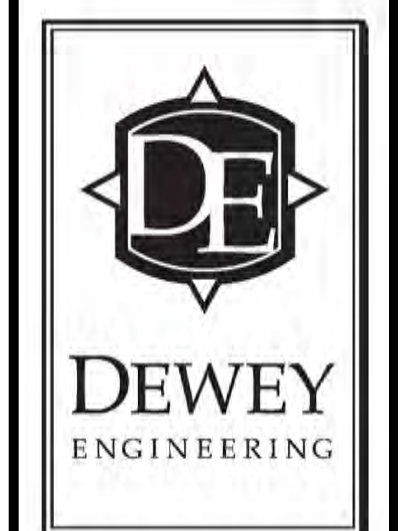
METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY DEPARTMENT OF PUBLIC WORKS
SIDEWALK CONSTRUCTION
DWG. NO. ST-210
DIR. OF ENG.: *Mark May* DATE: 7/15/06
REVISED: 05/02/03
REVISED: 11/24/03
REVISED: 06/23/04

Revisions:

Drawing Notes:

Date: July 27, 2018

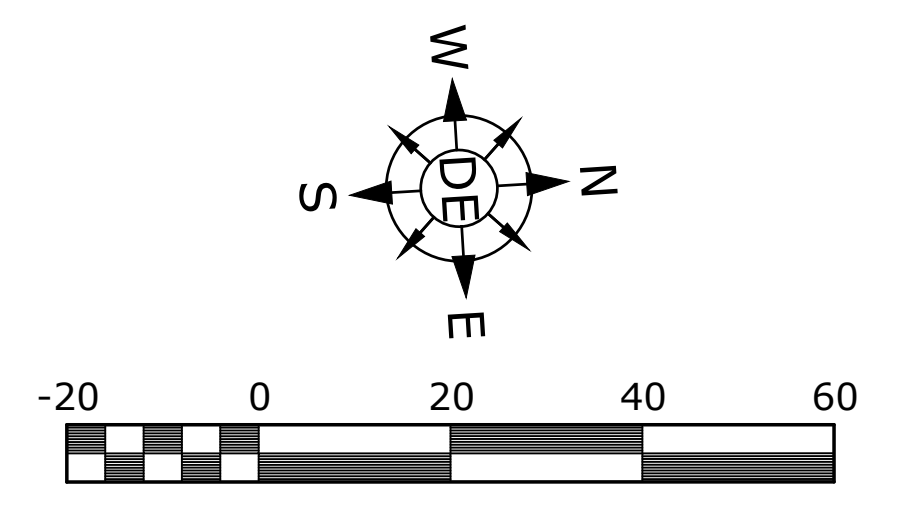
1704 Carvell Ave
 Tax Map 105-11, Parcel 192
 Nashville, Davidson County, Tennessee



Grading & Drainage Plan

Job No. 17037

C3.0

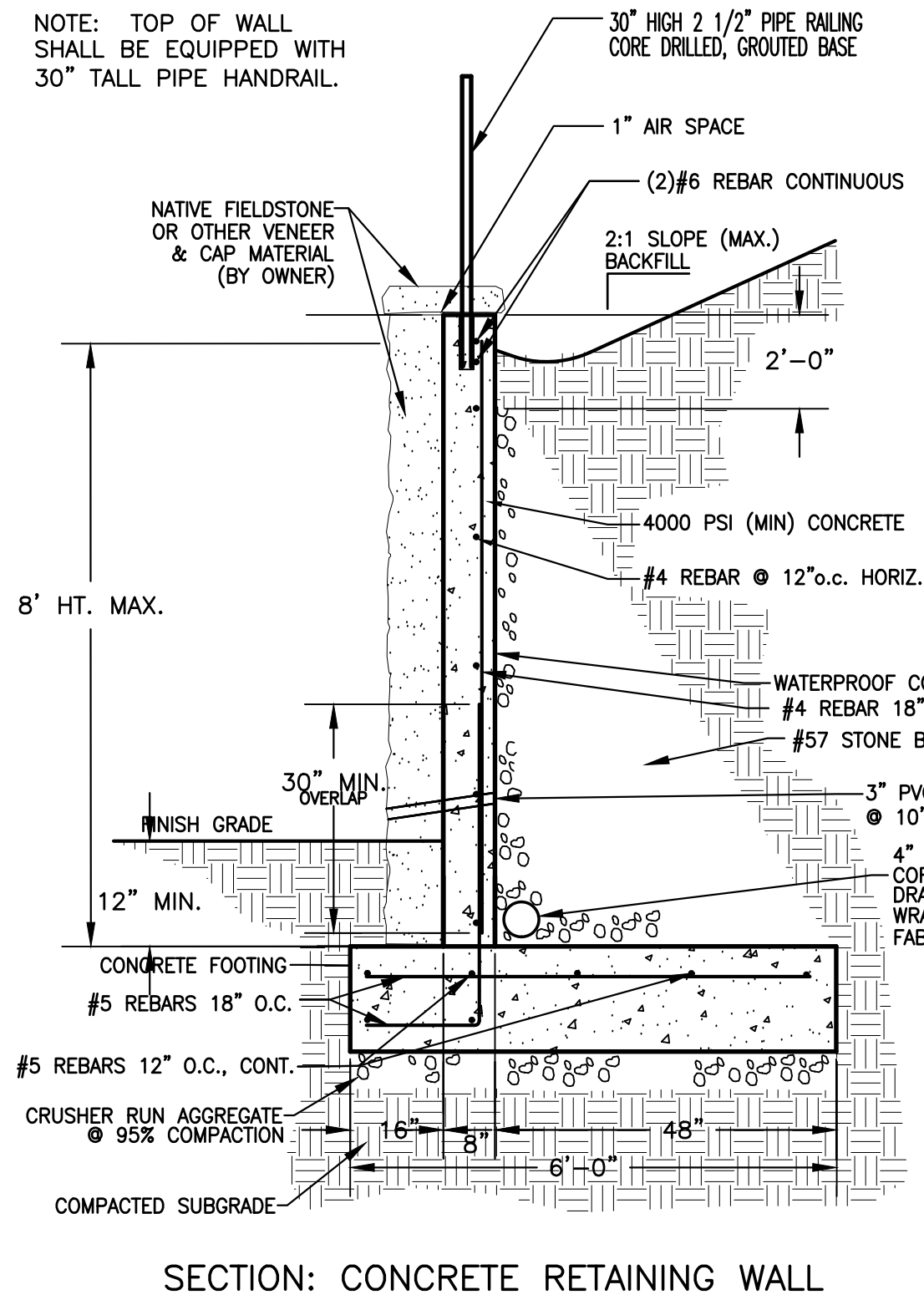
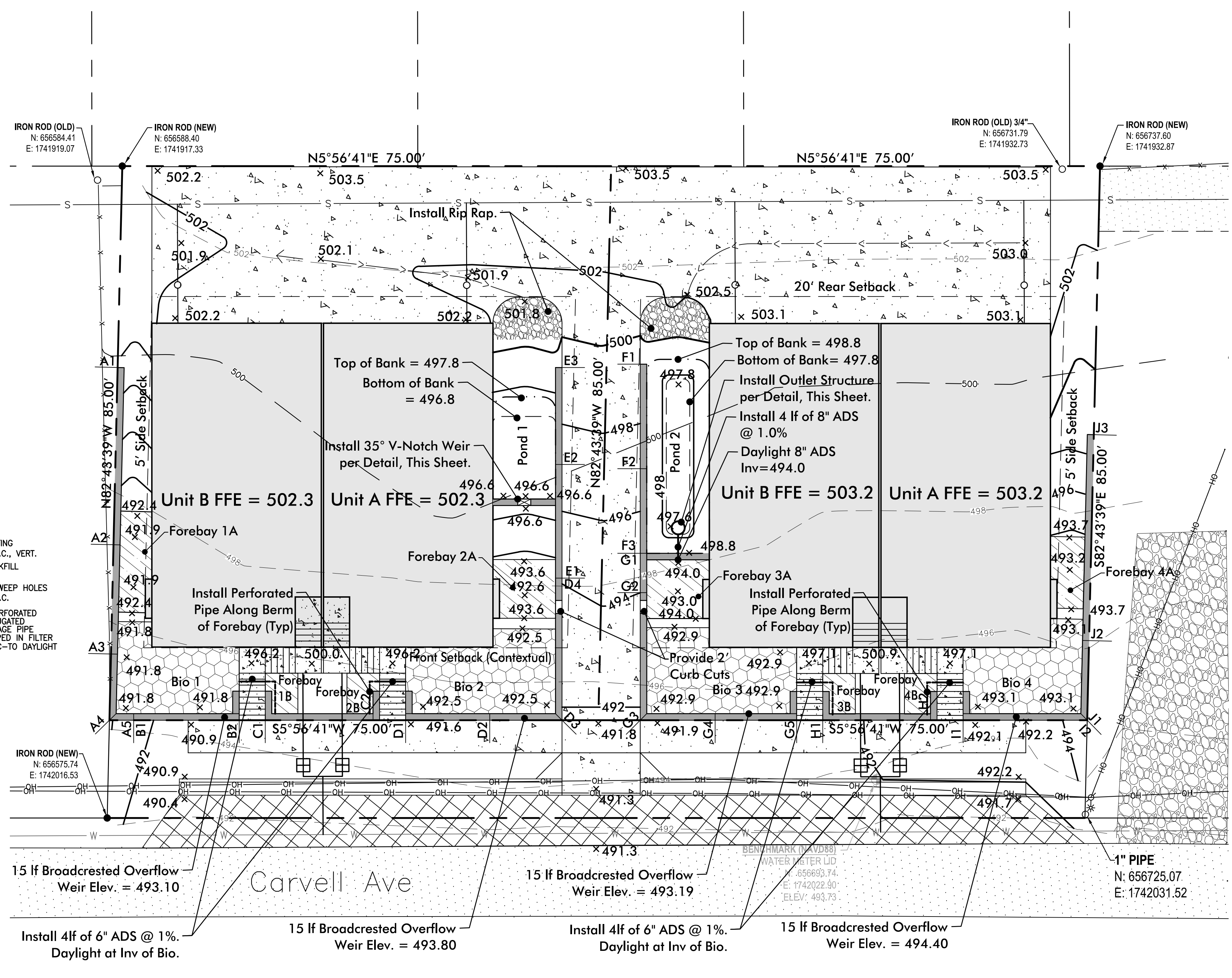
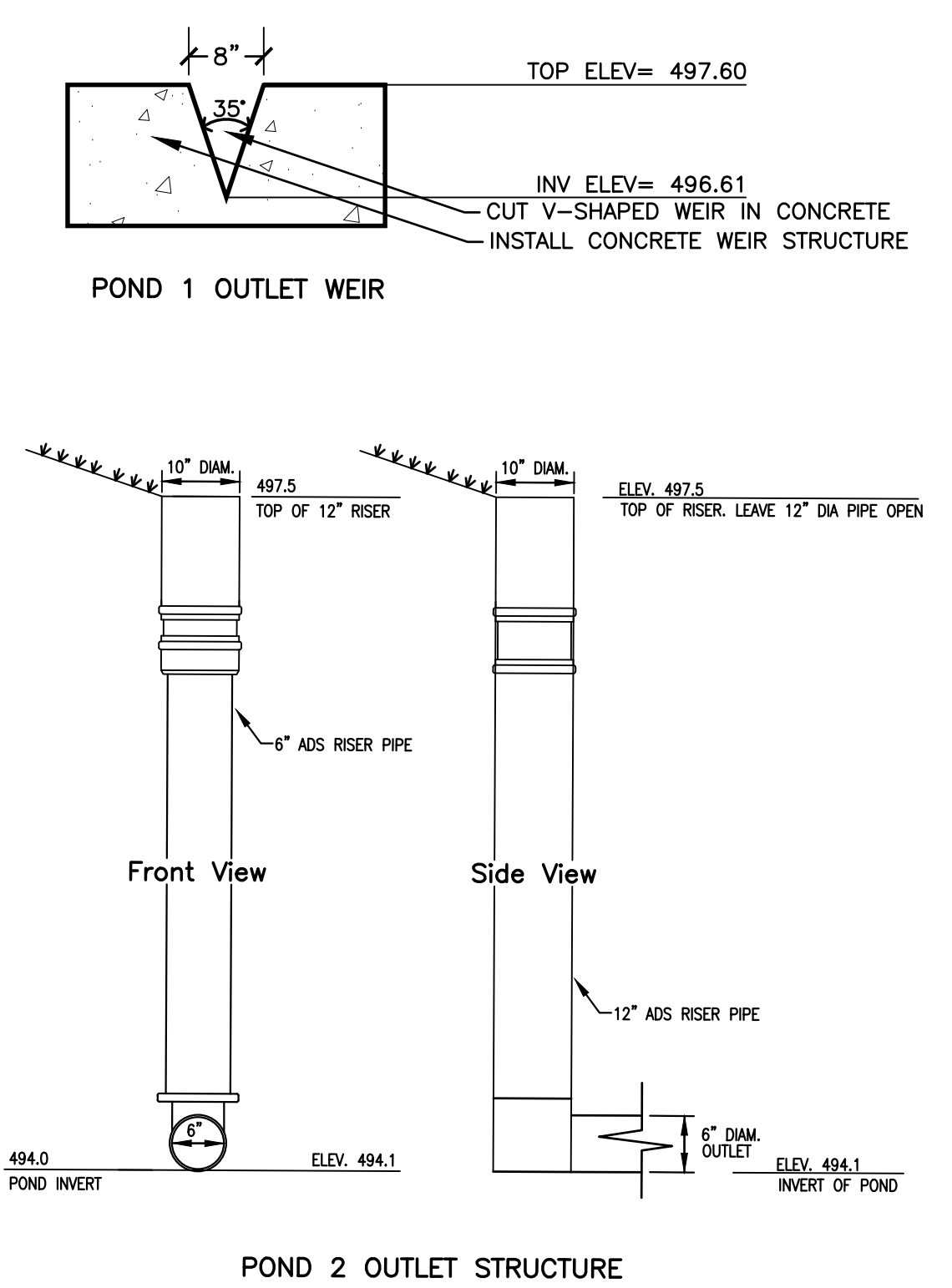


Engineer
 Dewey Engineering
 Contact: Michael Dewey, PE
 2925 Berry Hill Drive
 Nashville, TN 37204
 Phone: (615) 401-9956

Flood Note
 This Property is Not Located
 Within a Flood Hazard Area as
 Designated by "Zone X" on Firm
 Panel #47037C0244H.
 Dated April 5, 2017.

Owner
 The MC2 Group, Inc
 639 E Main St
 Hendersonville, TN 37075

Site Benchmark
 Water Meter Lid Located
 Approximately 32 If South of the
 Northeast Corner of the Site
 NAVD88 Elev. = 493.73



Retaining Wall 'A' Table

Section	T.O.W.	B.O.W.	Height
A1	499.7	499.7	0.0
A2	497.2	492.4	4.8
A3	495.4	491.8	3.6
A4	494.2	491.8	2.4
A5	493.1	491.8	1.3

Retaining Wall 'B' Table

Section	T.O.W.	B.O.W.	Height
B1	493.1	493.1	0.0
B2	493.1	491.0	2.1

Retaining Wall 'C' Table

Section	T.O.W.	B.O.W.	Height
C1	493.1	491.9	1.2
C2	493.1	491.5	1.6

Retaining Wall 'D' Table

Section	T.O.W.	B.O.W.	Height
D1	493.8	491.6	2.2
D2	493.8	491.7	2.1
D3	493.8	491.8	2.0
D4	494.5	494.0	0.5

Retaining Wall 'E' Table

Section	T.O.W.	B.O.W.	Height
E1	494.5	494.0	0.5
E2	497.5	496.6	0.9
E3	499.8	499.3	0.5

Retaining Wall 'F' Table

Section	T.O.W.	B.O.W.	Height
F1	500.2	499.7	0.5
F2	498.8	497.0	1.8
F3	498.8	494.5	4.3

Retaining Wall 'G' Table

Section	T.O.W.	B.O.W.	Height
G1	495.0	494.0	1.0
G2	494.5	494.0	0.5
G3	494.2	491.8	2.4
G4	494.2	491.9	2.3
G5	494.2	492.0	2.2

Retaining Wall 'H' Table

Section	T.O.W.	B.O.W.	Height
H1	493.7	493.5	0.2
H2	493.7	493.7	0.0

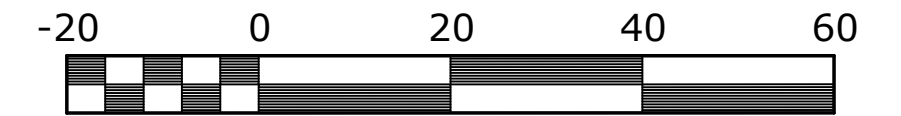
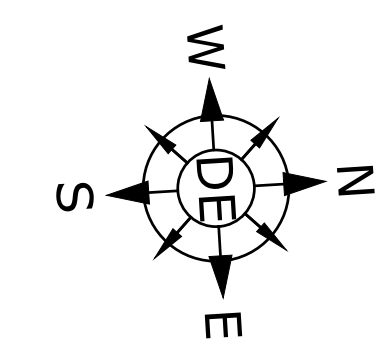
Retaining Wall 'I' Table

Section	T.O.W.	B.O.W.	Height
I1	494.4	492.1	2.3
I2	494.4	494.4	0.0

Retaining Wall 'J' Table

Section	T.O.W.	B.O.W.	Height
J1	494.4	494.4	0.0
J2	496.1	493.1	3.0
J3	499.0	499.0	0.0





Scale 1" = 20'

Revisions:

Drawing Notes:

Engineer
Dewey Engineering
Contact: Michael Dewey, PE
2925 Berry Hill Drive
Nashville, TN 37204
Phone: (615) 401-9956

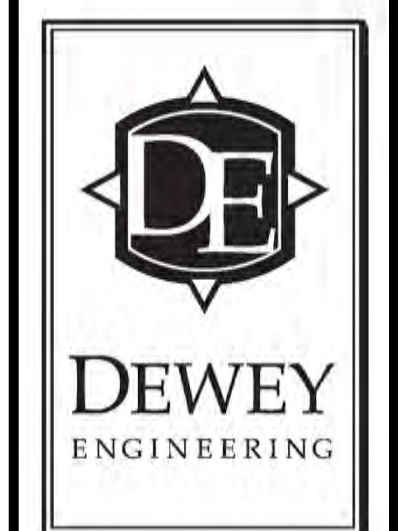
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Hendersonville, TN 37075

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Water Meter Lid Located
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Northeast Corner of the Site
NAVD88 Elev. = 493.73

Date: July 27, 2018

1704 Carvell Ave
Tax Map 105-11, Parcel 192
Nashville, Davidson County, Tennessee

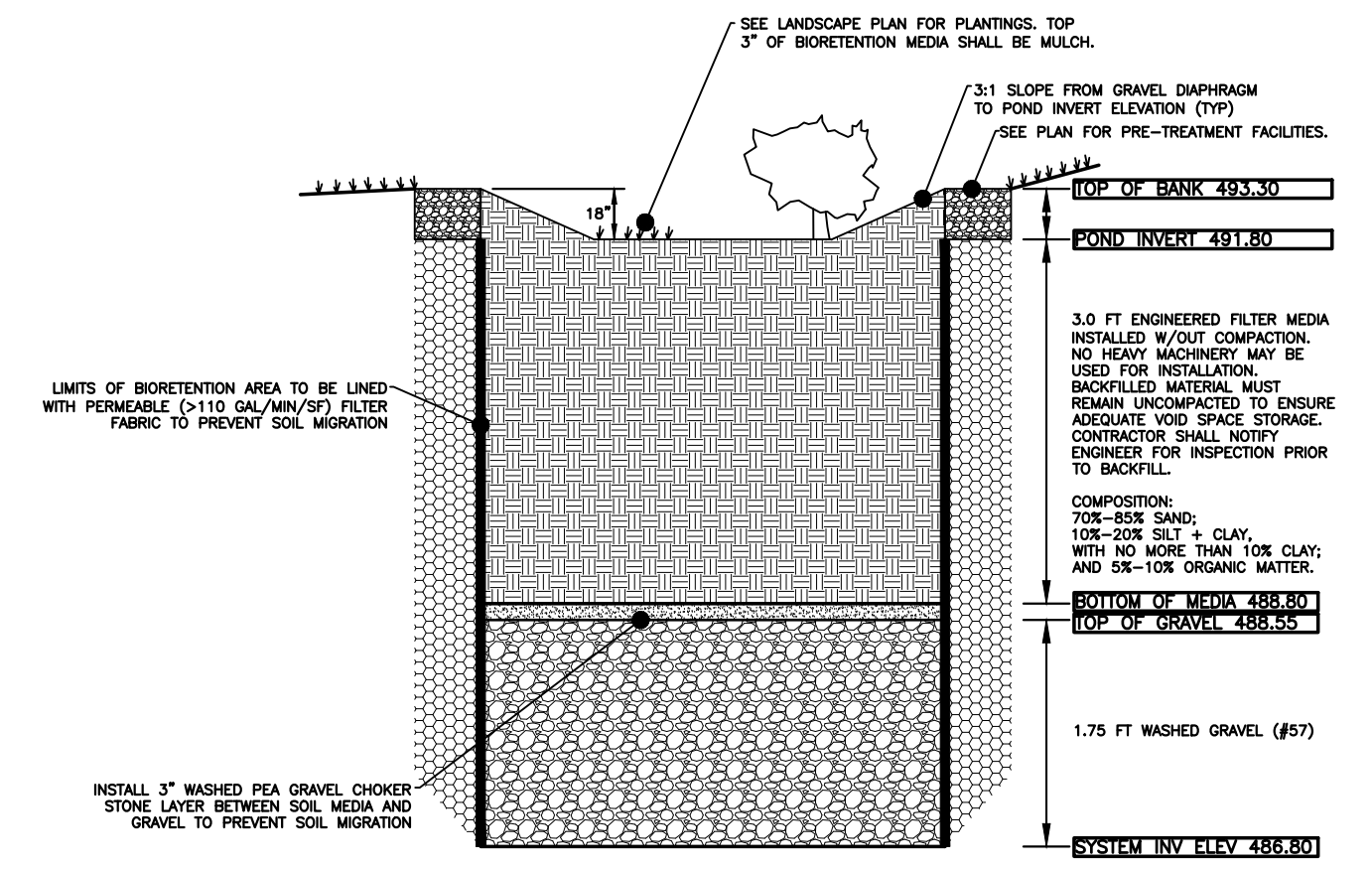


Details

Job No. 17037

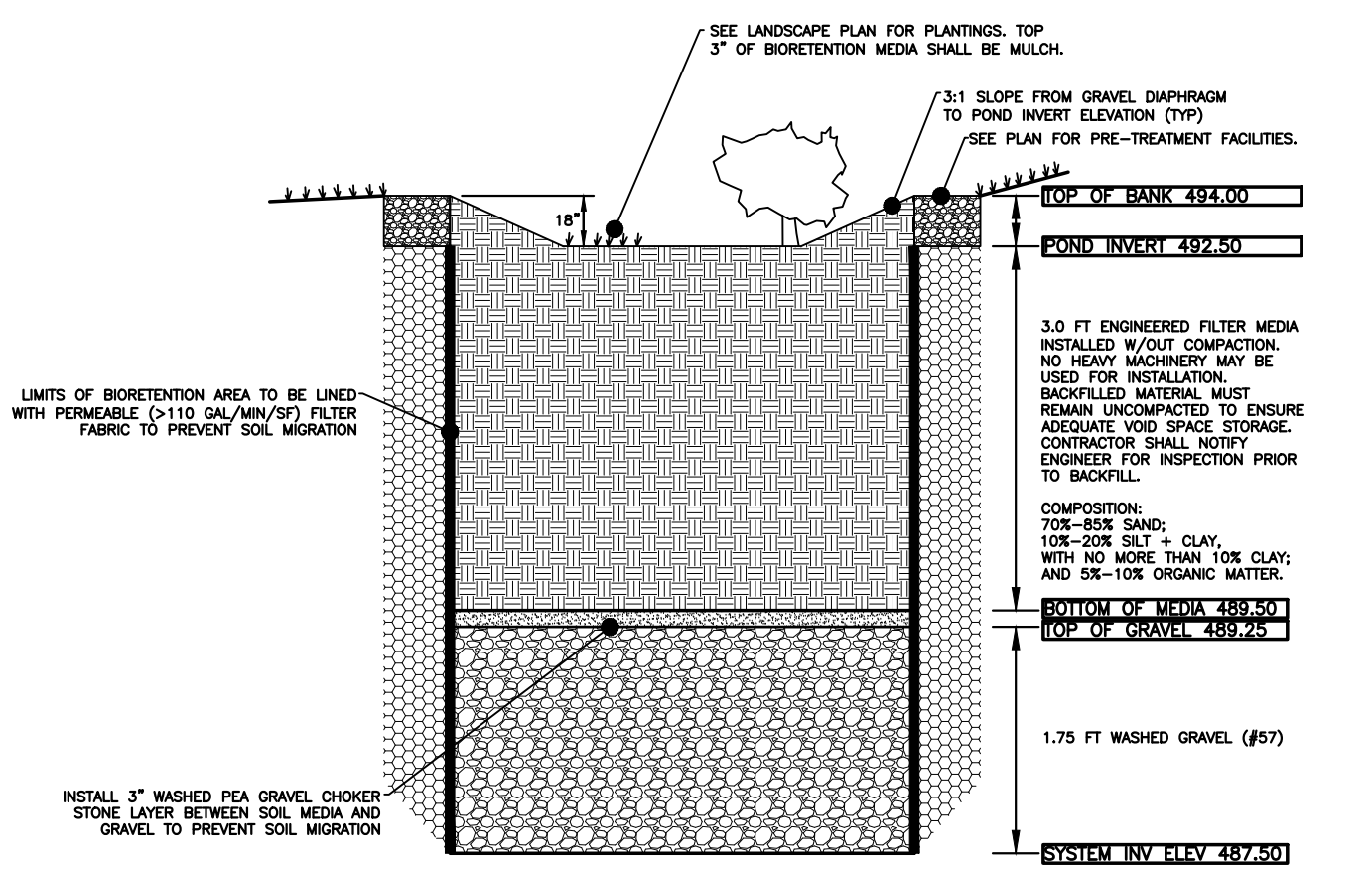
C3.0

5 of 6



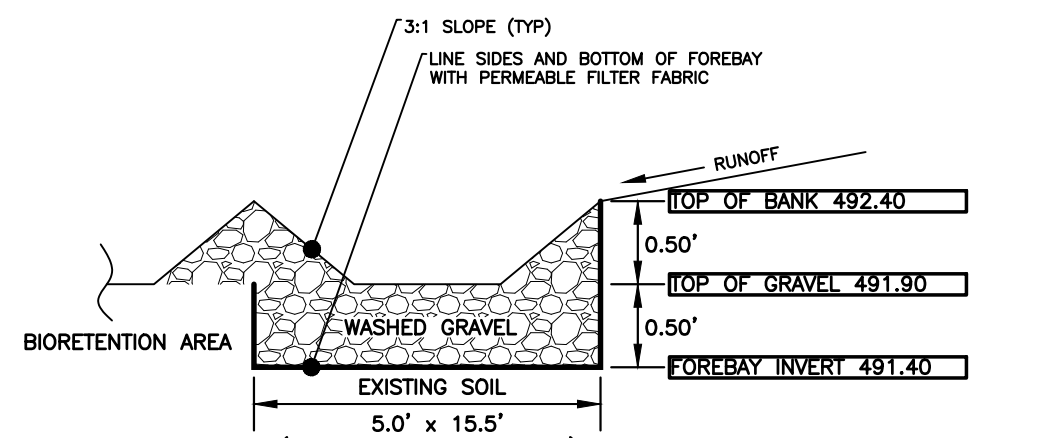
BIORETENTION AREA 1 DETAIL (GIP-01) (LEVEL 2)

MATERIAL SCHEDULE (BIORETENTION AREA 1 ONLY):
SURFACE AREA = 214 sf
ENGINEERED FILTER MEDIA = 642 cf (3.00' X 214 sf)
WASHED GRAVEL (#57) = 375 cf (1.75' X 214 sf)
CHOKER STONE (#8) = 54 cf (0.25' X 214 sf)

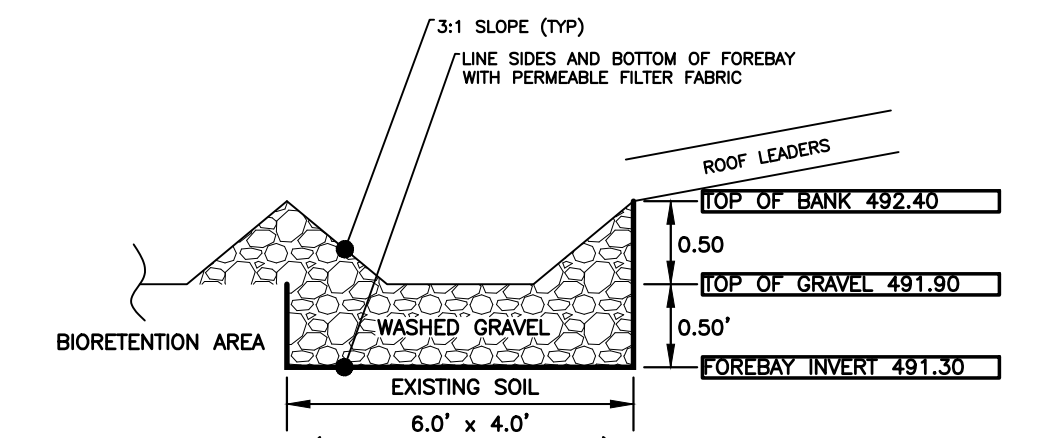


BIORETENTION AREA 2 DETAIL (GIP-01) (LEVEL 2)

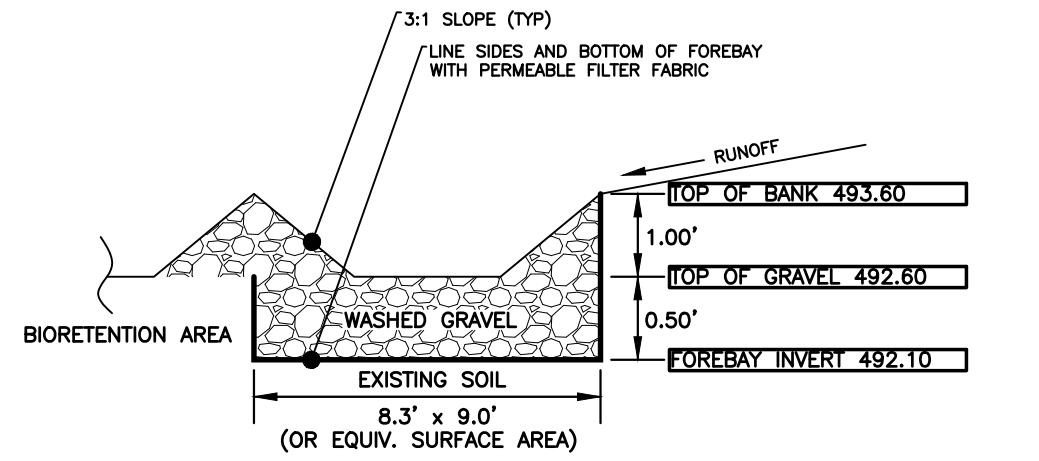
MATERIAL SCHEDULE (BIORETENTION AREA 2 ONLY):
SURFACE AREA = 277 sf
ENGINEERED FILTER MEDIA = 831 cf (3.00' X 277 sf)
WASHED GRAVEL (#57) = 485 cf (1.75' X 277 sf)
CHOKER STONE (#8) = 70 cf (0.25' X 277 sf)



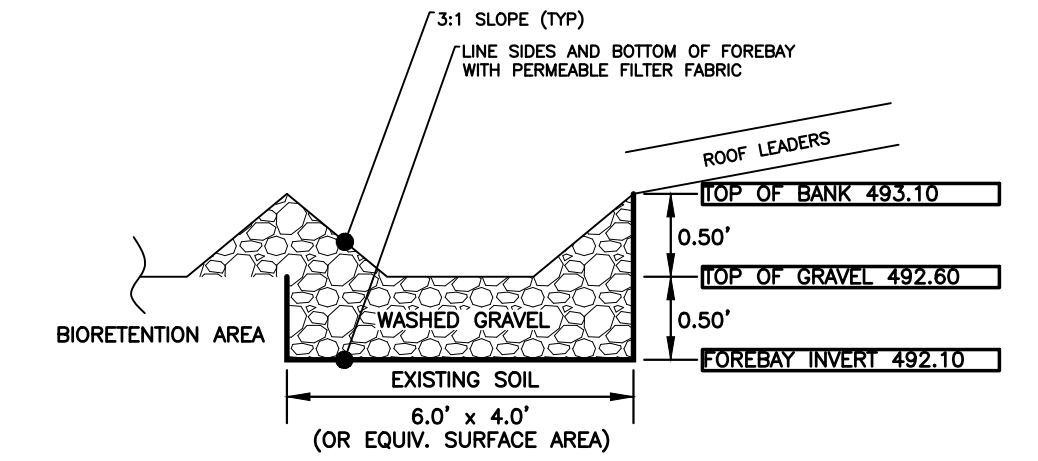
GRAVEL FOREBAY '1A' DETAIL FOR BIORETENTION AREA 1 N.T.S.



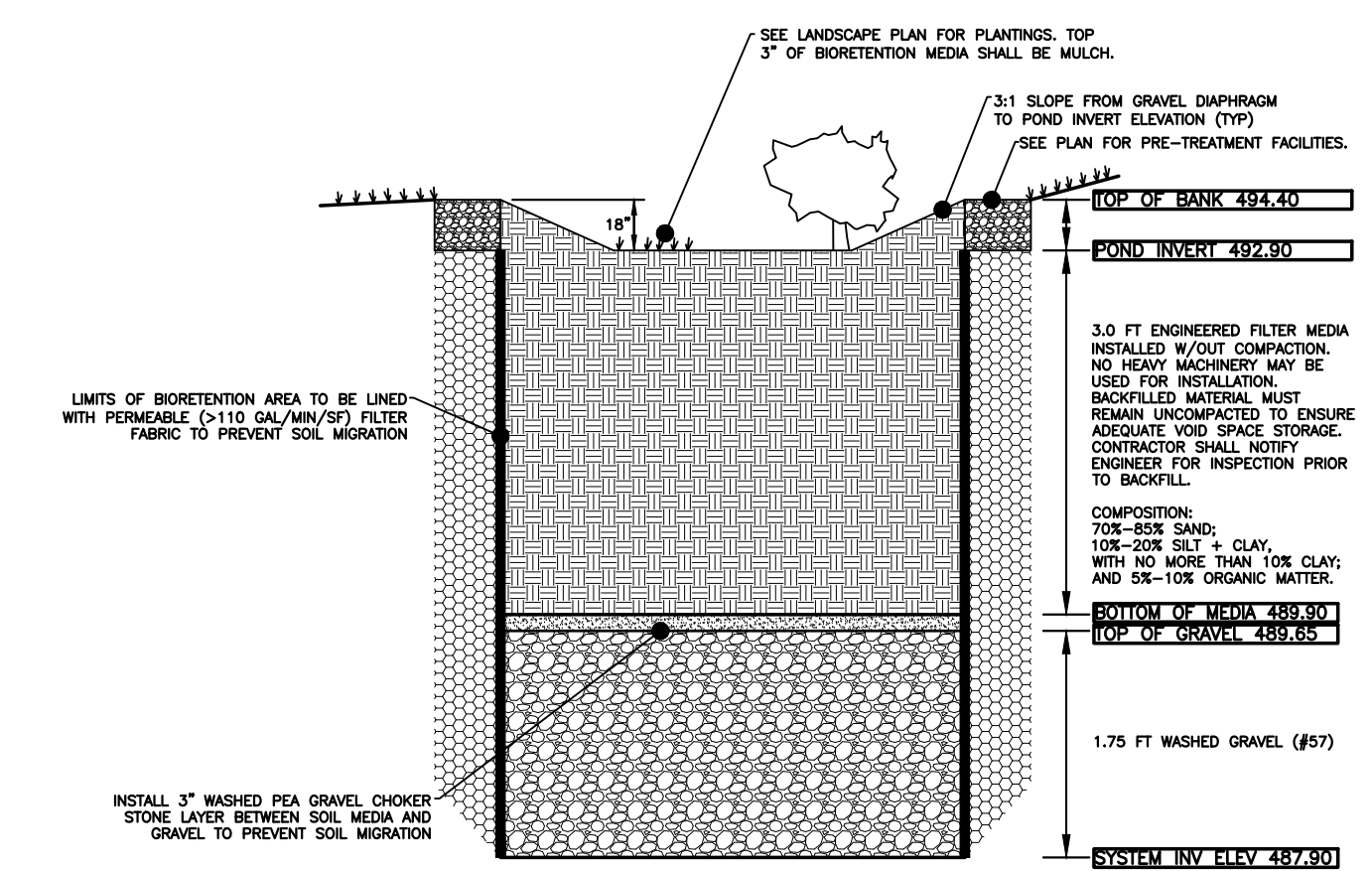
GRAVEL FOREBAY '1B' DETAIL FOR BIORETENTION AREA 1 N.T.S.



GRAVEL FOREBAY '2A' DETAIL FOR BIORETENTION AREA 2 N.T.S.

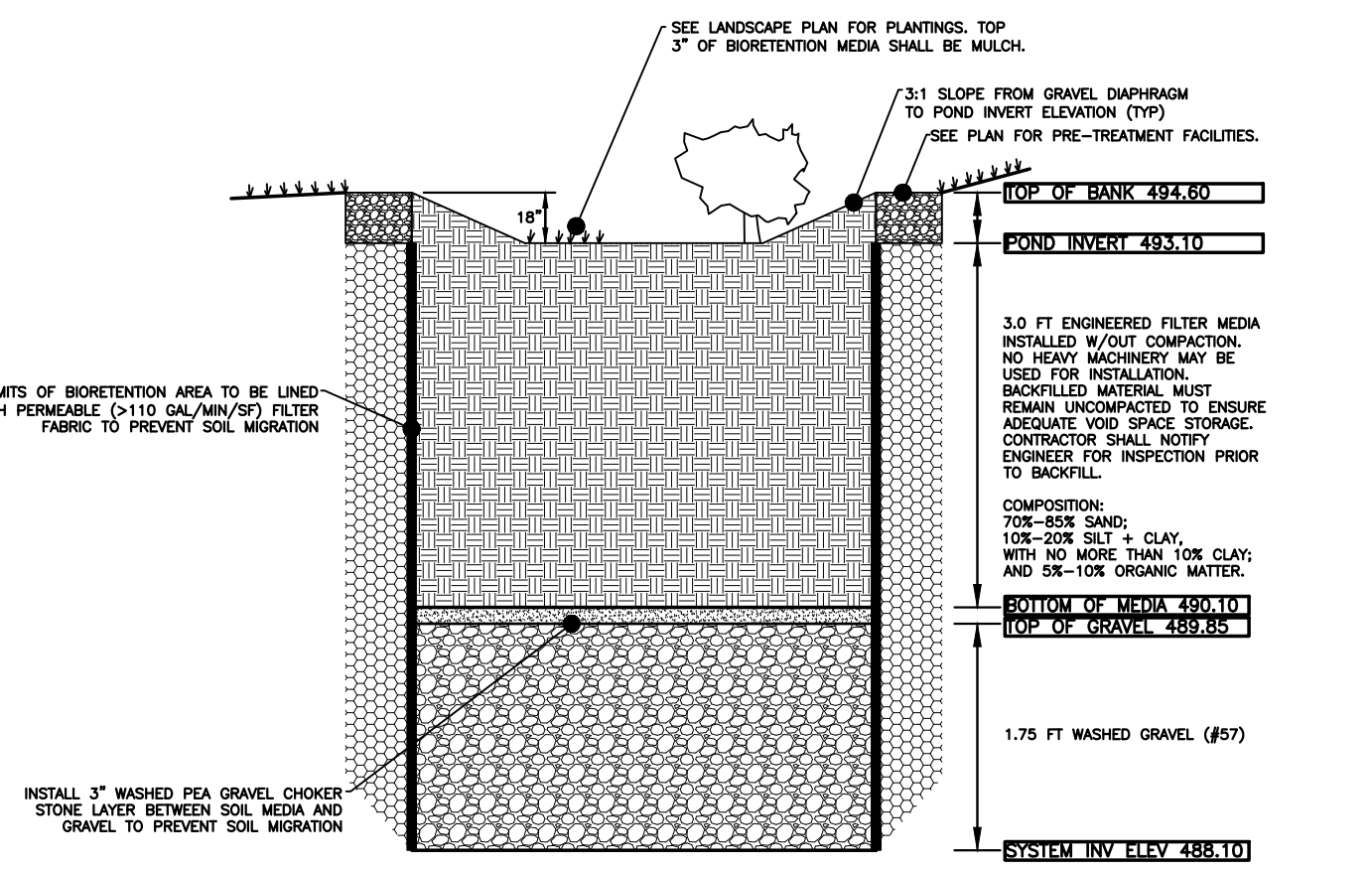


GRAVEL FOREBAY '2B' DETAIL FOR BIORETENTION AREA 2 N.T.S.



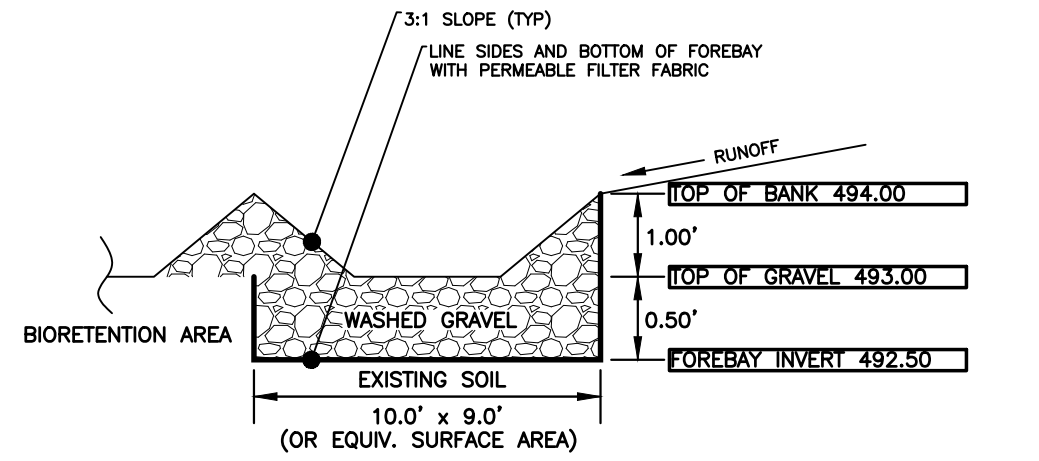
BIORETENTION AREA 3 DETAIL (GIP-01) (LEVEL 2)

MATERIAL SCHEDULE (BIORETENTION AREA 3 ONLY):
SURFACE AREA = 277 sf
ENGINEERED FILTER MEDIA = 831 cf (3.00' X 277 sf)
WASHED GRAVEL (#57) = 485 cf (1.75' X 277 sf)
CHOKER STONE (#8) = 70 cf (0.25' X 277 sf)

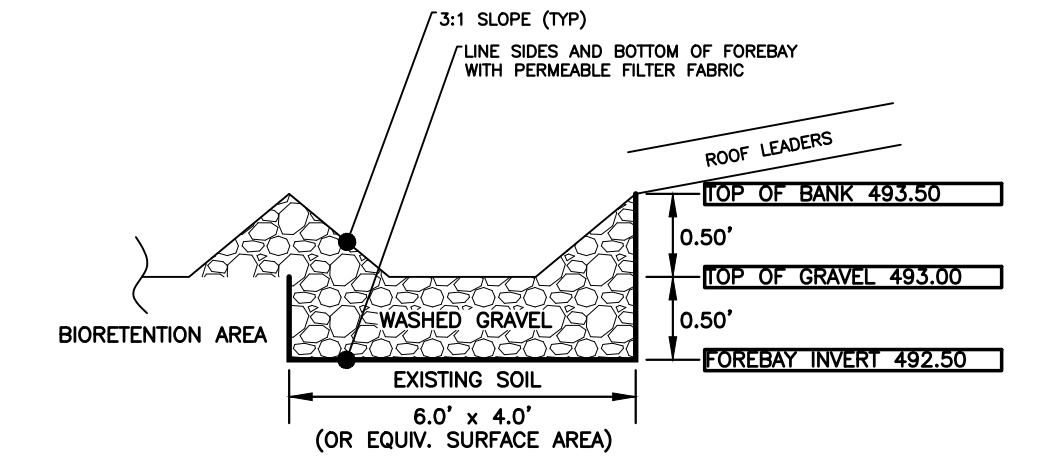


BIORETENTION AREA 4 DETAIL (GIP-01) (LEVEL 2)

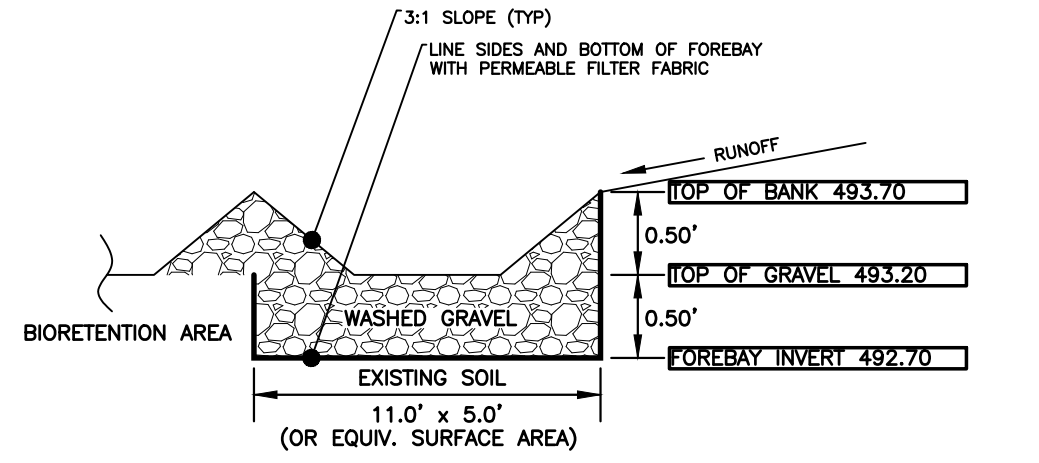
MATERIAL SCHEDULE (BIORETENTION AREA 4 ONLY):
SURFACE AREA = 207 sf
ENGINEERED FILTER MEDIA = 621 cf (3.00' X 207 sf)
WASHED GRAVEL (#57) = 363 cf (1.75' X 207 sf)
CHOKER STONE (#8) = 52 cf (0.25' X 207 sf)



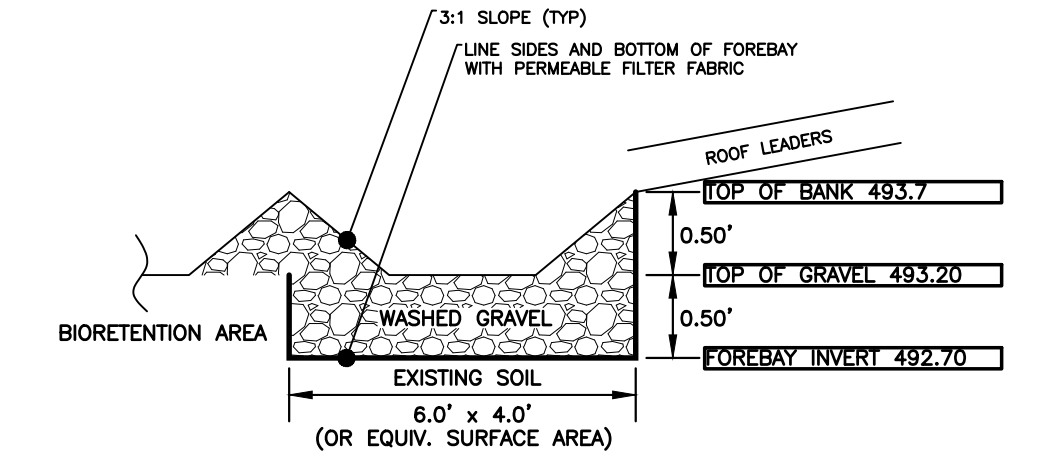
GRAVEL FOREBAY '3A' DETAIL FOR BIORETENTION AREA 3 N.T.S.



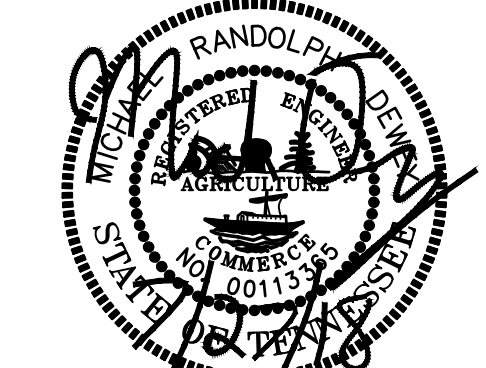
GRAVEL FOREBAY '3B' DETAIL FOR BIORETENTION AREA 3 N.T.S.



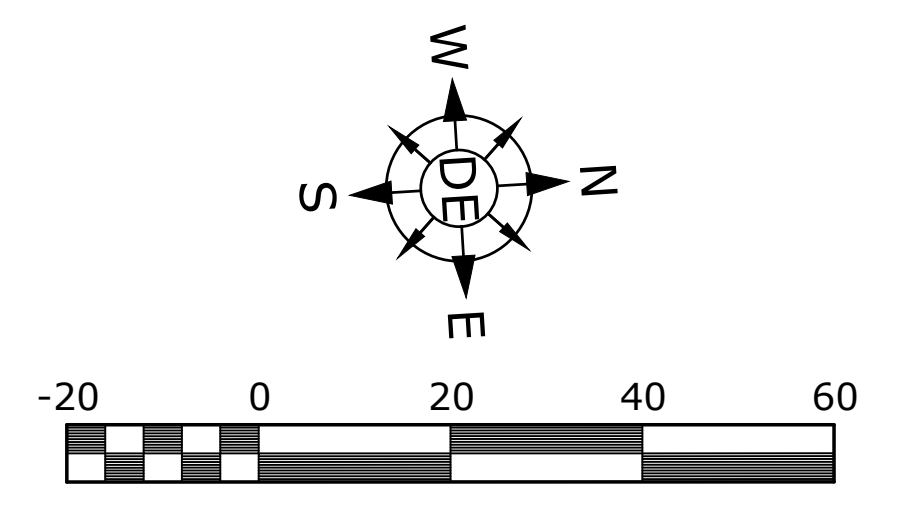
GRAVEL FOREBAY '4A' DETAIL FOR BIORETENTION AREA 4 N.T.S.



GRAVEL FOREBAY '4B' DETAIL FOR BIORETENTION AREA 4 N.T.S.



Tree Density Requirements
 Site Acreage (0.29 Ac) - Building Coverage (0.12 Ac) = 0.17 Ac of Compliance
 Trees Required: 1.4 x 0.17 = 2.38 TDU
 Trees Proposed: 5 Trees* @ 0.5 TDU each = 2.5 TDU (OK)



Scale 1" = 20'
 Total Site Acreage: 0.29 Acres
 Limits of Disturbance: 0.34 Acres

Engineer
 Dewey Engineering
 Contact: Michael Dewey, PE
 2925 Berry Hill Drive
 Nashville, TN 37204
 Phone: (615) 401-9956

Flood Note
 This Property is Not Located
 Within a Flood Hazard Area as
 Designated by "Zone X" on Firm
 Panel #47037C0244H.
 Dated April 5, 2017.

Owner
 The MC2 Group, Inc
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Site Benchmark
 Water Meter Lid Located
 Approximately 32' If South of the
 Northeast Corner of the Site
 NAVD88 Elev. = 493.73

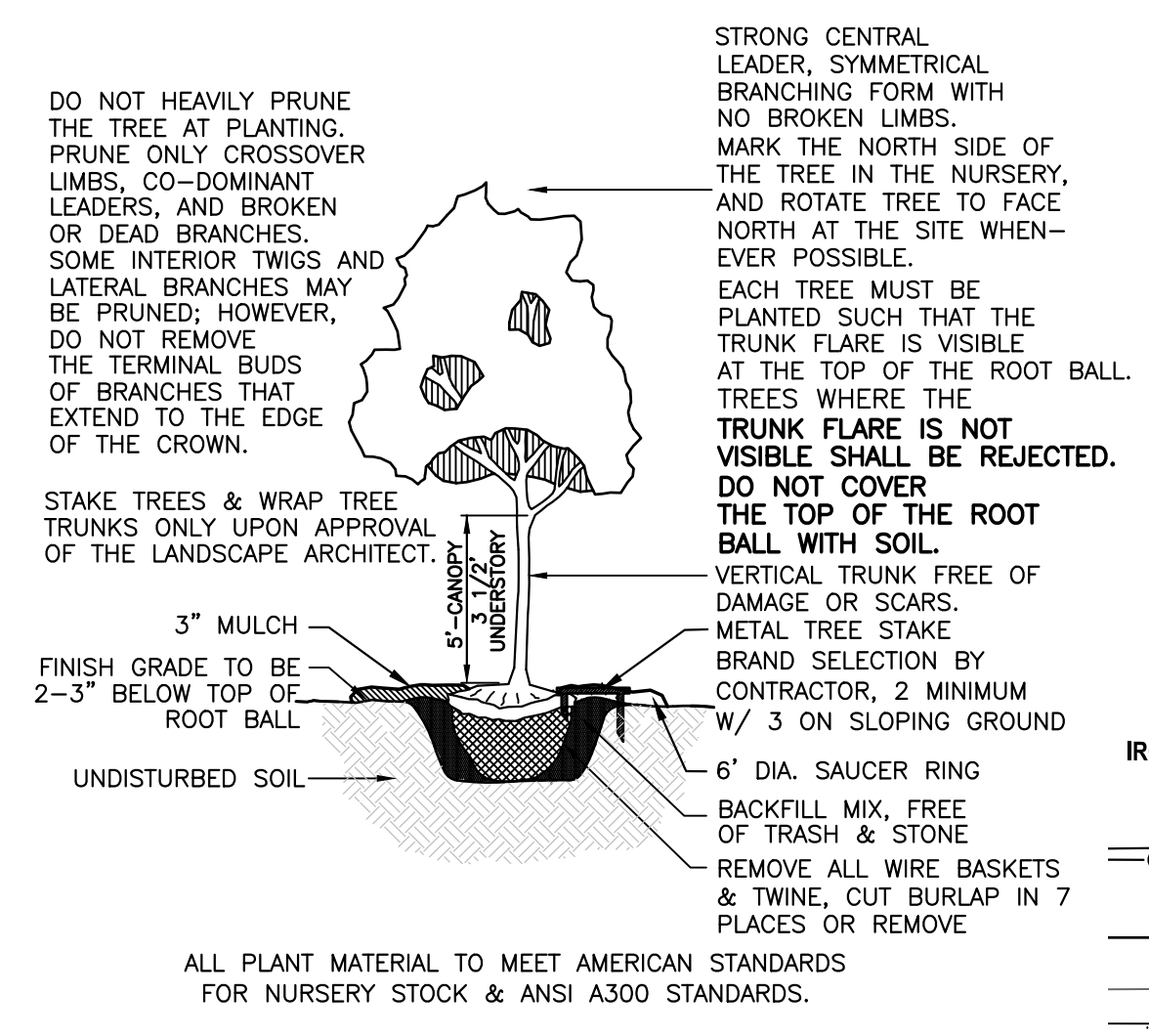
Revisions:

Drawing Notes:

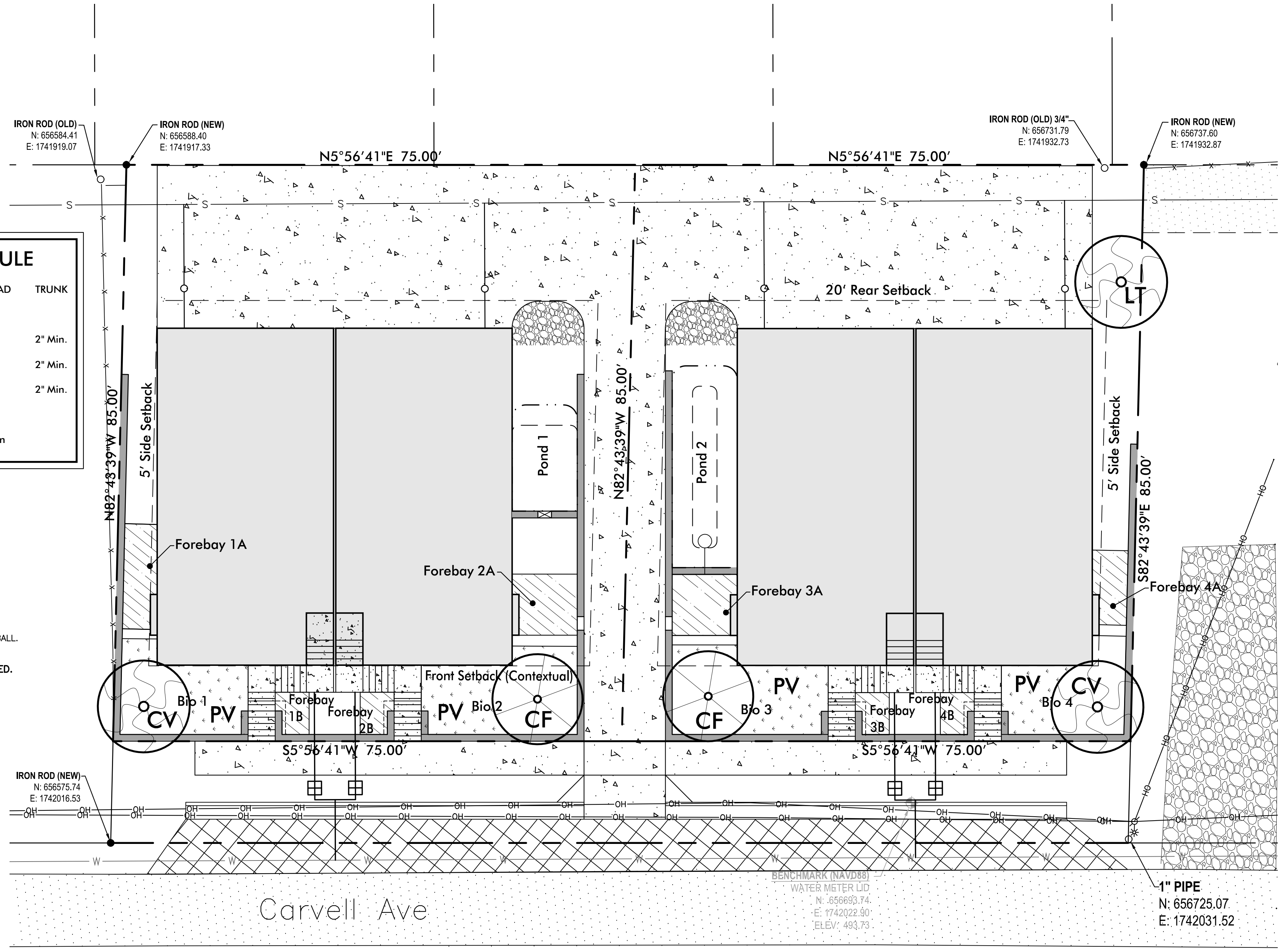
Date: July 27, 2018

OVERALL LANDSCAPE MATERIALS SCHEDULE

KEY	AMOUNT	SCIENTIFIC NAME/ COMMON NAME	HEIGHT	SPREAD	TRUNK
NATIVE TREES					
CF	3	Cornus florida/ Dogwood	6' Min.	2'-3'	2" Min.
CV	2	Chionanthus virginicus/ Fringetree	6' Min.	2'-3'	2" Min.
LT	1	Liriodendron tulipifera/ Tulip Poplar	12'-14'	6'-7'	2" Min.
NATIVE GRASSES					
PV	71	Panicum virgatum/ Switchgrass	Plugs at 48" O.C. in triangular pattern		



DECIDUOUS TREE PLANTING DETAIL



- LANDSCAPE NOTES**
1. THE LANDSCAPE CONTRACTOR SHALL COORDINATE ALL CONSTRUCTION WITH THE APPROPRIATE UTILITY COMPANY AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UTILITIES. THE LANDSCAPE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL UTILITIES AND TAKE PRECAUTIONS TO PREVENT DAMAGE TO THE UTILITIES.
 2. ALL PLANTING AND MULCH BEDS SHALL BE HAND WEEDED OR SPRAYED WITH ROUND-UP (CONTRACTOR'S OPTION) PRIOR TO THE INSTALLATION OF MULCH.
 3. PLANT MATERIALS AND STUMPS INDICATED FOR REMOVAL SHALL BE REMOVED AND DISPOSED OFF-SITE BY THE CONTRACTOR. BACKFILL HOLES WITH TOPSOIL FREE OF ROOTS AND ROCKS.
 4. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE FINE GRADING OF ALL PLANTING AREAS.
 5. ALL PLANTING AREAS SHALL BE FERTILIZED WITH 12#/1000 S.F. OF 10-10-10 FERTILIZER.
 6. ALL PLANTING BEDS SHALL HAVE A MINIMUM OF 3" DEPTH OF SHREDDED HARDWOOD BARK MULCH.
 7. THE LANDSCAPE CONTRACTOR SHALL VERIFY ALL MATERIAL QUANTITIES. IN THE EVENT OF A DISCREPANCY, THE QUANTITIES SHOWN ON THE PLAN WILL TAKE PRECEDENCE.
 8. THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE OWNER WITH WRITTEN INSTRUCTIONS ON THE PROPER CARE OF ALL SPECIFIED PLANT MATERIALS PRIOR TO FINAL PAYMENT.
 9. ALL DISTURBED AREAS SHALL BE PLANTED WITH TURF AS INDICATED ON THE MATERIALS SCHEDULE.
 10. ALL DECIDUOUS TREES, EXISTING AND PROPOSED SHALL BE PRUNED TO PROVIDE 4' MINIMUM CLEAR TRUNK UNLESS OTHERWISE NOTED.
 11. THE LANDSCAPE CONTRACTOR SHALL PROVIDE A ONE YEAR WARRANTY ON ALL PLANT MATERIALS AND REPLACE ANY DEAD OR DYING MATERIAL WITHIN THAT TIME PERIOD.
 12. NO PLANT MATERIALS SHOULD BE SUBSTITUTED WITHOUT AUTHORIZATION BY THE DESIGN PROFESSIONAL. PLANT SIZES SHOWN ARE MINIMUMS REQUIRED BY THE LOCAL MUNICIPALITY AND MATERIALS SHOWN HAVE BEEN SELECTED SPECIFICALLY FOR THIS PROJECT.
 13. ALL WIRE BASKETS SHALL BE COMPLETELY REMOVED AND DISPOSED OF. BURLAP SHOULD BE REMOVED OR PUNCTURED IN AT LEAST 5 PLACES. REMOVE ALL TWINE FROM BURLAPPED MATERIALS.

1704 Carvell Ave
 Tax Map 105-11, Parcel 192
 Nashville, Davidson County, Tennessee

BIORETENTION AREA 1 REQUIREMENTS

COVERAGE REQUIREMENTS:	75% IN TWO YEARS
1 TREE PER 400 SF	1/400 SF 214/400 = 1 TREE*
GROUND COVER/GRASSES	30' O.C. 64/100 X 18.5 = 12 PLUGS
SMALL SHRUBS	3' O.C. 0/100 X 12.8 = 0 SHRUBS
MEDIUM SHRUBS	4' O.C. 0/100 X 7.23 = 0 SHRUBS

*EACH TREE IS CALCULATED TO OCCUPY 150 SF AND SUBTRACTED FROM TOTAL SQUARE FOOTAGE PLANTING REQUIREMENTS FOR SHRUBS AND GROUND COVERS.

BIORETENTION AREA 1 REQUIREMENTS

COVERAGE REQUIREMENTS:	75% IN TWO YEARS
1 TREE PER 400 SF	1/400 SF 277/400 = 1 TREE*
GROUND COVER/GRASSES	30' O.C. 127/100 X 18.5 = 24 PLUGS
SMALL SHRUBS	3' O.C. 0/100 X 12.8 = 0 SHRUBS
MEDIUM SHRUBS	4' O.C. 0/100 X 7.23 = 0 SHRUBS

*EACH TREE IS CALCULATED TO OCCUPY 150 SF AND SUBTRACTED FROM TOTAL SQUARE FOOTAGE PLANTING REQUIREMENTS FOR SHRUBS AND GROUND COVERS.

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*EACH TREE IS CALCULATED TO OCCUPY 150 SF AND SUBTRACTED FROM TOTAL SQUARE FOOTAGE PLANTING REQUIREMENTS FOR SHRUBS AND GROUND COVERS.

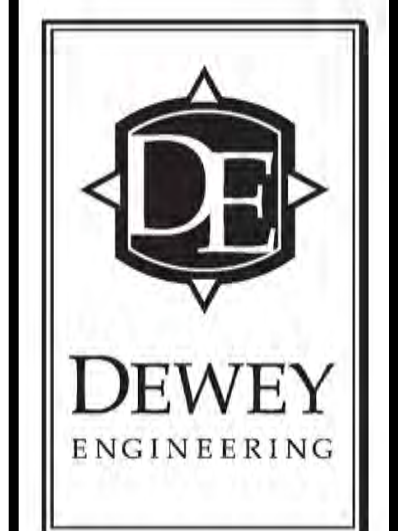
BIORETENTION AREA 1 REQUIREMENTS

COVERAGE REQUIREMENTS:	75% IN TWO YEARS
1 TREE PER 400 SF	1/400 SF 207/400 = 1 TREE*
GROUND COVER/GRASSES	30' O.C. 57/100 X 18.5 = 11 PLUGS
SMALL SHRUBS	3' O.C. 0/100 X 12.8 = 0 SHRUBS
MEDIUM SHRUBS	4' O.C. 0/100 X 7.23 = 0 SHRUBS

*EACH TREE IS CALCULATED TO OCCUPY 150 SF AND SUBTRACTED FROM TOTAL SQUARE FOOTAGE PLANTING REQUIREMENTS FOR SHRUBS AND GROUND COVERS.

BIORETENTION NOTES

LANDSCAPE MATERIALS HAVE BEEN SELECTED FROM THE VOLUME 5 LID MANUAL.
 THE BIORETENTION PLANTING PLAN FOLLOWS A MIXED MEADOW AND ORNAMENTAL PLANTING DESIGN APPROACH.
 SEE CIVIL PLANS FOR SECTION, MEDIA BED SPECIFICATIONS, AND UNDERDRAIN DETAILS.



Landscape Plan

Job No. 17037

L1.0

6 of 6



From: [Sledge, Colby \(Council Member\)](#)
To: [Board of Zoning Appeals \(Codes\)](#)
Cc: [Michael, Jon \(Codes\)](#); [Lamb, Emily \(Codes\)](#)
Subject: BZA positions for Dec. 6 meeting
Date: Tuesday, November 20, 2018 7:31:14 PM

Board members,

You have quite the task ahead of you for this meeting's agenda! Below are my positions on the District 17 items on the Dec. 6 agenda:

2018-522: **Deny**
2018-619: **Strongly deny**
2018-637: **Support**, as applicant has spoken with me
2018-638: **Deny**
2018-644: **Deny**
2018-662: **Strongly deny** based on resident complaints
2018-671: **Deny**
2018-672: **Deny**
2018-677: **Strongly deny**

Thank you, as always, for your service, and Happy Thanksgiving!

Colby

Colby Sledge
Metro Council, District 17
(615) 442-3727
[ColbySledge.com](#)
[Sign up for my weekly newsletter here!](#)

2018-522

From: Michael, Jon (Codes)
To: Shepherd, Jessica (Codes); Lifsey, Debbie (Codes)
Subject: FW: 1704 Carvell BZA Variance
Date: Wednesday, September 26, 2018 2:01:19 PM

By copy of this email, I'm forwarding the email to the staff members who will make sure that the information is included in the case file.

JM.

From: rob@stratosdevelopment.com [mailto:rob@stratosdevelopment.com]
Sent: Wednesday, September 26, 2018 1:15 PM
To: Michael, Jon (Codes)
Subject: 1704 Carvell BZA Variance

Attention: This email originated from a source external to Metro Government. Please exercise caution when opening any attachments or links from external sources.

Good Afternoon John;
I wanted to reach out and let you know we met with Councilman Sledge regarding our request for a variance from the rear load garage requirement on 1704 Carvell Ave. After a site walk and brief rundown, CM Sledge told us he is not opposed to our request for front load garages on the 4 houses to be built here. Should I forward this info to anybody else to be part of the review process? Thanks John,

Rob Cushman | Stratos Development

639 East Main St, Ste. B202
Hendersonville, TN 37075
stratosdevelopment.com

(615) 559-2212
rob@stratosdevelopment.com

From: [Sledge, Colby \(Council Member\)](#)
To: [Board of Zoning Appeals \(Codes\)](#)
Cc: [Lamb, Emily \(Codes\)](#)
Subject: District 17 items for Nov. 15
Date: Thursday, November 8, 2018 12:35:10 PM

Good afternoon, board members,

I hope you're all having a good week. Here's my position on District 17 items on the Nov. 15 agenda:

Case 2018-522: I continue to be **against** this item.

Case 2018-619: I am **strongly against** this appeal to attempt to build without paying into the fund or constructing sidewalks. This is a tough lot to put two homes on to begin with, but that is no excuse. This street lots leads into a high-pedestrian area of the neighborhood, and the sidewalks should be built. The appellant has not contacted me.

Case 2018-620: As noted before, I am **supportive** of this appeal. The appellant has contacted me.

Case 2018-621: I am **supportive** of this appeal. The appellant did an excellent job keeping me informed and holding a community meeting.

Thanks, as always, for doing this job!

Colby

Colby Sledge
Metro Council, District 17
(615) 442-3727
[ColbySledge.com](#)
[Sign up for my weekly newsletter here!](#)

2018-522
OPPOSE

Lifsey, Debbie (Codes)

From: Michael, Jon (Codes)
Sent: Friday, December 14, 2018 2:14 PM
To: Lifsey, Debbie (Codes); Shepherd, Jessica (Codes)
Subject: FW: D17 positions for Dec. 20 meeting

For the file.

From: Sledge, Colby (Council Member)
Sent: Friday, December 14, 2018 2:14 PM
To: Board of Zoning Appeals (Codes)
Cc: Michael, Jon (Codes); Lamb, Emily (Codes)
Subject: D17 positions for Dec. 20 meeting

Good afternoon,

Here are my positions on D17 items before you next week.

- 2018-522: I continue to **oppose** a request for exemption to create front-loading garages on Carvell Ave.
- 2018-644: I **oppose** a setback variance request on 2nd Ave S.
- 2018-709: I **tentatively support** a request for parking requirement variances for a microunit development on Humphreys Ave. The applicant will be at a community meeting on Monday, and I'll want to hear from residents.
- 2018-725: I **strongly oppose** a request not to pay into the sidewalks fund on Wharf Ave.
- 2018-662: I **oppose** a short-term rental permit appeal on West Grove Ave.
- 2018-704: I **oppose** a short-term rental appeal on Summit Ave.

Thank you all, as always, for your service, and I hope you have a great weekend!

Colby

Colby Sledge
Metro Council, District 17
(615) 442-3727
ColbySledge.com
[Sign up for my weekly newsletter here!](#)

2018-566

Metropolitan Board of Zoning Appeals

Metro Howard Building
800 Second Avenue South
Nashville, Tennessee 37210



Appellant : 15th Church Equity Investors
Property Owner: 15th Church Eq Investors
Representative: Lee Molette

Date: 9/5
Case #: 2018-566
Map & Parcel: 92-12/340

Council District 19

The undersigned hereby appeals from the decision of the Zoning Administrator, wherein a Zoning Permit/Certificate of Zoning Compliance was refused:

Purpose: To reduce parking spaces

Activity Type: Residential - Short Term Rental Condos

Location: 1506 Church St Nashville 37203

This property is in the MU1-A Zone District, in accordance with plans, application and all data heretofore filed with the Zoning Administrator, all of which are attached and made a part of this appeal. Said Zoning Permit/Certificate of Zoning Compliance was denied for the reason:

Reason: 17.20.030
Section(s): Variance from parking requirements.

Based on powers and jurisdiction of the Board of Zoning Appeals as set out in Section 17.40.180 Subsection B Of the Metropolitan Zoning Ordinance, a Variance, Special Exception, or Modification to Non-Conforming uses or structures is here by requested in the above requirement as applied to this property.

15th Church Equity Investors
Appellant Name (Please Print)

Lee Molette
Representative Name (Please Print)

1506 Church St #130
Address

1506 Church St #131
Address

Nashville, TN 37203
City, State, Zip Code

Nashville, TN 37203
City, State, Zip Code

(615) 300.7862
Phone Number

(615) 300.7862
Phone Number

lee.fs.developers@gmail.com
Email

lee.fs.developers@gmail.com
Email

Appeal Fee: _____



**Metropolitan Government
of Nashville and Davidson County, Tennessee
Department of Codes and Building Safety
800 Second Avenue South, Nashville, TN 37210**



3556264

**ZONING BOARD APPEAL / CAAZ - 20180056649
Inspection Checklist for Use and Occupancy
This is not a Use and Occupancy Notification**

PARCEL: 09212034000

APPLICATION DATE: 09/05/2018

SITE ADDRESS:

1506 CHURCH ST 100 NASHVILLE, TN 37203
LOTS 61 & 62 & PT LOT 60 STATE PRISON

PARCEL OWNER: 15TH AND CHURCH EQUITY INVESTORS, I

CONTRACTOR:

APPLICANT: 15TH & CHURCH EQUITY INVESTORS
LEE MOLETTE
1506 CHURCH ST
Nashville, TN 37203 615-300-7862

PURPOSE:

TO CONSTRUCT SHORT TERM RENTAL CONDOMINIUM BUILDING WITH 50 ONE BEDROOM UNITS, 2 TWO BEDROOM UNITS AND 2000 SQFT OF RETAIL SPACE ON FIRST FLOOR... ..

REQUEST TO PROVIDE 11 PARKING SPACES FOR PROJECT

REJECTED: 17.20.030 MINIMUM 37 PARKING SPACES REQUIRED (53 SPACES ADJUSTED FOR TRANSIT, PEDESTRIAN ACCESS, PUBLIC PARKING TO 37 SPACES)

*Before a Use and Occupancy Letter can be issued for this project, the following approvals are required.
Inspections Foundation = before concrete poured, Framing = before covering wall and after rough-in inspections.*

There are currently no required inspections

Inspection requirements may change due to changes during construction.

STANDARDS FOR A VARIANCE

The Metropolitan Board of Zoning Appeals may grant variances from the strict application of the provisions of this Zoning Code based upon findings of fact related to the standards in Section 17.40.370. This Section is included as follows:

Physical characteristics of the property - The exceptional narrowness, shallowness or shape of a specific piece of property, exceptional topographic condition, or other extraordinary and exceptional condition of such property would result in peculiar and exceptional practical difficulties to, or exceptional or undue hardship upon the owner of such property.

Unique characteristics - The specific conditions cited are unique to the subject property and generally not prevalent to other properties in the general area.

Hardship not self-imposed - The alleged difficulty or hardship has not been created by the previous actions of any person having an interest in the property after the effective date of this Zoning Code.

Financial gain not only basis - Financial gain is not the sole basis for granting the variance.

No injury to neighboring property - The granting of the variance will not be injurious to other property or improvements in the area, impair an adequate supply of light and air to adjacent property, or substantially diminish or impair property values within the area.

No harm to public welfare - The granting of the variance will not be detrimental to the public welfare and will not substantially impair the intent and purpose of this Zoning Code.

Integrity of Master Development Plan - The granting of the variance will not compromise the design integrity or functional operation of activities or facilities within an approved Planned Unit Development.

The Board shall not grant variances to the land use provisions of Section 2.3, the density of Floor Area Ratio (FAR) standards of Tables 3-B and 3-C, nor the required size of residential lots approved by the Planning Commission under the authority of Section 3.7 (Lot Averaging), Section 3.8 (Cluster Lot Option) or Section 9.B.3 (PUD). Further the Board shall not act on a variance application within a Planned Unit Development (PUD), Urban Design Overlay or Institutional Overlay district without first considering a recommendation from the Planning Commission.

In simple terms, for the Board to grant you a variance in the zoning ordinance, you must convey to the Board what your hardship is. Hardships are narrowness, shallowness, irregular shape, and topography of property. The Board can also consider other practical difficulties such as mature trees, easements, and location of disposal systems which can affect your plan. Consideration can be given to the characteristics of the neighborhood and the way it is developed. One or more of these conditions MUST affect your inability to build or occupy the property to prove your case.

At the public hearing, please be prepared to tell the Board what your hardship is, why you can not build in accordance with zoning without requesting a variance and why you feel you have a legitimate hardship.

The Board can not grant a variance based solely on an inconvenience to the applicant nor solely on a financial consideration. It is incumbent on you as the appellant to complete this form by conveying a HARDSHIP as outlined. At the meeting it is important that you explain this hardship as effectively as possible.

WHAT SPECIFIC AND UNIQUE CIRCUMSTANCES (HARDSHIP) EXIST THAT WOULD AUTHORIZE THE CONSIDERATION OF THE BOARD UNDER THE REVIEW STANDARDS AS OUTLINED?

See Attached.

Frank Stanton Developers, LLC**1506 Church St #130****Nashville, TN 37203****(615) 600.7862****8.31.18****Re: Variance Request**

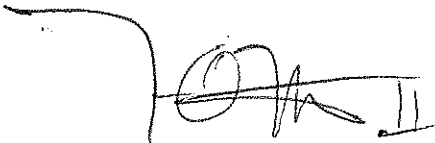
Dear Zoning Appeals Board

The property at 1506 Church is being developed as a Short-term rental condominium building. We are appealing to have the required parking requirement of 53 spaces reduced to 11. This requirement burdens the development with significant excessive parking requirements. We will submit supporting documentation and studies prior to our hearing. However, with the growth of ride-share and other alternative means of transportation including buses, most visitors are no longer driving. Therefore, they do not require as much parking. Our location is within walking distance of the majority of Nashville's entertainment districts & venues for our guests.

This reduction will allow us to create a more pedestrian friendly environment while avoiding both above grade parking and un-utilized building areas.

We respectfully submit this appeal for your consideration.

Warm regards

A handwritten signature in black ink, appearing to read 'Lee O. Molette, II', with a large, stylized initial 'L' and 'M'.

Lee O. Molette, II

President

- GENERAL NOTES - FLOOR PLAN**
1. REFER TO ALL NOTES TO FACE OF WALL UNLESS NOTED OTHERWISE.
 2. SEE STRUCTURAL DRAWINGS FOR LOCATION OF ALL REINFORCING BARS AND EMBEDMENTS. PROVIDE ALL REINFORCING BARS WITH PROPER HOOKS AND DEVELOPMENT LENGTHS. PROVIDE ALL REINFORCING BARS WITH PROPER BENDS AND DEVELOPMENT LENGTHS. PROVIDE ALL REINFORCING BARS WITH PROPER BENDS AND DEVELOPMENT LENGTHS. PROVIDE ALL REINFORCING BARS WITH PROPER BENDS AND DEVELOPMENT LENGTHS.
 3. SEE ELECTRICAL DRAWINGS FOR LOCATION OF ALL ELECTRICAL PANELS AND EQUIPMENT. PROVIDE ALL ELECTRICAL PANELS AND EQUIPMENT WITH PROPER CLEARANCES AND PROTECTIVE DEVICES. PROVIDE ALL ELECTRICAL PANELS AND EQUIPMENT WITH PROPER CLEARANCES AND PROTECTIVE DEVICES. PROVIDE ALL ELECTRICAL PANELS AND EQUIPMENT WITH PROPER CLEARANCES AND PROTECTIVE DEVICES.
 4. SEE MECHANICAL DRAWINGS FOR LOCATION OF ALL MECHANICAL EQUIPMENT AND DUCTS. PROVIDE ALL MECHANICAL EQUIPMENT AND DUCTS WITH PROPER CLEARANCES AND PROTECTIVE DEVICES. PROVIDE ALL MECHANICAL EQUIPMENT AND DUCTS WITH PROPER CLEARANCES AND PROTECTIVE DEVICES. PROVIDE ALL MECHANICAL EQUIPMENT AND DUCTS WITH PROPER CLEARANCES AND PROTECTIVE DEVICES.
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- CODED NOTES - FLOOR PLAN**
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WALL PATTERN LEGEND

Symbol	Description
[Pattern]	CONCRETE WALL
[Pattern]	CMU WALL
[Pattern]	BRICK WALL
[Pattern]	GLASS WALL
[Pattern]	WOOD WALL
[Pattern]	OTHER WALL

Symbol	Description
[Symbol]	DOOR
[Symbol]	WINDOW
[Symbol]	STAIR
[Symbol]	ELEVATOR
[Symbol]	MECHANICAL EQUIPMENT
[Symbol]	ELECTRICAL EQUIPMENT
[Symbol]	PLUMBING EQUIPMENT
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Symbol	Description
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[Symbol]	PLUMBING EQUIPMENT
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[Symbol]	PLUMBING EQUIPMENT

Church Street Residences
188 Church Street
Memphis, TN 38103

Frank Stanton Development

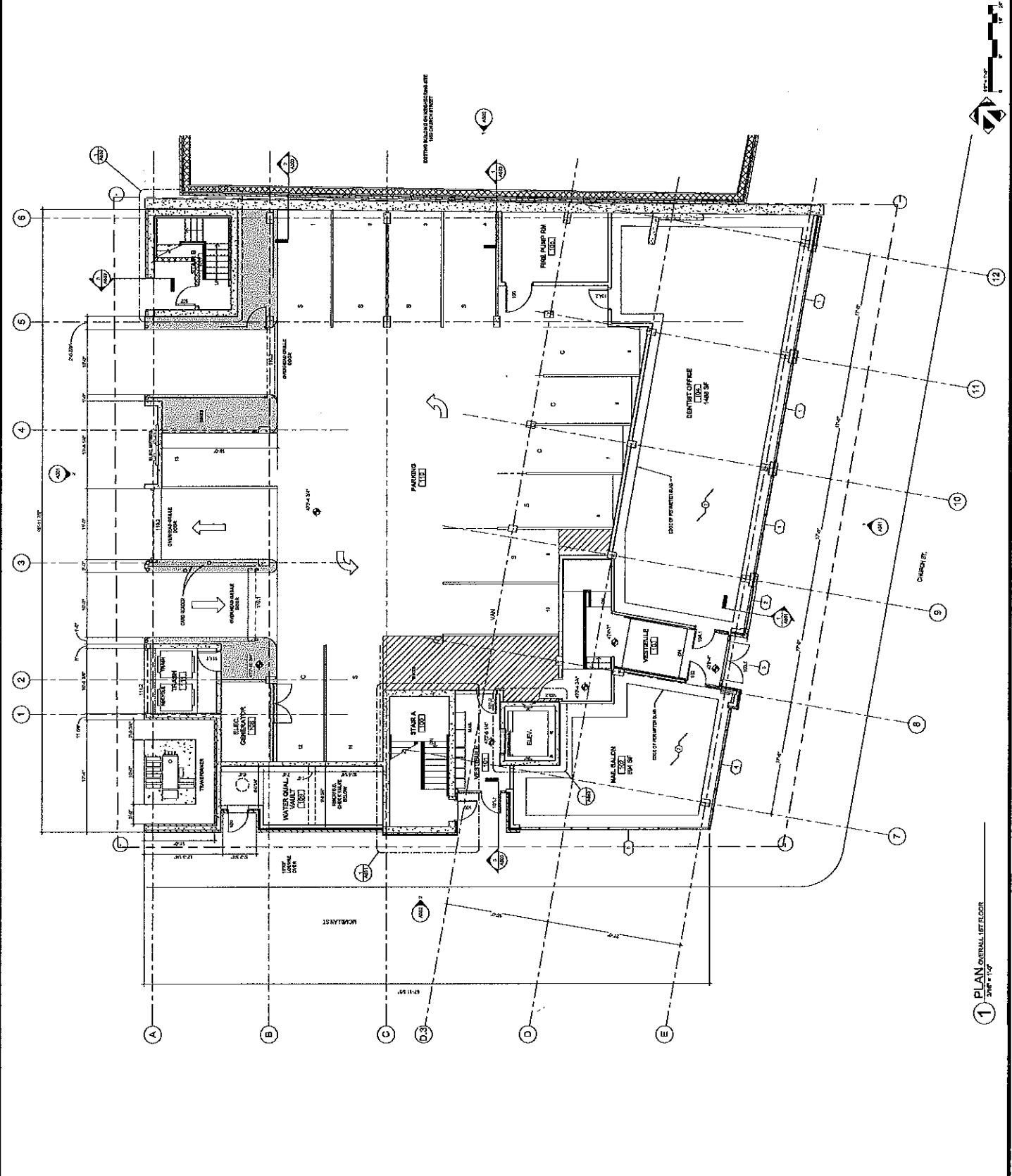
MOODY-NOLAN
RESPONSIVE ARCHITECTURE
1408 Broadway
Memphis, TN 38103
Phone: (901) 526-0000
www.moody-nolan.com

PROGRESS DRAWING
NOT FOR CONSTRUCTION

Doc. Control: AutoCAD
Title: Civil - Other
#14188.01

OVERALL FIRST FLOOR PLAN
100% CD CHECKSET

06/05/2017



Frank Stanton Developers, LLC**1506 Church St #130****Nashville, TN 37203****(615) 600.7862****10.14.18****Re: Variance Request Case #2018-566**

Dear Zoning Appeals Board


The property at 1506 Church is being developed as a Short-term rental condominium building. We are appealing to have the required parking requirement of 37 spaces reduced to 11. This requirement burdens the development with significant excessive parking requirements. In support of our request, we have provided the following:

- A letter from a seasoned short-term rental management company
- A parking study used to secure a similar request a couple of blocks away
- Several pictures of nearby free and pay parking within 10-500 feet from the site

This reduction will allow us to create a more pedestrian friendly environment while avoiding both above grade parking and un-utilized building areas. Furthermore, this aligns with Metro's objective to promote the use of alternative means of transportation. Finally, urban planners are advising developers we should plan for fewer drivers and even build garages so that can be converted to office or other uses. Especially in neighborhoods like Church Street.

We respectfully submit this appeal for your consideration.

Warm regards



Lee O. Molette, II

President



A Luxury Vacation Rental Management Company

806 Third Avenue South, Nashville, Tennessee 37210

Mr. Lee O Molette II, President
Frank Stanton Developers, LLC
533 Church Street #130
Nashville, Tn 37219

Dear Lee:

It was great speaking with you and discussing our experience with parking for vacation rentals in downtown Nashville. As you know we have managed properties in downtown for over five years. We believe that we understand the market.

After our discussion, I went back and confirmed our experience with downtown guests that stay in our properties. Approximately 30% of the visitors to our properties require parking for their stay. In one building on Second Avenue North, we have 15 units, and we offer parking for guests renting those units. However, we only secured 8 dedicated spaces for the 15 units. We also have additional spaces for the other guests that stay in other downtown properties. In three years of offering these parking options, we have not used all the spaces at one time.

Having nearby pay parking lots and some small percentage of dedicated spaces for guests to purchase would be my recommendation, based on our experience. Please let me know, if we can assist you further.

Sincerely,

Alfonzo Alexander
Chief Executive Officer



Graduate Parking Demand



6/31/2017

Table
Project: Graduate
Description: Mixed-use Development

SHARED PARKING DEMAND SUMMARY

PEAK MONTH: AUGUST - PEAK PERIOD: 9 PM, WEEKEND

Land Use	Project Data Quantity Unit	Weekday					Weekend					Weekday			Weekend		
		Base Rate	Mode Adj	Non-Captive Ratio	Project Rate	Unit	Base Rate	Mode Adj	Non-Captive Ratio	Project Rate	Unit	Peak Hr Adj 9 PM	Peak Mo Adj August	Estimated Parking Demand	Peak Hr Adj 9 PM	Peak Mo Adj August	Estimated Parking Demand
Peak-Leisure	200 Rooms	0.90	0.35	1.00	0.32	Rooms	1.00	0.35	1.00	0.35	Rooms	0.95	1.00	61	0.95	1.00	67
Restaurant/Lounge	5,800 sq GLA	10.00	0.20	0.63	3.00	sq GLA	10.00	0.20	0.60	3.00	sq GLA	0.67	0.99	12	0.67	0.99	12
Conference Ctr/Banquet (20 to 50 sq ft/gst)	7,500 sq GLA	30.00	0.50	0.25	3.75	sq GLA	30.00	0.50	0.25	3.75	sq GLA	1.00	1.00	28	1.00	1.00	28
Employee		0.25	0.50	1.00	0.13	Rooms	0.18	0.60	1.00	0.09	Rooms	0.20	1.00	5	0.55	1.00	10
ULI base data have been modified from default values.											Customer Employee Reserved		101	Customer Employee Reserved		107	
											Total		106	Total		117	

Our review includes both the Nashville Code requirement for a project in the UZO district as well as the "market demand" as prepared by Hastings Architecture. Also, as a comparison of these two methods of determining parking demand, we have also prepared an estimate of the parking needed for the Graduate using the Urban Land Institute's Shared Parking Model. This model allows for using the ULI established baselines for parking demand but also incorporating the variables unique for each development. The variables to be used in the model include estimates of how many of the hotel guests will use alternative methods of transportation to arrive at the hotel (other than personal or rented automobile) and how many of the customers of the restaurant/ bar and meeting space will also be guests of the hotel and therefore not generate additional parking demand. My analysis (using the ULI model) projects the following peak parking demand for the Hotel:

- Hotel - 67 Spaces
 - Employee - 10 Spaces
 - Restaurant/Bar - 12 Spaces
 - Meeting - 28 Spaces
- TOTAL - 117 Spaces

Please note that the variables used in the calculations are based upon our own experience and empirical data of similar product hotels and also reflect the local conditions of this Nashville area.

Using the ULI model calculations and our experience the results are that the estimate for parking demand aligns with the market demand as prepared by Hastings Architecture and that building the requirement per the Nashville UZO code would result in excessive parking supply and the negative impact of wasted land resources, unnecessary maintenance and capital repair/replacement costs.

Please let me know if we can provide further information or clarification for our analysis.

Thanks,

Ryan

Ryan Hunt / COO - Partner / 615-554-7472 / ryan.hunt@premierparking.com

Premier Parking Office: 615-238-2250

421 Church Street / Nashville, TN 37219 / www.premierparking.com

NASHVILLE HOTELS ANALYSIS

DRIVE UP

DRIVE UP

55 PARKING SPACES 44%

68 PARKING SPACES 30%

74 PARKING SPACES 41%

25 PARKING SPACES 20%

HOTEL

FAIRFIELD INN & SUITES/THE GULCH

THOMPSON NASHVILLE

KIMPTON AERTSON

ZIC NASHVILLE

ROOMS

126

224

180

124

AVERAGES

hotel occupancy: 60%

overnight valet rate: \$35

drive up ratio: 30%

BEFORE THE METROPOLITAN BOARD OF ZONING APPEALS

RE: HP Architecture APPEAL CASE 2017-272
 2000 West End Avenue
 Map: 92-16 Parcel: 4
 Zoning Classification: MUI-A

ORDER

This matter came to be heard in public hearing on 11/16/2017, before the Metropolitan Board of Zoning Appeals, upon application for a variance from parking requirements to reduce parking spaces from 202 to 117.

Based upon the entire record as recorded on the video recording and contained in the file, from all of which the Board finds that:

- 1) Proper legal and written notice of the public hearing had been complied with as set forth in Section 17.40.720 of the Metropolitan Code.
- 2) The appellant sought this permit under Section 17.40.180 (B) of the Metropolitan Code.
- 3) The appellant HAS satisfied all of the standards for a variance under Section 17.40.370 of the Metropolitan Code.

It is therefore, ORDERED by the Metropolitan Board of Zoning Appeals that the appellant's request shall be Granted.

UPON MOTION BY: David Ewing

Seconded by: Cynthia Chappell

Ayes: David Taylor, Richard King
 Nays: Christina Karpyneco, David Harper
 Abstaining:
 Absent: Alma Sauford

ENTERED THIS 20th DAY OF November, 2017

METROPOLITAN BOARD OF ZONING APPEALS



 Chair



 Secretary

10/12/2018

Up to 15 parking spaces

available in adjacent development

Alto Case # 2018-566

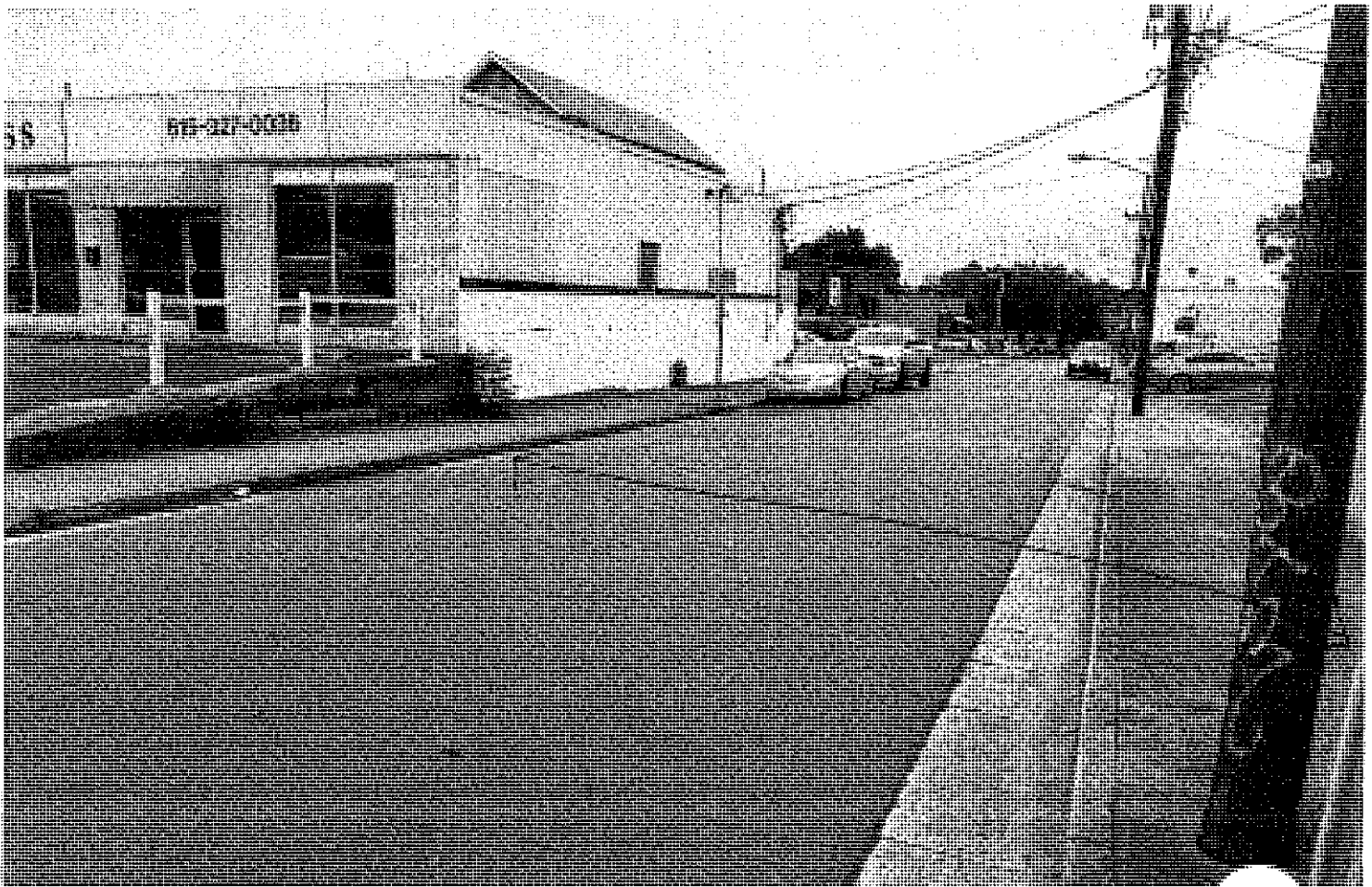
Photo - Google Photos



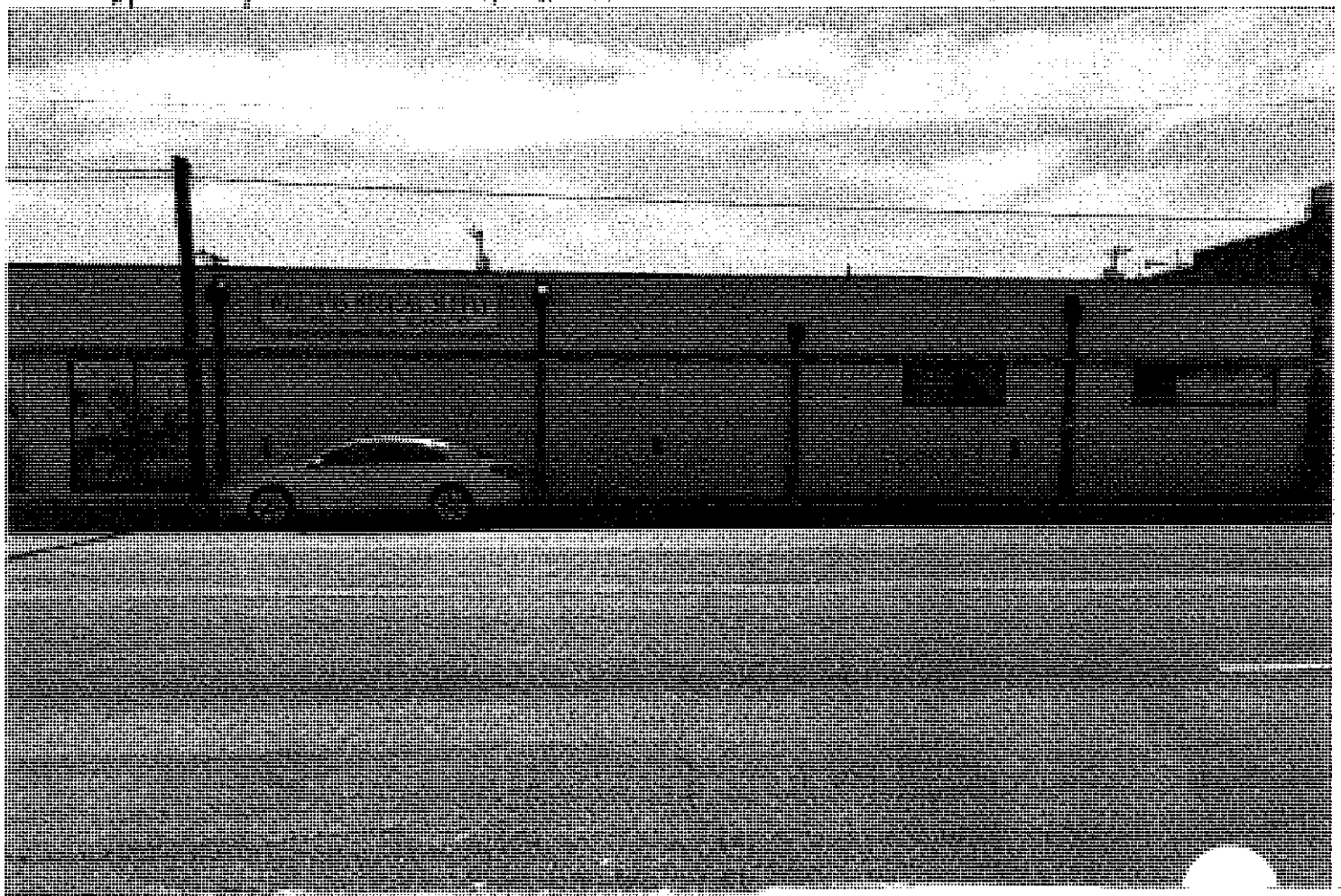
8+ parking spaces on McMillan. Contracts is at Church & McMillan

10/12/2018

Photo - Google Photos



unmarked parking meters directly across the street (Church Street)



10/12/2018

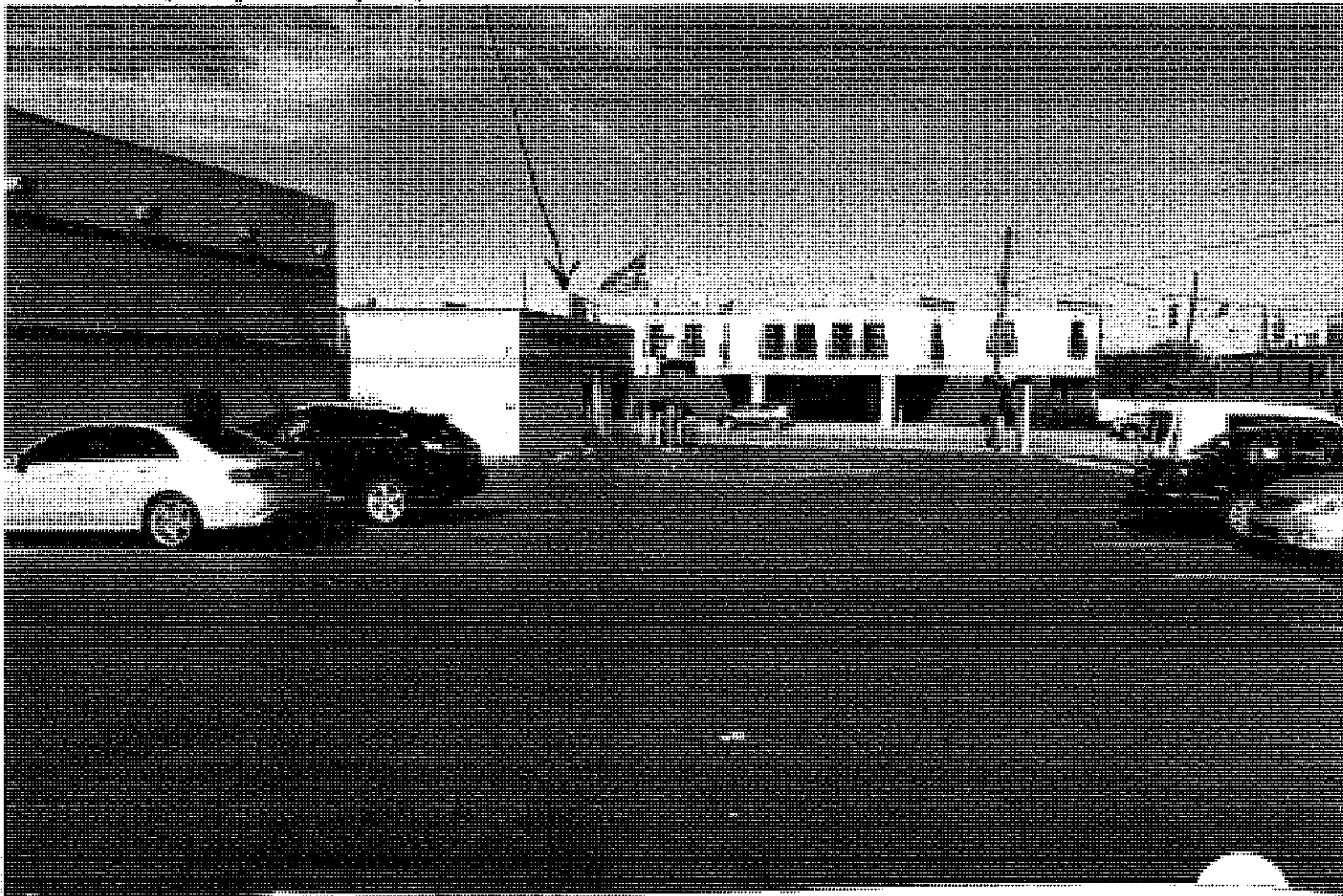
Photo - Google Photos

20 parking spaces across the street

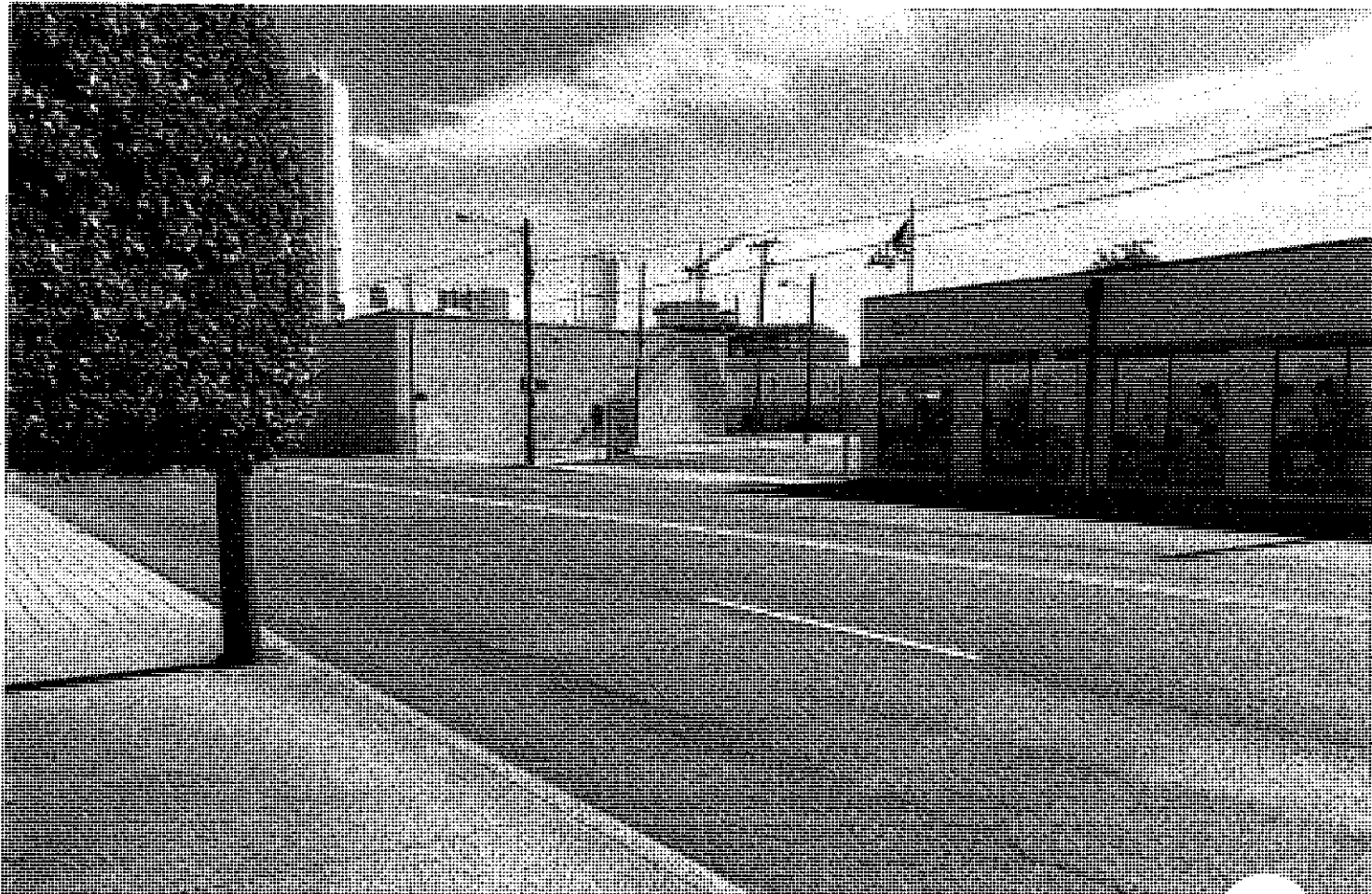


Church Street

10/12/2018 33 pay parking spaces across the street



10/12/2018 33 pay parking spaces across the street
Photo - Google Photos



Support

Lifsey, Debbie (Codes)

From: Justin W. Leach <jleach@mckenzielaird.com>
Sent: Monday, October 1, 2018 1:05 PM
To: Board of Zoning Appeals (Codes)
Subject: 2018-566 / 15th & Church Equity Investors

To Whom It May Concern:

I am a neighbor to the subject property owner. I own a historic home located at 227 15th Avenue North, and I support the appellant's request for a variance from parking requirements. This neighborhood needs more thoughtful development like that contemplated by the appellant.

Please feel free to contact me with any questions. Thank you.

Sincerely,
Justin Leach

oppose

Lifsey, Debbie (Codes)

From: Ann Braun <abraun@essnashville.com>
Sent: Wednesday, October 17, 2018 2:16 PM
To: Board of Zoning Appeals (Codes)
Subject: CAAZ 20180056649 Zoning Appeal for 1506 Church Street

Importance: High

To whom it may concern, I sent a letter to your department via USmail on our company letterhead just after I received your notice about this appeal. I want to make sure you got my letter since I am not sure if I will be able to attend the hearing tomorrow. I am pasting the full text below, but I would also like to add more points. The empty lot at 1506 Church Street is presently a significant parking resource for the neighborhood. Once that is gone, the remaining public parking will be even more limited than it is now. Furthermore, I have also heard that the big parking lot owned by Jim Reed is now going to be used for staging equipment for the big tower being built on the Palmer property, so that is yet another parking resource that will be eliminated placing even more strain on local parking resources. Mr. Mollette is extremely aware of the parking challenges in this neighborhood because he has been part of the discussions between myself and other local business owners. I have asked him multiple times why he isn't building a parking garage. I was absolutely astounded that he requested this variance under the circumstances. He is very well aware of the problems we have had here. Furthermore, he also knows about the problems that Déjà vu has had here and persists with this plan nevertheless. As an example of the many problems we have experienced here, Mr Mollette personally witnessed an individual being beaten one night in the street next to his lot by a mob of people that included Déjà vu personnel. He was very afraid that the poor man would get killed, so he yelled that he was going to call the cops and the crowd dispersed. The victim did not press charges, so nothing could be done about what happened, but I can't understand why he thinks his vacation rental plan is a viable one given the level of criminal activity in the neighborhood.

Here is the original text of the letter I sent:

We are in receipt of your notice dated September 11th regarding the zoning appeal for a variance from the parking requirements. At this time, we must very firmly state our opposition to the parking variance. ESS owns a lot immediately adjacent to this lot (ours is on McMillin Street and shares the alley with the lot in question), and we already struggle greatly to keep others from parking in our spaces. It is an enormous problem. We frequently have vehicles towed. We have no parking and no trespassing signs. We have also erected physical barriers to try to keep others from parking or trespassing on our lot when we are not here. Nevertheless, people will move those barriers and enter the lot anyway. In one case, a man drove his vehicle over one of our barriers and dragged it down the street. He saw it, stopped and drove over it anyway. It is inevitable that the occupants of this building will need more than 11 spaces and will attempt to use ours and those belonging to others nearby. I see that the regular parking requirements were already reduced to 37 from 53 because of pedestrian access, public transportation access and access to public parking. However, the public parking options in the area are extremely limited and already overwhelmed by the demands of existing businesses – most notably the Déjà vu Gentleman's Club already located on 15th Avenue. Mr. Mollette is very well aware of the problems we and other businesses have experienced because we have been communicating with each other about it via email. He is extremely aware that there is not enough parking in the neighborhood. As it is, the entire project is extremely ill advised. The very notion of locating an entire building full of short term rental units right across the street from a strip club is not a good idea at all. It would inevitably become a haven for a myriad of various criminal activities. Such a location would not attract desirable short term rental guests and would attract extremely unsavory guests. As it is, other local businesses have had to tolerate drug use and fornication in their parking lots and fire escapes. If this short term rental building were present, it would become a haven for prostitution and illegal drugs. It is my understanding that this short term rental building is in compliance with the STRP regulations as presently written, but I think that this is not a desirable project for the neighborhood or the city. A parking variance would impose undue

hardship and inconvenience for existing businesses and residents. Therefore, absolutely no parking variances should be granted under any circumstances.

Sincerely,

Ann E. Braun
Owner/President
"The Headset Lady"

E.S.S., Inc.

203 McMillin Street

Nashville TN 37203

Ph: 615-340-9033

Fax: 615-340-9642

Cell: 615-305-9931

Email: ABraun@essnashville.com

2018-566
oppose



E.S.S., Inc.
203 McMillin St. • Nashville, TN 37203-2912
(615) 340-9033 • Fax (615) 340-9642
www.essnashville.com

September 27, 2018

RE: Appeal Case Number: 2018-566
1506 Church Street 100
Map parcel 09212034000

To whom it may concern,

We are in receipt of your notice dated September 11th regarding the zoning appeal for a variance from the parking requirements. At this time, we must very firmly state our opposition to the parking variance. ESS owns a lot immediately adjacent to this lot (ours is on McMillin Street and shares the alley with the lot in question), and we already struggle greatly to keep others from parking in our spaces. It is an enormous problem. We frequently have vehicles towed. We have no parking and no trespassing signs. We have also erected physical barriers to try to keep others from parking or trespassing on our lot when we are not here. Nevertheless, people will move those barriers and enter the lot anyway. In one case, a man drove his vehicle over one of our barriers and dragged it down the street. He saw it, stopped and drove over it anyway. It is inevitable that the occupants of this building will need more than 11 spaces and will attempt to use ours and those belonging to others nearby. I see that the regular parking requirements were already reduced to 37 from 53 because of pedestrian access, public transportation access and access to public parking. However, the public parking options in the area are extremely limited and already overwhelmed by the demands of existing businesses – most notably the Déjà vu Gentleman's Club already located on 15th Avenue. Mr. Mollette is very well aware of the problems we and other businesses have experienced because we have been communicating with each other about it via email. He is extremely aware that there is not enough parking in the neighborhood. As it is, the entire project is extremely ill advised. The very notion of locating an entire building full of short term rental units right across the street from a strip club is not a good idea at all. It would inevitably become a haven for a myriad of various criminal activities. Such a location would not attract desirable short term rental guests and would attract extremely unsavory guests. As it is, other local businesses have had to tolerate drug use and fornication in their parking lots and fire escapes. If this short term rental building were present, it would become a haven for prostitution and illegal drugs. It is my understanding that this short term rental building is in compliance with the STRP regulations as presently written, but I think that this is not a desirable project for the neighborhood or the city. A parking variance would impose undue hardship and inconvenience for existing businesses and residents. Therefore, absolutely no parking variances should be granted under any circumstances.

Sincerely,

A handwritten signature in black ink, appearing to read "Ann E. Braun", written over a horizontal line.

Ann E. Braun
Owner & President, ESS Inc.

oppose

Lifsey, Debbie (Codes)

From: Linda Schipani <cralms@aol.com>
Sent: Thursday, October 4, 2018 3:33 PM
To: Board of Zoning Appeals (Codes)
Subject: Appeal Case # 2018-566

To: Metropolitan Board of Zoning Appeals,

I am writing to voice my opposition regarding the variance request by Mr. Lee Molette/ 15th & Church Equity Investors. As we are all painfully aware of the parking issues in our area, I find it inconceivable Mr. Molette would think he could build a short term rental condominium and retail with only 11 parking spaces! I own the parking lot running parallel to the back of proposed building site and need parking for my employees and patients. If there are only 11 parking spaces, my lot would be constantly used by over-night guest and patrons/employees of the potential retail offerings. Even if every unit were filled with shared riders (and this would never be the situation), there would not be enough parking for employees of the retail area much less their customers.

As I understand, most variance request REQUIRE a hardship. What is his specific hardship? I would respectfully ask the hardship to be clearly defined before the board votes.

Also, is the building approved for a condo or is it short term rentals? The proposed building's actual use is stated as an short term rental like VRBO, AirBnB etc. This would be more like a hotel than a residential development. What evidence is there that short-term rental one-bedroom condos would be occupied by people who don't rent/drive cars? How many parking spaces /room are required by hotels?

I am aware the city does allow properties to provide parking as required by codes off-site within a reasonable distance. Why is this property different from these others and why wouldn't the property owner be required to secure parking elsewhere if it's not incorporated in the site?

Lastly, the zoning board should take into consideration the structure of the deeds/condo association rules. Are the rentals restricted to less than 28 days and also are there restrictions regarding condos from being "owner-occupied". What happens if the condo association changes these rules and allows owners to occupy the units? Where is the parking then?

Again, I am apposed to permit # 20180056649/appeal case # 2018-566. I would appreciate your consideration.

Sincerely,
Linda

Linda Moore Schipani, MSN, RN
President & CEO
Clinical Research Associates, Inc.
1500 Church Street
Nashville, TN 37203

oppose

Lifsey, Debbie (Codes)

From: Patrick Schipani <phschipani@aol.com>
Sent: Friday, October 5, 2018 11:24 AM
To: Board of Zoning Appeals (Codes)
Subject: Appeal Case Number 2018-566

Jon Michael, Zoning Administrator

METRO BOARD OF ZONING APPEALS

My wife and I are Frank Moore Holdings, owners of the building at 1500 Church St. that is adjacent to this proposed project. We are opposed to any variance for parking as requested for 1506 Church St. All parking presently in the area is private except on street parking. The demand for this parking is already beyond capacity. We are opposed to this variance as it will create illegal parking on our property and the surrounding neighbors. We are not in the core business district that has many public parking garages available for those businesses.

There are no physical or unique characteristics associated with 1506 Church St. that we feel would justify the granting of this proposed variance. We see none listed on the application nor are there any visible unique characteristics at the property.

The VRBO as requested is something like a private residence/hotel. This will bring many renters and their visitors into the area looking for parking even though some will use taxis or Uber/Lyft. The retail will also attract customers along with the employees that will need parking. We need our parking for the employees and staff at 1500 Church.

We feel that if adequate parking is not required it will cause injury to our property and require constant monitoring of illegal parking. We all want to be neighborly.

Church St. is a busy road and the alley in the rear needs to remain open to traffic at all times as we all use it several times a day. I cannot imagine all the renters, customers, employees, repairmen, etc. converging onto 11 parking spaces.

Mr. Lee Molette is a good man and has been a good neighbor to us all. We are not against his project, just very much opposed to the parking variance and the injury it will cause to the neighborhood.

We are opposed to granting any variance as requested in: Appeal Case Number 2018-566.

Thank You

Patrick Schipani
Frank Moore Holdings
1500 Church St./221, 223 15th Ave North. 37203
615.969.0829

Metropolitan Board of Zoning Appeals

Metro Howard Building
800 Second Avenue South
Nashville, Tennessee 37210

METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY



Appellant: Alex Stevenson B/A Date: 9/24/18

Property Owner: DONALD & JOY BRUCE Case #: 2018- 594

Representative: Alex Stevenson
#43729 Map & Parcel: 087100A00400C0

Council District 12

The undersigned hereby appeals from the decision of the Zoning Administrator, wherein a Zoning Permit/Certificate of Zoning Compliance was refused:

Purpose: RESIDENTIAL CONSTRUCTION
ROOF/COVER OVER PATIO

Activity Type: RESIDENTIAL, COVERED PATIO'

Location: 112 AARON'S CROSS BLVD

This property is in the CLUSTER ES.7.5 Zone District, in accordance with plans, application and all data heretofore filed with the Zoning Administrator, all of which are attached and made a part of this appeal. Said Zoning Permit/Certificate of Zoning Compliance was denied for the reason:

Reason: ROOF OVER PATIO TO BE 3' FROM REAR

Section(s): 17.12.020A

Based on powers and jurisdiction of the Board of Zoning Appeals as set out in Section 17.40.180 Subsection B Of the Metropolitan Zoning Ordinance, a Variance, Special Exception, or Modification to Non-Conforming uses or structures is here by requested in the above requirement as applied to this property.

Thomas Halbert
Appellant Name (Please Print)

192725 Lebanon Rd

Alex Stevenson
Representative Name (Please Print)

2770 S. Rutland Rd
Address

Mt. Juliet, TN 37122
City, State, Zip Code

615-513-5792
Phone Number

Alex4UK@AOL.com
Email

Appeal Fee: _____

Minchey's
LANDSCAPING & DESIGN CENTER, INC.
Lighting • Irrigation • Sod & Overseeding • Mowing • Lawn Maintenance
Excavation Services • Pools & Pool Houses • Fences • Garages
Fireplaces • Outdoor Kitchens

Tommy Halbert
President
tehalbert@mincheys.com
Cell (615) 613-6519
www.MINCHEYS.COM
Office (615) 758-2928
Fax (615) 758-8222
10425 Lebanon Road
Mt. Juliet, TN 37122



**Metropolitan Government
of Nashville and Davidson County, Tennessee
Department of Codes and Building Safety
800 Second Avenue South, Nashville, TN 37210**



3562122

**ZONING BOARD APPEAL / CAAZ - 20180050482
Inspection Checklist for Use and Occupancy
This is not a Use and Occupancy Notification**

PARCEL: 087100A00400CO

APPLICATION DATE: 09/24/2018

SITE ADDRESS:

112 AARONS CRESS BLVD HERMITAGE, TN 37076

LOT 104 AARONS CRESS PHASE 1A

PARCEL OWNER: BRUCE, DONALD & JOY

CONTRACTOR:

APPLICANT:**PURPOSE:**

TO EXTEND EXISTING PATIO TO 19'X21'-6" WITH NEW 19'X21'-6" ROOF OVER PATIO... ..TO REMAIN OPEN... ..

REJECTED: PER 17.12.020A MINIMUM 20' SETBACK REQUIRED...

REQUEST: TO CONSTRUCT ROOF OVER PATIO 17' INTO SETBACK AREA FOR 3' REAR SETBACK

*Before a Use and Occupancy Letter can be issued for this project, the following approvals are required.
Inspections Foundation = before concrete poured, Framing = before covering wall and after rough-in inspections.*

There are currently no required inspections

Inspection requirements may change due to changes during construction.

JESSICA

STANDARDS FOR A VARIANCE

The Metropolitan Board of Zoning Appeals may grant variances from the strict application of the provisions of this Zoning Code based upon findings of fact related to the standards in Section 17.40.370. This Section is included as follows:

Physical characteristics of the property - The exceptional narrowness, shallowness or shape of a specific piece of property, exceptional topographic condition, or other extraordinary and exceptional condition of such property would result in peculiar and exceptional practical difficulties to, or exceptional or undue hardship upon the owner of such property.

Unique characteristics - The specific conditions cited are unique to the subject property and generally not prevalent to other properties in the general area.

Hardship not self-imposed - The alleged difficulty or hardship has not been created by the previous actions of any person having an interest in the property after the effective date of this Zoning Code.

Financial gain not only basis - Financial gain is not the sole basis for granting the variance.

No injury to neighboring property. - The granting of the variance will not be injurious to other property or improvements in the area, impair an adequate supply of light and air to adjacent property, or substantially diminish or impair property values within the area.

No harm to public welfare - The granting of the variance will not be detrimental to the public welfare and will not substantially impair the intent and purpose of this Zoning Code.

Integrity of Master Development Plan - The granting of the variance will not compromise the design integrity or functional operation of activities or facilities within an approved Planned Unit Development.

The Board shall not grant variances to the land use provisions of Section 2.3, the density of Floor Area Ratio (FAR) standards of Tables 3-B and 3-C, nor the required size of residential lots approved by the Planning Commission under the authority of Section 3.7 (Lot Averaging), Section 3.8 (Cluster Lot Option) or Section 9.B3 (PUD). Further the Board shall not act on a variance application within a Planned Unit Development (PUD), Urban Design Overlay or Institutional Overlay district without first considering a recommendation from the Planning Commission.

APPLICATIONS FOR VARIANCE REQUESTS

After your appeal is filed, Zoning staff will visit the site to take photographs for the Board members so that they will have a better idea of the nature of your request. Zoning staff will notify the district councilmember of the hearing. You will be responsible for preparing the envelopes and notices for mailing to the owners of property within 600 feet of the property at issue in this case. The envelopes must include the return address for the BZA and the case number. Fold and insert the notices into envelopes, seal the envelopes, and apply first class postage. These neighbor notices must be delivered to Zoning staff at least twenty-three (23) days before the public hearing. Additionally, you will be responsible for purchasing, posting, and removing the red Zoning Appeal signs for the subject property. (See attached Metro Code of Laws requirements regarding sign placement.)

The day of the public hearing, it will be your responsibility to convey to the Board the nature of the hardship in your request that makes it difficult/impossible for you to comply with the Zoning Code. It would be to your benefit to let your neighbors know about your request prior to all notices being sent to them from our office.

Any party can appeal the Board's decision to Chancery or Circuit Court within sixty (60) days from the date the order in the case is entered. Should your request be granted, we would remind you that it is your responsibility to obtain the permit for which you have applied. You should also be aware that you have two (2) years to obtain the permit or you would have to re-file your request with the Board.

Once your request is filed, the staff will review your request to verify that the submittal is complete. Incomplete submittals will not be scheduled for a hearing until complete.

Any correspondence to the Board must be submitted to our office by noon, the Monday prior to the public hearing to be included in the record. You must provide eight (8) copies of your information to staff.

We hope that this information will be of help to you in understanding the variance procedure and if our office can be of further assistance, please do not hesitate to contact us.

METROPOLITAN BOARD OF ZONING APPEALS (615) 862-6530

I am aware that I am responsible for posting and also removing the sign(s) after the public hearing.

Thomas Hallett

APPELLANT

9-24-18

DATE

For: Alex Stevenson
Builder #43129

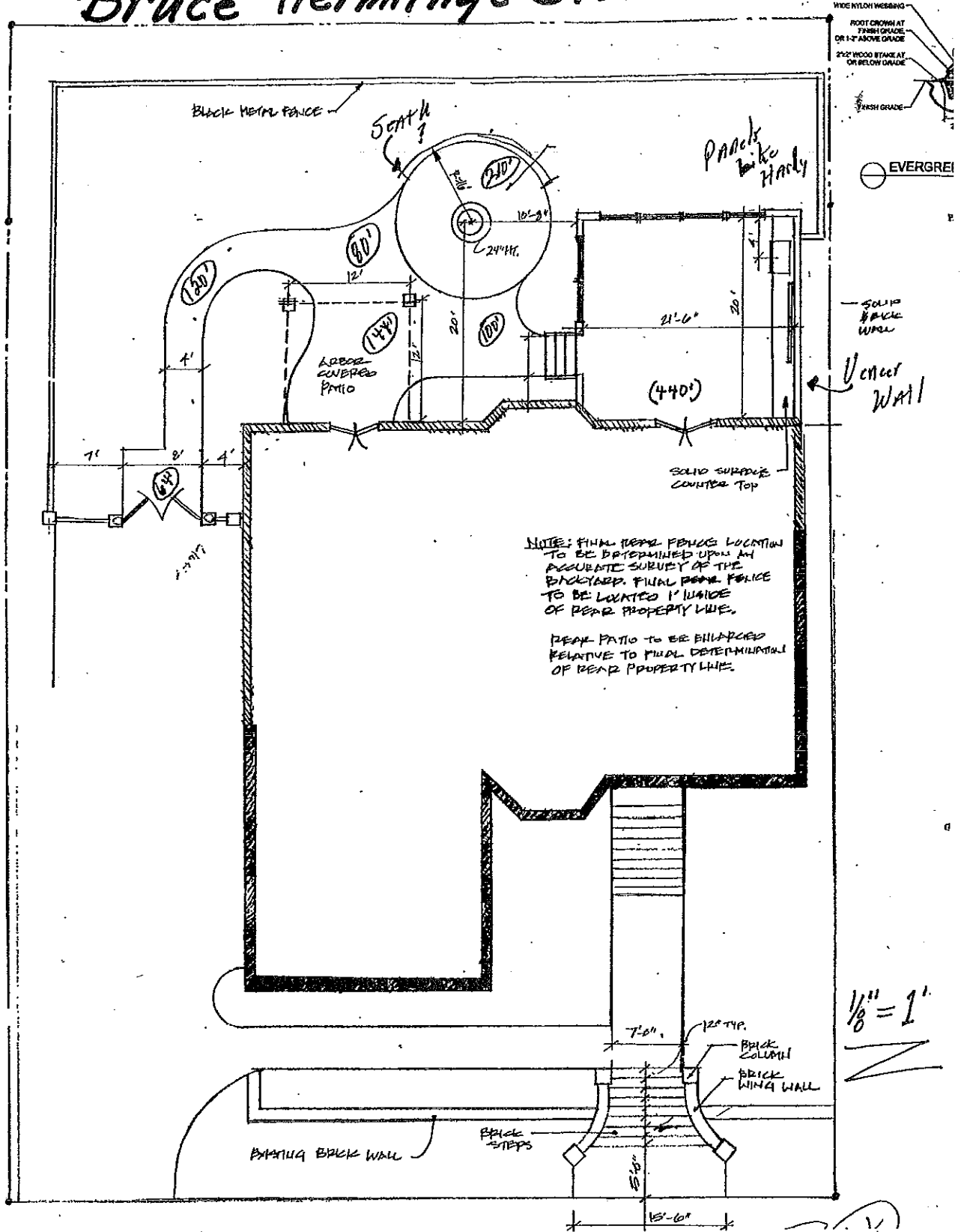
In simple terms, for the Board to grant you a variance in the zoning ordinance, you must convey to the Board what your hardship is. Hardships are narrowness, shallowness, irregular shape, and topography of property. The Board can also consider other practical difficulties such as mature trees, easements, and location of disposal systems which can affect your plan. Consideration can be given to the characteristics of the neighborhood and the way it is developed. One or more of these conditions MUST affect your inability to build or occupy the property to prove your case.

At the public hearing, please be prepared to tell the Board what your hardship is, why you can not build in accordance with zoning without requesting a variance and why you feel you have a legitimate hardship.

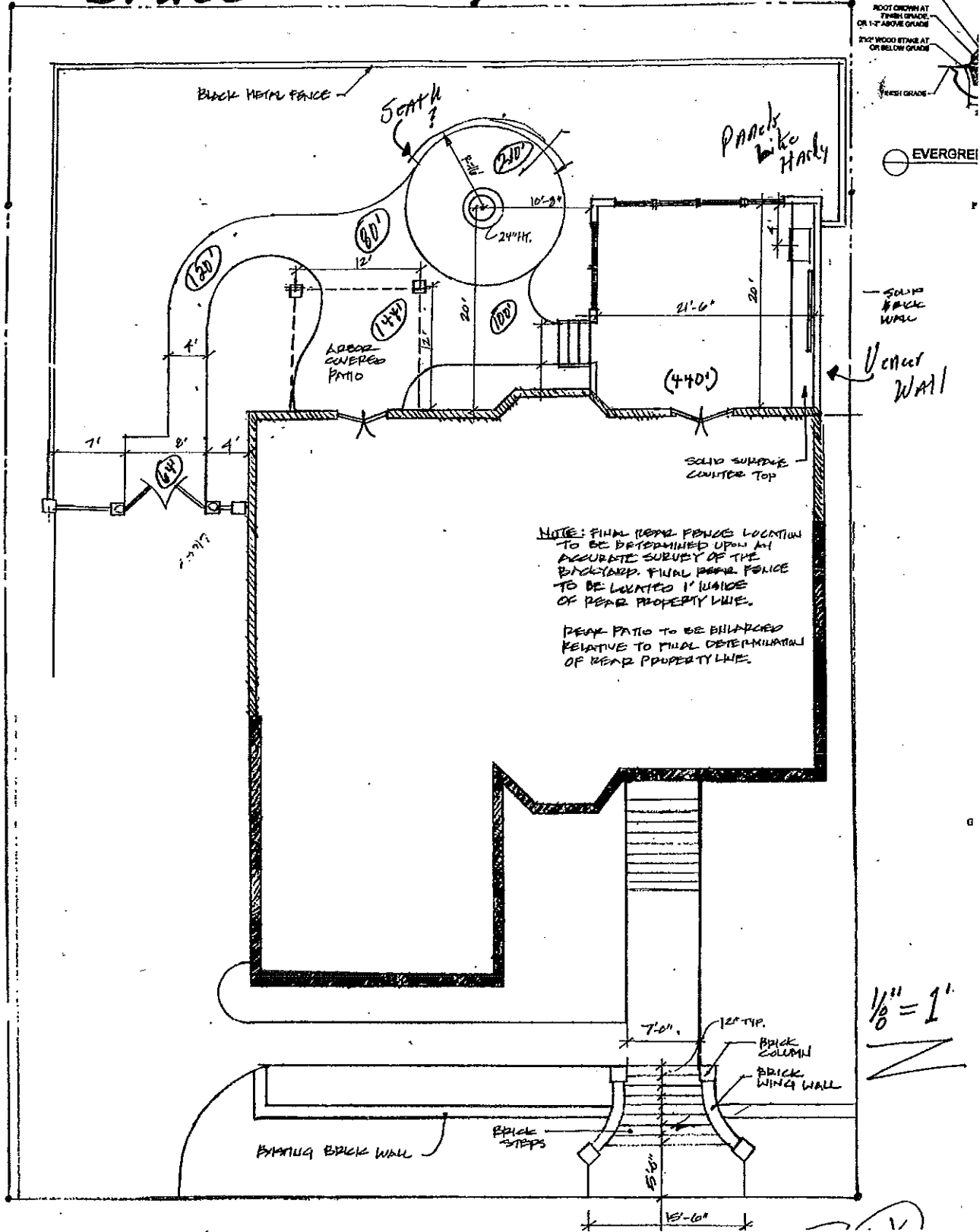
The Board can not grant a variance based solely on an inconvenience to the applicant nor solely on a financial consideration. It is incumbent on you as the appellant to complete this form by conveying a HARDSHIP as outlined. At the meeting it is important that you explain this hardship as effectively as possible.

WHAT SPECIFIC AND UNIQUE CIRCUMSTANCES (HARDSHIP) EXIST THAT WOULD AUTHORIZE THE CONSIDERATION OF THE BOARD UNDER THE REVIEW STANDARDS AS OUTLINED?

Joy + Don 112 Arons Cross Blvd.
Bruce Hermitage 37076...



Joy + Don 112 Arons Cross Blvd.
Bruce Hermitage 37076...



Metropolitan Board of Zoning Appeals
Metro Howard Building
800 Second Avenue South
Nashville, Tennessee 37210



Appellant: Nick Coleman
Property Owner: L&D Hospitality
Representative: Nick Coleman

Date: 10-2-18
Case #: 2018-628
Map & Parcel: 81-4-206

Council District 02

The undersigned hereby appeals from the decision of the Zoning Administrator, wherein a Zoning Permit/Certificate of Zoning Compliance was refused:

Purpose: Requesting variance from the 0-15' build to zone along the street frontage as well as a variance from landscape buffer requirements from the 36 portion of shared property line.

Activity Type: New Construction - Hotel/Motel

Location: 410 Dominican Dr.

This property is in the MD6-A Zone District, in accordance with plans, application and all data heretofore filed with the Zoning Administrator, all of which are attached and made a part of this appeal. Said Zoning Permit/Certificate of Zoning Compliance was denied for the reason:

Reason: Does not meet Build to & Buffer zone Requirements

Section(s): 12.24.230, 12.12.020(D)

Based on powers and jurisdiction of the Board of Zoning Appeals as set out in Section 17.40.180 Subsection _____ Of the Metropolitan Zoning Ordinance, a Variance, Special Exception, or Modification to Non-Conforming uses or structures is here by requested in the above requirement as applied to this property.

Nick Coleman
Appellant Name (Please Print)

Same
Representative Name (Please Print)

9160 Coopers Parkway
Address

Address

Franklin TN 37067
City, State, Zip Code

City, State, Zip Code

615 305 1103
Phone Number

Phone Number

NColeman@Biscanconstruction.com
Email

Email

NColeman@Biscanconstruction.com
Appeal Fee: \$200.00



Metropolitan Government
of Nashville and Davidson County, Tennessee
Department of Codes and Building Safety
800 Second Avenue South, Nashville, TN 37210



3565084

ZONING BOARD APPEAL / CAAZ - 20180062516
Inspection Checklist for Use and Occupancy
This is not a Use and Occupancy Notification

PARCEL: 08104020600

APPLICATION DATE: 10/02/2018

SITE ADDRESS:

410 DOMINICAN DR NASHVILLE, TN 37228
N/S DOMINICAN DR E OF FRENCH LANDING DR

PARCEL OWNER: L & D HOSPITALITY, LLC

CONTRACTOR:

APPLICANT:

PURPOSE:

requesting variance from the 0-15' build to zone as well as a variance from landscape buffer requirement along the R6 zoned portion of property line.

*Before a Use and Occupancy Letter can be issued for this project, the following approvals are required.
Inspections Foundation = before concrete poured, Framing = before covering wall and after rough-in inspections.*

There are currently no required inspections

Inspection requirements may change due to changes during construction.

Harper, Clint (Codes)

From: Nicholas Coleman <ncoleman@biscanconstruction.com>
Sent: Tuesday, October 02, 2018 12:00 PM
To: Harper, Clint (Codes)
Subject: Fwd: Variance

Attention: This email originated from a source external to Metro Government. Please exercise caution when opening any attachments or links from external sources.

Sent from my iPhone

Begin forwarded message:

From: Doug Jenkins <djenkins@sec-civil.com>
Date: August 8, 2018 at 1:14:25 PM CDT
To: Kal Patel <kal.patel@imaginehospitality.com>
Cc: Nicholas Coleman <ncoleman@biscanconstruction.com>
Subject: RE: Variance

The following are the variances granted taken from letter dated January 2017 to the Board of Zoning appeals:

Therefore, we are still requesting variances on the following two items:

1. Landscape Buffer Yards – Section 17.24.240, Table 17.24.230

An R6 zoning district abuts our property (zoned MUG-A) along the southwestern corner. An MUG-A zoning district abutting an R6 district requires a 30' minimum D-type landscape buffer yard. According to the Metro Planning Department and the attached plat for the Sexual Assault Center, a 50-foot wide strip of land abutting the southwest corner of our site is public property that set aside for a portion of 3rd Avenue North that is now closed. The 50-foot strip separates our site from the nearest property within the R6 zoning district.

It is the developer's intention to provide sufficient landscaping along this corner of the property to create a buffer between our site and adjacent properties. Since this corner of our property abuts public land, Section 17.24.150 the Code allows for perimeter landscaping strips to be a minimum 5' wide. This minimum width may be further reduced by half (2.5' minimum) if the overall proposed site elevation is lower than the roadway (which it is designed to be) and if trees will be planted in the parking islands (which is our intent).

Therefore, we request that the 30' landscape buffer yard requirement for MUG-A zoning districts abutting R6 zoning districts be waived along this portion of the site.

2. Build-to Zone – Section 17.12.020

According to Section 17.12.020, the Build-to Zone for an MUG-A zoning district is 0-15 feet. Additionally, Note 3.i.ii under Table 17.12.020D in the Code, allows for a “module” of parking between the building and the street. A module is defined as two rows of parking spaces and a drive aisle. Based on our interpretation of the Code, we meet the Build-to Zone requirements with the exception of a small portion of site frontage at the entrance drive (see updated site plan attached).

Due to the irregular shape of the property frontage, we request a waiver on the Build-to Zone requirement for this site.

From: Kal Patel [<mailto:kal.patel@imaginehospitality.com>]
Sent: Wednesday, August 08, 2018 11:21 AM
To: Doug Jenkins <djenkins@sec-civil.com>
Cc: Nicholas Coleman <ncoleman@biscanconstruction.com>
Subject: Variance

Doug,

What all Variance do we have on our home2 site?

Kal Patel
615-707-0586
615-552-0000 (fax)
www.imaginehospitality.com

APPLICATIONS FOR VARIANCE REQUESTS

After your appeal is filed, Zoning staff will visit the site to take photographs for the Board members so that they will have a better idea of the nature of your request. Zoning staff will notify the district councilmember of the hearing. You will be responsible for preparing the envelopes and notices for mailing to the owners of property within 600 feet of the property at issue in this case. The envelopes must include the return address for the BZA and the case number. Fold and insert the notices into envelopes, seal the envelopes, and apply first class postage. These neighbor notices must be delivered to Zoning staff at least twenty-three (23) days before the public hearing. Additionally, you will be responsible for purchasing, posting, and removing the red Zoning Appeal signs for the subject property. (See attached Metro Code of Laws requirements regarding sign placement.)

The day of the public hearing, it will be your responsibility to convey to the Board the nature of the hardship in your request that makes it difficult/impossible for you to comply with the Zoning Code. It would be to your benefit to let your neighbors know about your request prior to all notices being sent to them from our office.

Any party can appeal the Board's decision to Chancery or Circuit Court within sixty (60) days from the date the order in the case is entered. Should your request be granted, we would remind you that it is your responsibility to obtain the permit for which you have applied. You should also be aware that you have two (2) years to obtain the permit or you would have to re-file your request with the Board.

Once your request is filed, the staff will review your request to verify that the submittal is complete. Incomplete submittals will not be scheduled for a hearing until complete.

Any correspondence to the Board must be submitted to our office by noon, the Monday prior to the public hearing to be included in the record. You must provide eight (8) copies of your information to staff..

We hope that this information will be of help to you in understanding the variance procedure and if our office can be of further assistance, please do not hesitate to contact us.

METROPOLITAN BOARD OF ZONING APPEALS (615) 862-6530

I am aware that I am responsible for posting and also removing the sign(s) after the public hearing.

APPELLANT

Nick Coleman

DATE

10/2/18

S 39°57'12" E
7.34'

S44°13'00" E 301.90'

MAP 81-04, PARCEL 203,206,207,208
L & D HOSPITALITY, LLC
INSTRUMENT # 20180624-0064751

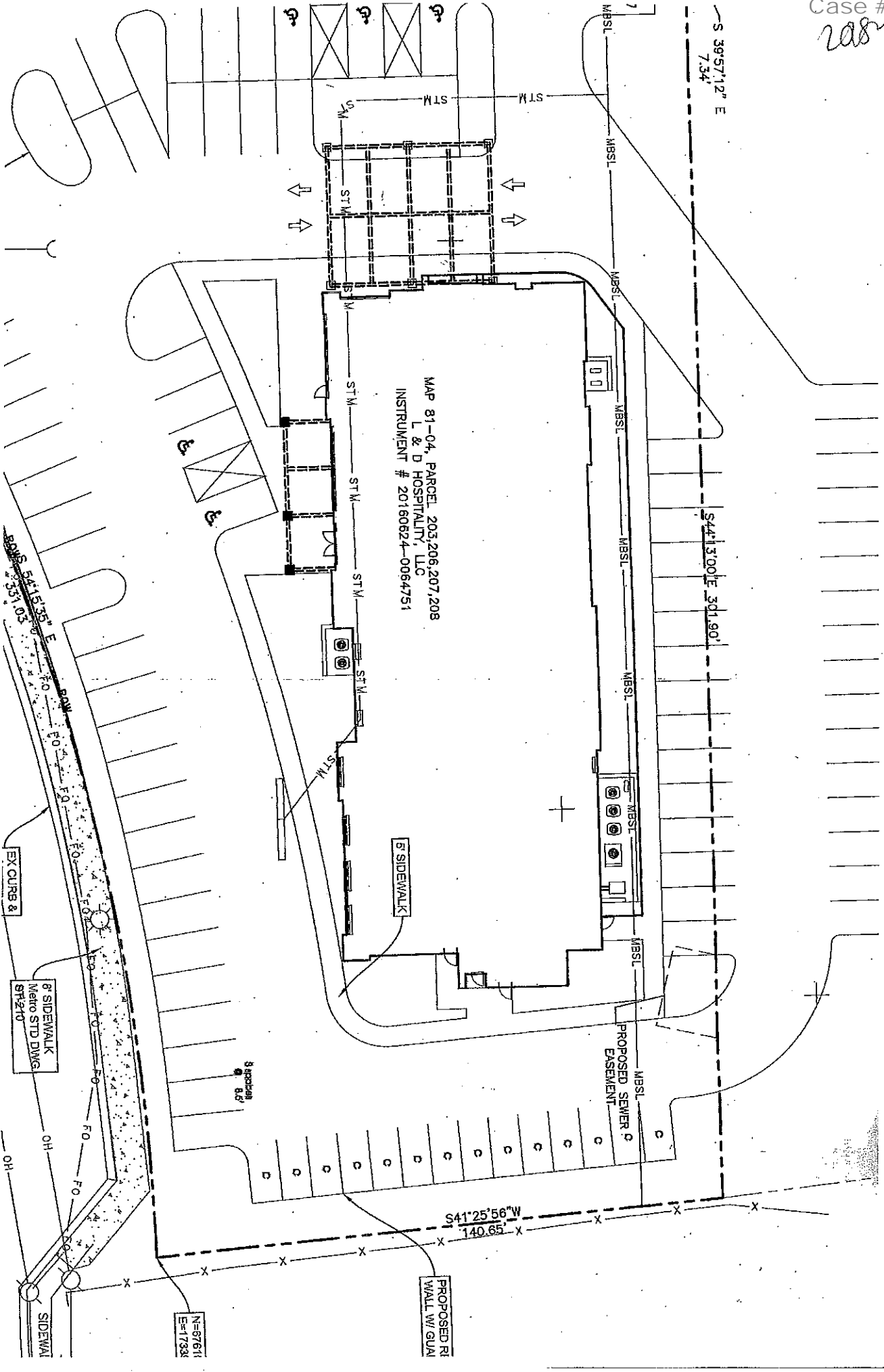
5' SIDEWALK

PROPOSED SEWER
EASEMENT

PROPOSED RI
WALL W/ GUN

N=87611
E=1733X

S41°25'56" W
140.65'



BEFORE THE METROPOLITAN BOARD OF ZONING APPEALS

RE: Nick Coleman Appeal Case 2018-628
410 DOMINICAN DR
Map Parcel: 08104020600
Zoning Classification: MUG-A

ORDER

This matter came to be heard in public hearing on 11/15/2018, before the Metropolitan Board of Zoning Appeals, upon application for variances from the 0-15' build to zone and landscape buffer requirements to construct a hotel.

Based upon the entire record as recorded on the video recording and contained in the file, from all of which the Board finds that:

Proper legal and written notice of the public hearing had been complied with as set forth in Section 17.40.720 of the Metropolitan Code.

The appellant sought this permit under Section 17.40.180 (B) of the Metropolitan Code.

It is ORDERED by the Metropolitan Board of Zoning Appeals that the appellant's request shall be DEFERRED.

UPON MOTION BY: David Taylor

Seconded By: Alma Sanford

Ayes: David Ewing, Christina Karpynech

Nays:

Abstaining:

Absent: Cynthia Chappell, David Harper

ENTERED THIS 20 DAY OF November, 2018

METROPOLITAN BOARD OF ZONING APPEALS

Chair

Erin Smith
Secretary



November 8, 2018

RE: Appeal Case Number 2018-628

Dear Board of Zoning Appeals:

I am the President and CEO of the Sexual Assault Center, located at 101 French Landing Drive. Our property backs into the property at 410 Dominican Drive, on which the construction of a hotel is being proposed and a variance from landscape buffer requirements is being requested.

The Sexual Assault Center, in its 40th year of operation, provides healing to children, adults and families affected by sexual assault and works to end sexual violence through counseling, education and advocacy. We have been located at 101 French Landing Drive for 10 years, since 2008. Last year, we served approximately 1,000 sexually abused children and adults throughout Middle Tennessee in this office location. In September 2018, we opened the doors to our SAFE (Sexual Assault Forensic Exam) Clinic. The SAFE Clinic provides medical legal rape exams to rape victims after the victimization of sexual assault. The SAFE Clinic is operational 24 hours a day, 7 days a week. The entrance to the SAFE Clinic is at the back of our property, along with our playground for child clients who have experienced sexual abuse; the driveway and gated parking lot back up to the landscape and property at 410 Dominican Drive.

It is my understanding that the request of the appellant is to remove the landscape buffer between our properties. I kindly request that the board consider the extremely sensitive and confidential nature of the work we do at the Sexual Assault Center and the levels of fear and trauma individuals are experiencing as they enter our SAFE Clinic. The layout of our property, the landscaping and the intentional creation of a safe space for children and adults to come after experiencing the devastation of sexual assault is meant to provide safety and security to trauma victims in their moments of greatest need. The work of the Sexual Assault Center is vital to the safety of our City and the health and wellbeing of victims/survivors of sexual assault; maintaining a safe and confidential space is central to the success of this work. I appreciate your consideration of the impact this request could have on the Sexual Assault Center and those we serve.

Sincerely,

Rachel C. Freeman, LCSW
President & CEO



From: [Bob Kumar](#)
To: [Board of Zoning Appeals \(Codes\)](#)
Subject: Fw: Zoning Appeal Case 2018-628
Date: Tuesday, December 4, 2018 5:06:10 PM
Attachments: [Zoning Appeal.docx](#)
[ZA.pdf](#)

Subject: Zoning Appeal Case 2018-628

Hello,
Please see our response to the Variance request per attached and below.

Zoning Appeal: Case 2018-628

410 DOMINICAN DR

Map Parcel: 08104020600

This appeal is in regards to the above mentioned Case.

The Landscaping Buffer is a requirement that the ownership group of 301 Clay Street AND other neighbors currently abide by and respect.

The integrity and beautification of the metroCenter area is strictly contingent on ALL developers abiding by the building requirements and Guidelines. In this case, THE LANDSCAPE BUFFER LINE VARIANCE REQUEST...

In order to have consistency within our community development, is it the belief that the proposed hotel at 410 Dominican Drive should adhere to the same guidelines written out by Metro Public Works.

With Best Regards,

B. Kumar

Metropolitan Board of Zoning Appeals

Metro Howard Building
800 Second Avenue South
Nashville, Tennessee 37210

METROPOLITAN GOVERNMENT OF DEKALB AND DAVIDSON COUNTY



Appellant: Devan McClish
Property Owner: Stanley Hopp
Representative: Devan McClish

Date: 10/9/18
Case #: 2018-644
Map & Parcel: 93-15-0 D 001
93-15-0 D 002

Council District 17

The undersigned hereby appeals from the decision of the Zoning Administrator, wherein a Zoning Permit/Certificate of Zoning Compliance was refused:

Purpose: HPR Two S.F. Houses
front + back NOT connected!
Already Built

Activity Type: HPR: TWO SINGLE FAMILY HOUSES... FRONT AND REAR UNITS MIN 6' BETWEEN HOUSE
1044 A & B 2ND AVE S. NASHVILLE, TN 37210
Location: MAP 93-15-0-D PARCELS 1 & 2.

This property is in the R6 Zone District, in accordance with plans, application and all data heretofore filed with the Zoning Administrator, all of which are attached and made a part of this appeal. Said Zoning Permit/Certificate of Zoning Compliance was denied for the reason:

Reason: DENIED: REQUIRED SIDE SETBACK FOR BOTH 5'....
REQUEST 6" ON THE FRONT UNIT AND
REQUEST 3'3" ON THE REAR UNIT.
Section(s): 17.12.020

Based on powers and jurisdiction of the Board of Zoning Appeals as set out in Section 17.40.180 Subsection B Of the Metropolitan Zoning Ordinance, a Variance, Special Exception, or Modification to Non-Conforming uses or structures is here by requested in the above requirement as applied to this property.

Devan McClish
Appellant Name (Please Print)

Representative Name (Please Print)

Address

Address

City, State, Zip Code

City, State, Zip Code

615-418-3133
Phone Number

Phone Number

devan@torquedevelopment.com
Email

Email

Appeal Fee: 200⁰⁰



**Metropolitan Government
of Nashville and Davidson County, Tennessee
Department of Codes and Building Safety
800 Second Avenue South, Nashville, TN 37210**



3567425

ZONING BOARD APPEAL / CAAZ - 20180064110
Inspection Checklist for Use and Occupancy
This is not a Use and Occupancy Notification

PARCEL: 093150D00100CO

APPLICATION DATE: 10/09/2018

SITE ADDRESS:

1044 A 2ND AVE S NASHVILLE, TN 37210
UNIT A 1044 2ND AVENUE SOUTH TOWNHOMES

PARCEL OWNER: HOPP, STANLEY G.

CONTRACTOR:

APPLICANT:**PURPOSE:**

HPR: TWO SINGLE FAMILY HOUSES... FRONT AND REAR UNITS MIN 6' BETWEEN HOUSES.

1044 A & B 2ND AVE S. NASHVILLE, TN 37210

MAP 93-15-0-D PARCELS 1 & 2.

DENIED: REQUIRED SIDE SETBACK FOR BOTH 5'....

REQUEST 6" ON THE FRONT UNIT AND

REQUEST 3'3" ON THE REAR UNIT.

17.12.020

POC: DEVAN MCCLISH 615-418-3133

devan@torquedevelopment.com

*Before a Use and Occupancy Letter can be issued for this project, the following approvals are required.
Inspections Foundation = before concrete poured, Framing = before covering wall and after rough-in inspections.*

There are currently no required inspections

There are currently no required inspections

Inspection requirements may change due to changes during construction.

APPLICATIONS FOR VARIANCE REQUESTS

After your appeal is filed, Zoning staff will visit the site to take photographs for the Board members so that they will have a better idea of the nature of your request. Zoning staff will notify the district councilmember of the hearing. You will be responsible for preparing the envelopes and notices for mailing to the owners of property within 600 feet of the property at issue in this case. The envelopes must include the return address for the BZA and the case number. Fold and insert the notices into envelopes, seal the envelopes, and apply first class postage. These neighbor notices must be delivered to Zoning staff at least twenty-three (23) days before the public hearing. Additionally, you will be responsible for purchasing, posting, and removing the red Zoning Appeal signs for the subject property. (See attached Metro Code of Laws requirements regarding sign placement.)

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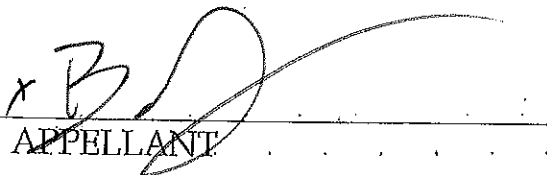
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METROPOLITAN BOARD OF ZONING APPEALS (615) 862-6530

I am aware that I am responsible for posting and also removing the sign(s) after the public hearing.



 APPELLANT

10/9/18

 DATE

STANDARDS FOR A VARIANCE

The Metropolitan Board of Zoning Appeals may grant variances from the strict application of the provisions of this Zoning Code based upon findings of fact related to the standards in Section 17.40.370. This Section is included as follows:

Physical characteristics of the property - The exceptional narrowness, shallowness or shape of a specific piece of property, exceptional topographic condition, or other extraordinary and exceptional condition of such property would result in peculiar and exceptional practical difficulties to, or exceptional or undue hardship upon the owner of such property.

Unique characteristics - The specific conditions cited are unique to the subject property and generally not prevalent to other properties in the general area.

Hardship not self-imposed - The alleged difficulty or hardship has not been created by the previous actions of any person having an interest in the property after the effective date of this Zoning Code.

Financial gain not only basis - Financial gain is not the sole basis for granting the variance.

No injury to neighboring property - The granting of the variance will not be injurious to other property or improvements in the area, impair an adequate supply of light and air to adjacent property, or substantially diminish or impair property values within the area.

No harm to public welfare - The granting of the variance will not be detrimental to the public welfare and will not substantially impair the intent and purpose of this Zoning Code.

Integrity of Master Development Plan - The granting of the variance will not compromise the design integrity or functional operation of activities or facilities within an approved Planned Unit Development.

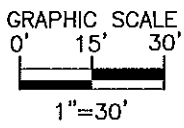
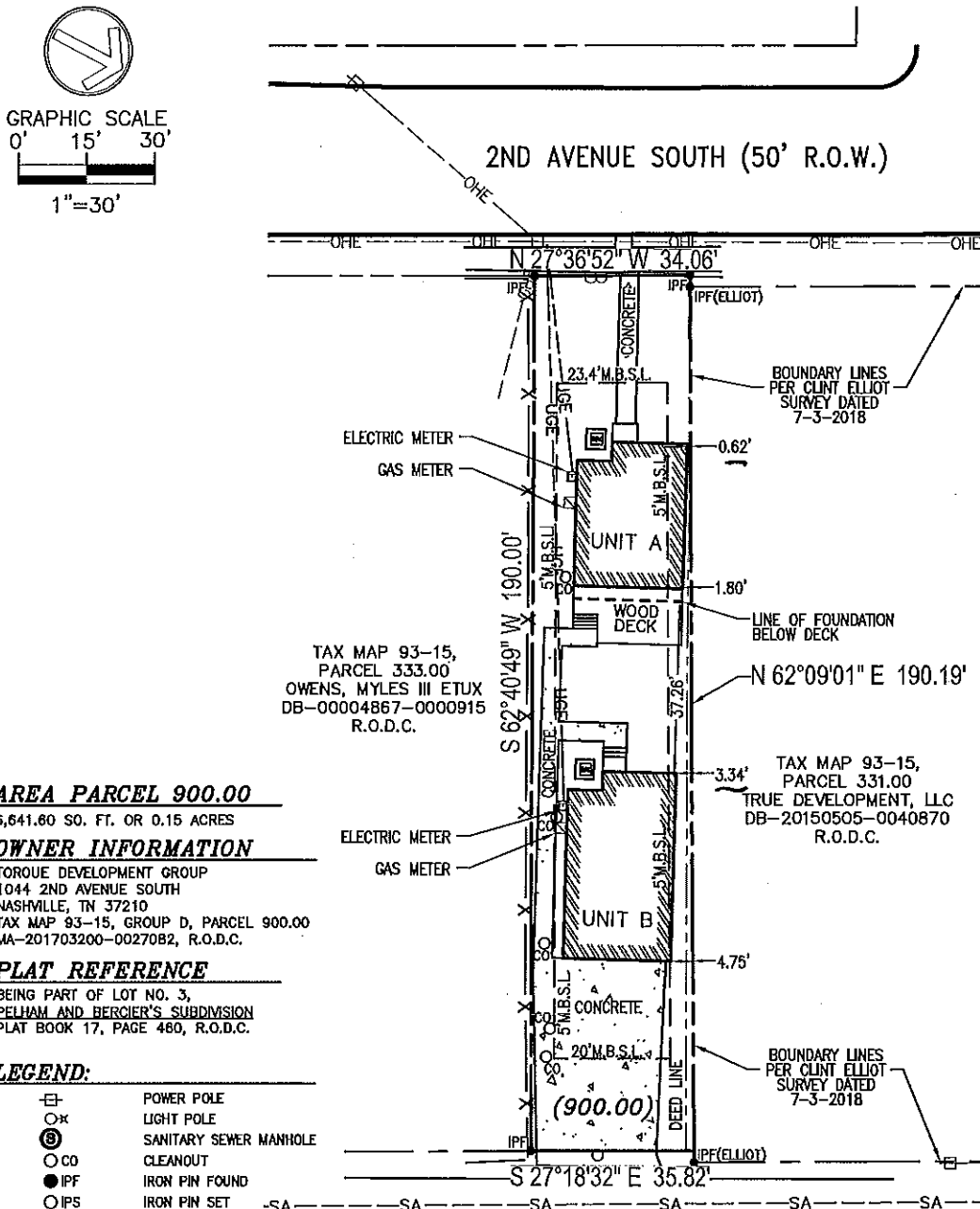
The Board shall not grant variances to the land use provisions of Section 2.3, the density of Floor Area Ratio (FAR) standards of Tables 3-B and 3-C, nor the required size of residential lots approved by the Planning Commission under the authority of Section 3.7 (Lot Averaging), Section 3.8 (Cluster Lot Option) or Section 9.E.3 (PUD). Further the Board shall not act on a variance application within a Planned Unit Development (PUD), Urban Design Overlay or Institutional Overlay district without first considering a recommendation from the Planning Commission.

In simple terms, for the Board to grant you a variance in the zoning ordinance, you must convey to the Board what your hardship is. Hardships are narrowness, shallowness, irregular shape, and topography of property. The Board can also consider other practical difficulties such as mature trees, easements, and location of disposal systems which can affect your plan. Consideration can be given to the characteristics of the neighborhood and the way it is developed. One or more of these conditions MUST affect your inability to build or occupy the property to prove your case.

At the public hearing, please be prepared to tell the Board what your hardship is, why you can not build in accordance with zoning without requesting a variance and why you feel you have a legitimate hardship.

The Board can not grant a variance based solely on an inconvenience to the applicant nor solely on a financial consideration. It is incumbent on you as the appellant to complete this form by conveying a HARDSHIP as outlined. At the meeting it is important that you explain this hardship as effectively as possible.

WHAT SPECIFIC AND UNIQUE CIRCUMSTANCES (HARDSHIP) EXIST THAT WOULD AUTHORIZE THE CONSIDERATION OF THE BOARD UNDER THE REVIEW STANDARDS AS OUTLINED?



AREA PARCEL 900.00

6,641.60 SQ. FT. OR 0.15 ACRES

OWNER INFORMATION

TORQUE DEVELOPMENT GROUP
 1044 2ND AVENUE SOUTH
 NASHVILLE, TN 37210
 TAX MAP 93-15, GROUP D, PARCEL 900.00
 MA-201703200-0027082, R.O.D.C.

PLAT REFERENCE

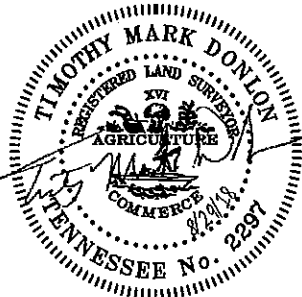
BEING PART OF LOT NO. 3,
 PELHAM AND BERCIER'S SUBDIVISION
 PLAT BOOK 17, PAGE 460, R.O.D.C.

LEGEND:

- ⊕ POWER POLE
- × LIGHT POLE
- ⊙ SANITARY SEWER MANHOLE
- CO CLEANOUT
- IPF IRON PIN FOUND
- IPS IRON PIN SET

NOTES:

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- 2) UPON REVIEWING FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP, MAP NUMBER 47037C0244H, DATED APRIL 5, 2017, IT HAS BEEN DETERMINED THAT THE LIMITS OF THE DETAIL STUDY DO NOT REACH THE SUBJECT PROPERTY. (FLOOD ZONE "X")
- 3) BASIS OF BEARING, REFERENCES TENNESSEE STATE PLANE.
- 4) ALL MEASUREMENTS TAKEN FROM THE OUTSIDE OF BLOCK.



PREPARED BY:
 DONLON LAND SURVEYING, LLC
 TIMOTHY MARK DONLON
 1539 BELLE FOREST CIRCLE
 NASHVILLE, TN 37221
 TEL (615) 673-8116, FAX (615) 673-8117
 tdonlon@bellsouth.net
<http://www.DonlonLandSurveying.com/>

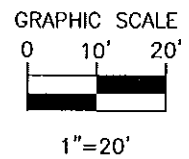
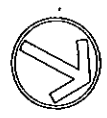
AS-BUILT
 FOR
TAX MAP 93-15
GROUP D,
PARCEL 900.00 CO

MA-20170320-0027082
 DAVIDSON COUNTY, TENNESSEE

PREPARED FOR:
TORQUE

DEVELOPMENT GROUP
 1044 2ND AVENUE SOUTH
 NASHVILLE, TN 37210
 DATED: AUGUST 29, 2018

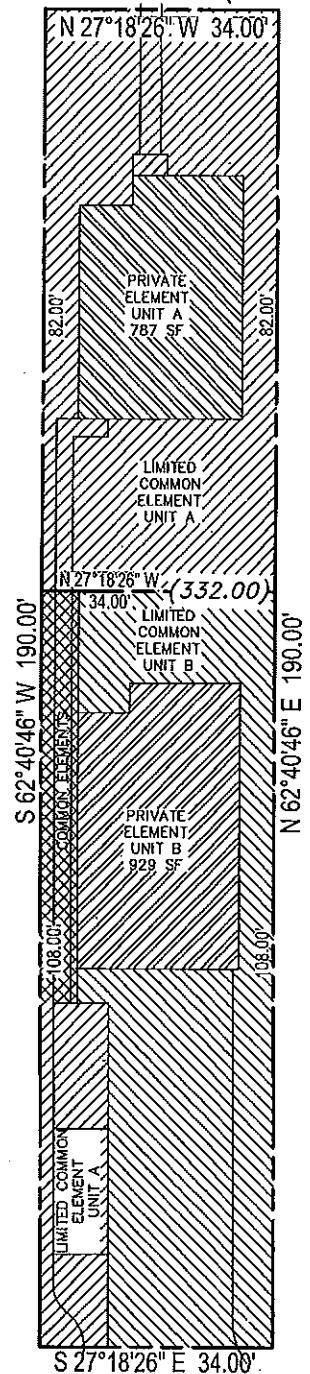
EXHIBIT B HORIZONTAL PROPERTY REGIME 2ND AVENUE SOUTH (50' R.O.W.)



AREA PARCEL 332.00
6,460.00 SQ. FT. OR 0.15 ACRES
OWNER INFORMATION
GRAY, JANIE M.
1044 2ND AVENUE SOUTH
NASHVILLE, TN 37210
TAX MAP 93-15, PARCEL 332.00
DB-00009255-0000728, R.O.D.C.

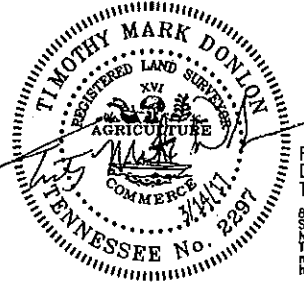
PLAT REFERENCE
BEING PART OF LOT NO. 3,
PELHAM AND BERGIER'S SUBDIVISION
PLAT BOOK 17, PAGE 460, R.O.D.C.

LEGEND:
LIMITED COMMON ELEMENTS
PRIVATE ELEMENTS
COMMON ELEMENTS



S 27°18'26" E 34.00'
ALLEY #169 (16' R.O.W.)

UNIT A & UNIT B
HOMES AT 1044 2ND AVE S.
FORMERLY KNOWN AS
TAX MAP 93-15
PARCEL 332.00
DB-00009255-0000728
DAVIDSON COUNTY, TENNESSEE
PREPARED FOR:
TORQUE DEVELOPMENT
GROUP, LLC
1044 2ND AVENUE SOUTH
NASHVILLE, TN 37210
DATED: MARCH 14, 2017



PREPARED BY:
DONLON LAND SURVEYING, LLC
TIMOTHY MARK DONLON
8120 SAWYER BROWN RD.
SUITE 110 A
NASHVILLE, TN 37221
TEL. (615) 673-9116, FAX (615) 673-9117
mtdonlonr@south.net
<http://www.DonlonLandSurveying.com/>

09315032800

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09315034500

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09315034300

09315033000

09315034200

09315037600

09315037700

09315033100

093150D90000CO

09315034100

09315029700

R6

093150D00200CO

Site

093150D00100CO

09315033300

093150E90000CO

09315034000

CAMERON ST

2ND AVE S

31A

09315029600

093150E00200CO

093150E00100CO

09315029500

J4-R-AB3-IM

41A

09315029400

09315033500

093150C00500CO

09315038600

09315029300

093150C00400CO

093150C90000CO
093150C00300CO

093150C01000CO

093150C00900CO

09315038500

09315029400

093150C00100CO

093150C00800CO

093150C00200CO

SP(R)

093150C00600CO

093150C00700CO

09315033800

09315029200

105030E90000CO

SP(MR)

105030E00400CO

105030E00300CO

105030E90100CO

09315029100

105030I00100CO

105030E00200CO

105030E00800CO

105030I90000CO

105030I00200CO

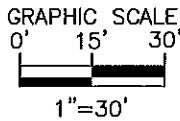
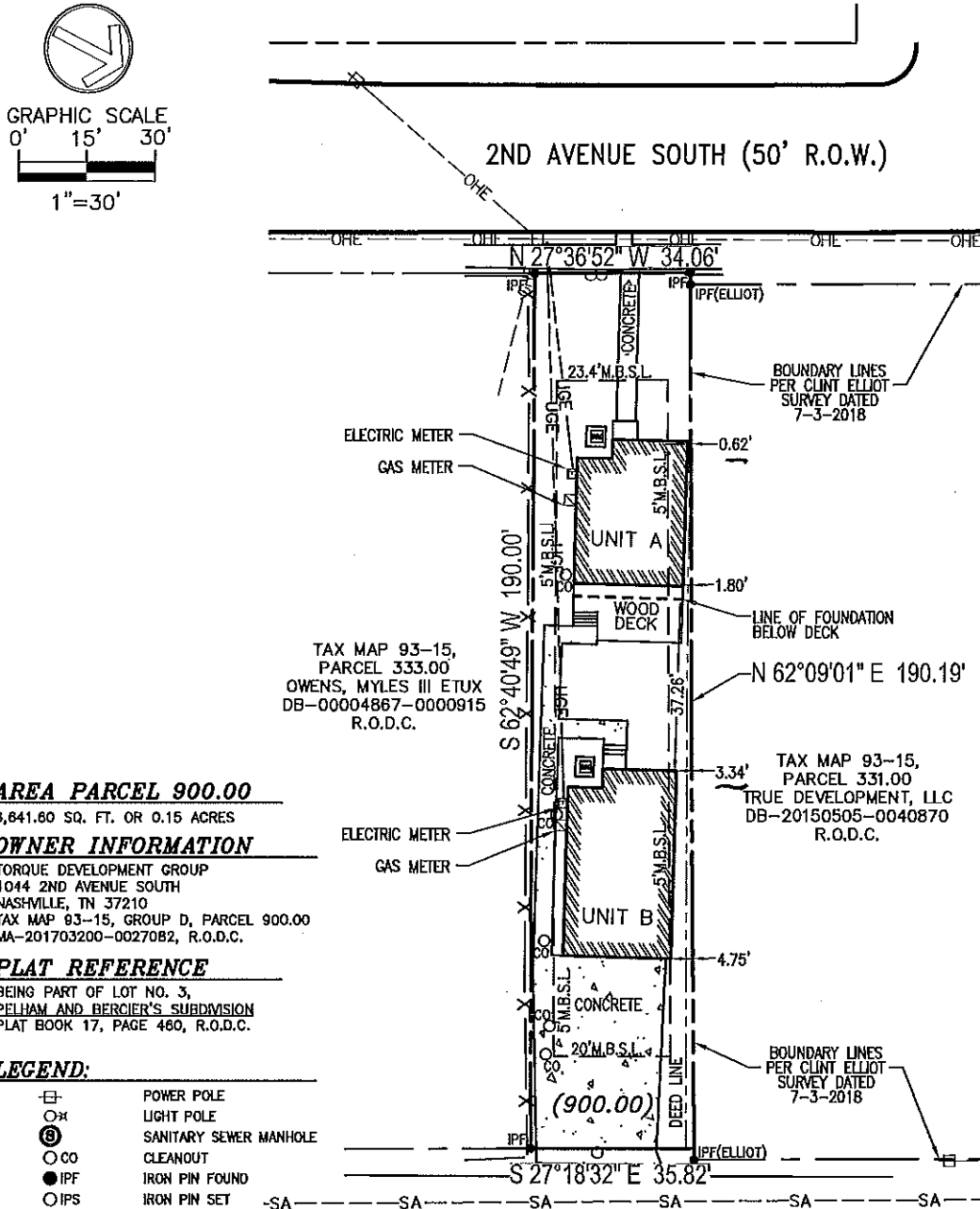
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1/48 ALY



AREA PARCEL 900.00

8,641.60 SQ. FT. OR 0.15 ACRES

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 NASHVILLE, TN 37210
 TAX MAP 93-15, GROUP D, PARCEL 900.00
 MA-201703200-00270B2, R.O.D.C.

PLAT REFERENCE

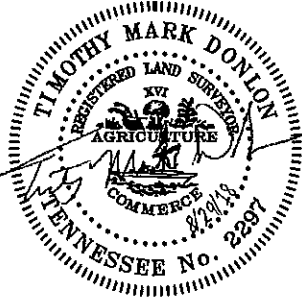
BEING PART OF LOT NO. 3,
 PELHAM AND BERCIER'S SUBDIVISION
 PLAT BOOK 17, PAGE 480, R.O.D.C.

LEGEND:

- ⊠ POWER POLE
- x LIGHT POLE
- ⊙ SANITARY SEWER MANHOLE
- CO CLEANOUT
- IPF IRON PIN FOUND
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AS-BUILT
 FOR
TAX MAP 93-15
GROUP D,
PARCEL 900.00 CO

MA-20170320-00270B2
 DAVIDSON COUNTY, TENNESSEE

PREPARED FOR:
TORQUE
DEVELOPMENT GROUP
 1044 2ND AVENUE SOUTH
 NASHVILLE, TN 37210
 DATE: AUGUST 29, 2018

09315032800

09315032900

09315034600

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09315037600

09315037700

09315033100

09315029700

093150D90000CO

09315034100

CAMERON ST

R6

093150D00200CO

Site

093150D00100CO

09315033300

093150E90000CO

09315034000

09315029600

093150E00200CO

093150E00100CO

09315029500

09315033500

093150C00500CO

09315033900

09315029400

093150C00400CO

09315038600

09315029300

093150C90000CO
093150C00300CO

093150C01000CO

41A

093150C00900CO

09315038500

11

093150C00100CO
093150C00200CO

093150C00800CO

SP(R)

093150C00600CO

09315029200

093150C00700CO

09315033800

105030E90000CO

09315029100

105030I00100CO

SP(MR)

105030E00400CO

148 ALY

105030I90000CO

105030I00200CO

105030I90100CO

105030E00300CO

105030E90100CO

105030E00100CO

105030E00800CO

105030E00700CO

105030A90200CO

From: [Sledge, Colby \(Council Member\)](#)
To: [Board of Zoning Appeals \(Codes\)](#)
Cc: [Michael, Jon \(Codes\)](#); [Lamb, Emily \(Codes\)](#)
Subject: BZA positions for Dec. 6 meeting
Date: Tuesday, November 20, 2018 7:31:14 PM

Board members,

You have quite the task ahead of you for this meeting's agenda! Below are my positions on the District 17 items on the Dec. 6 agenda:

2018-522: **Deny**
2018-619: **Strongly deny**
2018-637: **Support**, as applicant has spoken with me
2018-638: **Deny**
2018-644: **Deny**
2018-662: **Strongly deny** based on resident complaints
2018-671: **Deny**
2018-672: **Deny**
2018-677: **Strongly deny**

Thank you, as always, for your service, and Happy Thanksgiving!

Colby

Colby Sledge
Metro Council, District 17
(615) 442-3727

[ColbySledge.com](#)

[Sign up for my weekly newsletter here!](#)

2018-644
OPPOSE

Lifsey, Debbie (Codes)

From: Michael, Jon (Codes)
Sent: Friday, December 14, 2018 2:14 PM
To: Lifsey, Debbie (Codes); Shepherd, Jessica (Codes)
Subject: FW: D17 positions for Dec. 20 meeting

For the file.

From: Sledge, Colby (Council Member)
Sent: Friday, December 14, 2018 2:14 PM
To: Board of Zoning Appeals (Codes)
Cc: Michael, Jon (Codes); Lamb, Emily (Codes)
Subject: D17 positions for Dec. 20 meeting

Good afternoon,

Here are my positions on D17 items before you next week.

- 2018-522: I continue to **oppose** a request for exemption to create front-loading garages on Carvell Ave.
- 2018-644: I **oppose** a setback variance request on 2nd Ave S.
- 2018-709: I **tentatively support** a request for parking requirement variances for a microunit development on Humphreys Ave. The applicant will be at a community meeting on Monday, and I'll want to hear from residents.
- 2018-725: I **strongly oppose** a request not to pay into the sidewalks fund on Wharf Ave.
- 2018-662: I **oppose** a short-term rental permit appeal on West Grove Ave.
- 2018-704: I **oppose** a short-term rental appeal on Summit Ave.

Thank you all, as always, for your service, and I hope you have a great weekend!

Colby

Colby Sledge
Metro Council, District 17
(615) 442-3727
ColbySledge.com
[Sign up for my weekly newsletter here!](#)

Metropolitan Board of Zoning Appeals

Metro Howard Building
800 Second Avenue South
Nashville, Tennessee 37210



Appellant: Robert Butler Date: 10/10/18
Property Owner: E. Trinity LN Properties LLC
Representative: Robert Butler Case #: 2018-645
Map & Parcel: 72-5-40

Council District 05

The undersigned hereby appeals from the decision of the Zoning Administrator, wherein a Zoning Permit/Certificate of Zoning Compliance was refused:

Purpose: Renovations to Office Bldg
for Torco Title Co

Activity Type: Torco Title Company

Location: 935 E. Trinity LN N.T 37207

This property is in the IR Zone District, in accordance with plans, application and all data heretofore filed with the Zoning Administrator, all of which are attached and made a part of this appeal. Said Zoning Permit/Certificate of Zoning Compliance was denied for the reason:

Reason: Sidewalks: Not to Install + Not to
Contributors

Section(s): 17.20.120

Based on powers and jurisdiction of the Board of Zoning Appeals as set out in Section 17.40.180 Subsection B Of the Metropolitan Zoning Ordinance, a Variance, Special Exception, or Modification to Non-Conforming uses or structures is here by requested in the above requirement as applied to this property.

Robert Butler
Appellant Name (Please Print)

Representative Name (Please Print)

Address

Address

City, State, Zip Code

City, State, Zip Code

615-419-1698
Phone Number

Phone Number

bob@profileandprinciple.com
Email

Email

200⁰⁰
Appeal Fee:



**Metropolitan Government
of Nashville and Davidson County, Tennessee
Department of Codes and Building Safety
800 Second Avenue South, Nashville, TN 37210**



3567690

**ZONING BOARD APPEAL / CAAZ - 20180064293
Inspection Checklist for Use and Occupancy
This is not a Use and Occupancy Notification**

PARCEL: 07205004000

APPLICATION DATE: 10/10/2018

SITE ADDRESS:

935 E TRINITY LN NASHVILLE, TN 37207
PT BLK A SEC 1 ROTHWOOD

PARCEL OWNER: E TRINITY LN PROJECTS LLC

CONTRACTOR:

APPLICANT:**PURPOSE:**

RENOVATIONS TO SPACE FOR TORRO TITLE COMPANY...REAL ESTATE CLOSING...OFFICE....THIS IS NOT A FINIANCIAL INSTITUTION NOR IS IT AN ALTERNATIVE FINIANCIAL INSTITUTION.....

SIDEWALKS REQUIRED....ASSESSED VALUE AT \$282,520....FOUR PREVIOUS RENOVAIONS SINCE 2015 EXCEED \$421,000.....

DENIED: SIDEWALKS REQUIRED AND NOT ALLOWED TO CONTRIBUTE.

REQUEST NOT TO INSTALL AND NOT TO CONTRIBUTE.

17.20.120

POC: ROBERT BUTLER 615-419-1698

bob@profileandprinciple.com

*Before a Use and Occupancy Letter can be issued for this project, the following approvals are required.
Inspections Foundation = before concrete poured, Framing = before covering wall and after rough-in inspections.*

There are currently no required inspections

Inspection requirements may change due to changes during construction.



APPLICATIONS FOR VARIANCE REQUESTS

After your appeal is filed, Zoning staff will visit the site to take photographs for the Board members so that they will have a better idea of the nature of your request. Zoning staff will notify the district councilmember of the hearing. You will be responsible for preparing the envelopes and notices for mailing to the owners of property within 600 feet of the property at issue in this case. The envelopes must include the return address for the BZA and the case number. Fold and insert the notices into envelopes, seal the envelopes, and apply first class postage. These neighbor notices must be delivered to Zoning staff at least twenty-three (23) days before the public hearing. Additionally, you will be responsible for purchasing, posting, and removing the red Zoning Appeal signs for the subject property. (See attached Metro Code of Laws requirements regarding sign placement.)

The day of the public hearing, it will be your responsibility to convey to the Board the nature of the hardship in your request that makes it difficult/impossible for you to comply with the Zoning Code. It would be to your benefit to let your neighbors know about your request prior to all notices being sent to them from our office.

Any party can appeal the Board's decision to Chancery or Circuit Court within sixty (60) days from the date the order in the case is entered. Should your request be granted, we would remind you that it is your responsibility to obtain the permit for which you have applied. You should also be aware that you have two (2) years to obtain the permit or you would have to re-file your request with the Board.

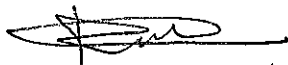
Once your request is filed, the staff will review your request to verify that the submittal is complete. Incomplete submittals will not be scheduled for a hearing until complete.

Any correspondence to the Board must be submitted to our office by noon, the Monday prior to the public hearing to be included in the record. You must provide eight (8) copies of your information to staff.

We hope that this information will be of help to you in understanding the variance procedure and if our office can be of further assistance, please do not hesitate to contact us.

METROPOLITAN BOARD OF ZONING APPEALS (615) 862-6530

I am aware that I am responsible for posting and also removing the sign(s) after the public hearing.



APPELLANT

DATE

10/10/18

STANDARDS FOR A VARIANCE

The Metropolitan Board of Zoning Appeals may grant variances from the strict application of the provisions of this Zoning Code based upon findings of fact related to the standards in Section 17.40.370. This Section is included as follows:

Physical characteristics of the property - The exceptional narrowness, shallowness or shape of a specific piece of property, exceptional topographic condition, or other extraordinary and exceptional condition of such property would result in peculiar and exceptional practical difficulties to, or exceptional or undue hardship upon the owner of such property.

Unique characteristics - The specific conditions cited are unique to the subject property and generally not prevalent to other properties in the general area.

Hardship not self-imposed - The alleged difficulty or hardship has not been created by the previous actions of any person having an interest in the property after the effective date of this Zoning Code.

Financial gain not only basis - Financial gain is not the sole basis for granting the variance.

No injury to neighboring property - The granting of the variance will not be injurious to other property or improvements in the area, impair an adequate supply of light and air to adjacent property, or substantially diminish or impair property values within the area.

No harm to public welfare - The granting of the variance will not be detrimental to the public welfare and will not substantially impair the intent and purpose of this Zoning Code.

Integrity of Master Development Plan - The granting of the variance will not compromise the design integrity or functional operation of activities or facilities within an approved Planned Unit Development.

The Board shall not grant variances to the land use provisions of Section 2.3, the density of Floor Area Ratio (FAR) standards of Tables 3-B and 3-C, nor the required size of residential lots approved by the Planning Commission under the authority of Section 3.7 (Lot Averaging), Section 3.8 (Cluster Lot Option) or Section 9.E.3 (PUD). Further the Board shall not act on a variance application within a Planned Unit Development (PUD), Urban Design Overlay or Institutional Overlay district without first considering a recommendation from the Planning Commission.

In simple terms, for the Board to grant you a variance in the zoning ordinance, you must convey to the Board what your hardship is. Hardships are narrowness, shallowness, irregular shape, and topography of property. The Board can also consider other practical difficulties such as mature trees, easements, and location of disposal systems which can affect your plan. Consideration can be given to the characteristics of the neighborhood and the way it is developed. One or more of these conditions MUST affect your inability to build or occupy the property to prove your case.

At the public hearing, please be prepared to tell the Board what your hardship is, why you can not build in accordance with zoning without requesting a variance and why you feel you have a legitimate hardship.

The Board can not grant a variance based solely on an inconvenience to the applicant nor solely on a financial consideration. It is incumbent on you as the appellant to complete this form by conveying a HARDSHIP as outlined. At the meeting it is important that you explain this hardship as effectively as possible.

WHAT SPECIFIC AND UNIQUE CIRCUMSTANCES (HARDSHIP) EXIST THAT WOULD AUTHORIZE THE CONSIDERATION OF THE BOARD UNDER THE REVIEW STANDARDS AS OUTLINED?

PLANNING DEPARTMENT SIDEWALK VARIANCE RECOMMENDATION

BZA Case 2018-645 (935 East Trinity Lane)

Metro Standard:	Trinity Lane – 4' grass strip, 8' sidewalk, as defined by the Major and Collector Street Plan
	Ambrose Avenue – 4' grass strip, 5' sidewalk, as defined by the Metro Local Street Standard
Requested Variance:	Not upgrade sidewalks; not contribute in-lieu of construction (not eligible)
Zoning:	IR
Community Plan Policy:	D EC (District Employment Center)
MCSP Street Designation:	Trinity Lane – T4-M-AB3-LM
	Ambrose Avenue – Local Street
Transit:	None existing; Future Crosstown Route per nMotion
Bikeway:	Major Separated Bikeway planned per WalknBike

Planning Staff Recommendation: *Approve with conditions.*

Analysis: The applicant is conducting interior renovations within an existing office building and requests a variance due to the presence of existing sidewalks along both frontages of the property. Planning evaluated the following factors for the variance request:

- (1) A 5' sidewalk without a grass strip is located along the Trinity Lane property frontage which is consistent across several properties along the block face to the east.
- (2) A 5' sidewalk without a grass strip is currently located along the Ambrose Avenue property frontage. Strict adherence to the sidewalk requirement would necessitate in the loss of five parking spaces (inclusive of two handicap parking spaces) between the building and back of sidewalk.

Given the factors above, staff recommends **approval with conditions:**

1. Maintain existing sidewalk conditions in a state of good repair per Public Works final guidance. Any portion of the existing sidewalk along the property frontage that is not ADA compliant is to be removed and replaced in-kind with MPW Detail ST-210 sidewalk.
2. The applicant shall contribute in-lieu of construction for the Trinity Lane property frontage.
3. Prior to the issuance of building permits, dedicate right-of-way along the property's frontage with Trinity Lane to accommodate future sidewalks per the Major and Collector Street Plan standard.

BEFORE THE METROPOLITAN BOARD OF ZONING APPEALS

RE: Robert Butler
935 E TRINITY LN

Appeal Case 2018-645

Map Parcel: 07205004000
Zoning Classification: IR

ORDER

This matter came to be heard in public hearing on 12/6/2018, before the Metropolitan Board of Zoning Appeals, upon application for a variance from sidewalk requirements to renovate existing office space without building sidewalks or paying in the sidewalk fund.

Based upon the entire record as recorded on the video recording and contained in the file, from all of which the Board finds that:

- (1) Proper legal and written notice of the public hearing had been complied with as set forth in Section 17.40.720 of the Metropolitan Code.
- (2) The appellant sought this permit under Section 17.40.180 (B) of the Metropolitan Code.

It is therefore ORDERED by the Metropolitan Board of Zoning Appeals that the appellant's request shall be DEFERRED to 12/20/18 based upon appellant's request.

UPON MOTION BY: David Ewing

Seconded By: David Taylor

Ayes: Cynthia Chappell, Christina Karpynek, Ross Pepper

Nays:

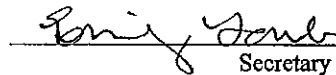
Abstaining:

Absent: Alma Sanford, David Harper

ENTERED THIS 10 DAY OF December, 2018

METROPOLITAN BOARD OF ZONING APPEALS


Chair


Secretary

Metropolitan Board of Zoning Appeals

Metro Howard Building
800 Second Avenue South
Nashville, Tennessee 37210

METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY



Appellant: Ben Buchanan
Property Owner: Daniel Caspell
Representative: Ben Buchanan

Date: 10/22/18
Case #: 2018- 676
Map & Parcel: 1660400970 0

Council District 2b

The undersigned hereby appeals from the decision of the Zoning Administrator, wherein a Zoning Permit/Certificate of Zoning Compliance was refused:

Purpose: to construct a 888 sq. ft detached garage.

Activity Type: single family
Location: 402 Ritchie Dr. Nashville TN 37220

This property is in the R520 Zone District, in accordance with plans, application and all data heretofore filed with the Zoning Administrator, all of which are attached and made a part of this appeal. Said Zoning Permit/Certificate of Zoning Compliance was denied for the reason:

Reason: a variance from side and rear setbacks
Section(s): 17.12.020 A

Based on powers and jurisdiction of the Board of Zoning Appeals as set out in Section 17.40.180 Subsection _____ Of the Metropolitan Zoning Ordinance, a Variance, Special Exception, or Modification to Non-Conforming uses or structures is here by requested in the above requirement as applied to this property.

Benjamin Buchanan
Appellant Name (Please Print)
402 Ritchie Dr.
Address
Nashville TN 37220
City, State, Zip Code
615-507-8681
Phone Number
bbuchanan@maxonlift.com
Email

Ben Buchanan
Representative Name (Please Print)
402 Ritchie Dr.
Address
Nashville TN 37220
City, State, Zip Code
615-507-8681
Phone Number
bbuchanan@maxonlift.com
Email

Appeal Fee: _____



Metropolitan Government
of Nashville and Davidson County, Tennessee
Department of Codes and Building Safety
800 Second Avenue South, Nashville, TN 37210



Case #2018-676

3571302

ZONING BOARD APPEAL / CAAZ - 20180066899
Inspection Checklist for Use and Occupancy
This is not a Use and Occupancy Notification

PARCEL: 16004009700

APPLICATION DATE: 10/22/2018

SITE ADDRESS:

402 RITCHIE DR NASHVILLE, TN 37220
LOT 7 BRENTVIEW HILLS SUB

PARCEL OWNER: CASTEEL, DANIEL W. & NANETTE A. & RE **CONTRACTOR:**

APPLICANT:

PURPOSE:

Requesting a side and rear variance for proposed 888 sf detached garage to rear of residence. see METZO table 17.12.020 (A). required side s/b of 10' providing 5' for a 5' variance. required rear s/b of 20' providing 8' for a 12' variance request.

*Before a Use and Occupancy Letter can be issued for this project, the following approvals are required.
Inspections Foundation = before concrete poured, Framing = before covering wall and after rough-in inspections.*

There are currently no required inspections

Inspection requirements may change due to changes during construction.



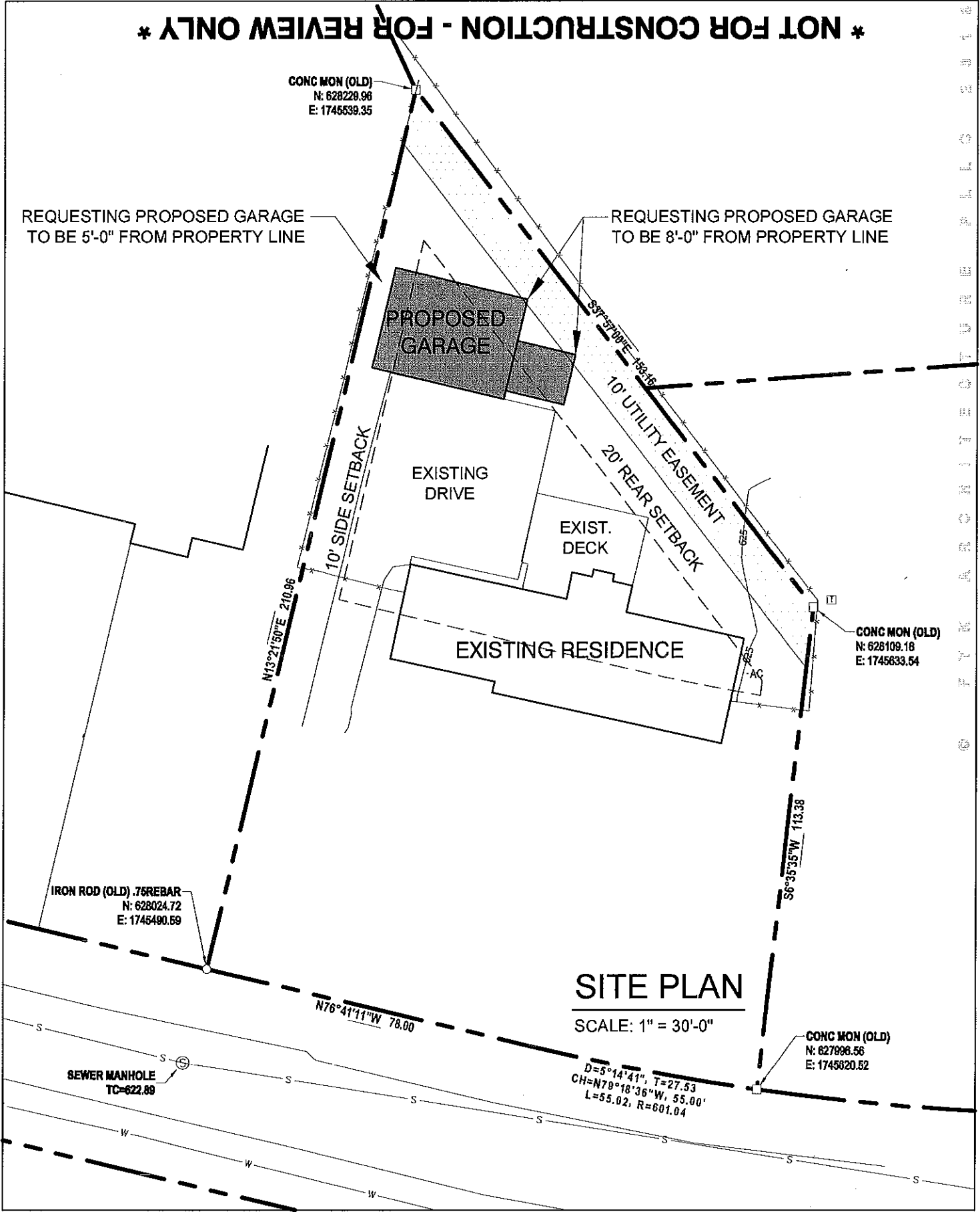
FYK ARCHITECTURE
4811 Trousdale Drive
Nashville, TN 37220
615.315.9223
FYKGROUP.COM

BUCHANAN RESIDENCE
402 FITCHIE DRIVE
NASHVILLE, TN

ISSUE DATE: 10.19.2018	REVISIONS:



*** NOT FOR CONSTRUCTION - FOR REVIEW ONLY ***



REQUESTING PROPOSED GARAGE TO BE 5'-0" FROM PROPERTY LINE

REQUESTING PROPOSED GARAGE TO BE 8'-0" FROM PROPERTY LINE

PROPOSED GARAGE

EXISTING DRIVE

EXIST. DECK

EXISTING RESIDENCE

SITE PLAN

SCALE: 1" = 30'-0"

APPLICATIONS FOR VARIANCE REQUESTS

After your appeal is filed, Zoning staff will visit the site to take photographs for the Board members so that they will have a better idea of the nature of your request. Zoning staff will notify the district councilmember of the hearing. You will be responsible for preparing the envelopes and notices for mailing to the owners of property within 600 feet of the property at issue in this case. The envelopes must include the return address for the BZA and the case number. Fold and insert the notices into envelopes, seal the envelopes, and apply first class postage. These neighbor notices must be delivered to Zoning staff at least twenty-three (23) days before the public hearing. Additionally, you will be responsible for purchasing, posting, and removing the red Zoning Appeal signs for the subject property. (See attached Metro Code of Laws requirements regarding sign placement.)

The day of the public hearing, it will be your responsibility to convey to the Board the nature of the hardship in your request that makes it difficult/impossible for you to comply with the Zoning Code. It would be to your benefit to let your neighbors know about your request prior to all notices being sent to them from our office.

Any party can appeal the Board's decision to Chancery or Circuit Court within sixty (60) days from the date the order in the case is entered. Should your request be granted, we would remind you that it is your responsibility to obtain the permit for which you have applied. You should also be aware that you have two (2) years to obtain the permit or you would have to re-file your request with the Board.

Once your request is filed, the staff will review your request to verify that the submittal is complete. Incomplete submittals will not be scheduled for a hearing until complete.

Any correspondence to the Board must be submitted to our office by noon, the Monday prior to the public hearing to be included in the record. You must provide eight (8) copies of your information to staff.

We hope that this information will be of help to you in understanding the variance procedure and if our office can be of further assistance, please do not hesitate to contact us.

METROPOLITAN BOARD OF ZONING APPEALS (615) 862-6530

I am aware that I am responsible for posting and also removing the sign(s) after the public hearing.


APPELLANT

10/22/18
DATE

STANDARDS FOR A VARIANCE

The Metropolitan Board of Zoning Appeals may grant variances from the strict application of the provisions of this Zoning Code based upon findings of fact related to the standards in Section 17.40.370. This Section is included as follows:

Physical characteristics of the property - The exceptional narrowness, shallowness or shape of a specific piece of property, exceptional topographic condition, or other extraordinary and exceptional condition of such property would result in peculiar and exceptional practical difficulties to, or exceptional or undue hardship upon the owner of such property.

Unique characteristics - The specific conditions cited are unique to the subject property and generally not prevalent to other properties in the general area.

Hardship not self-imposed - The alleged difficulty or hardship has not been created by the previous actions of any person having an interest in the property after the effective date of this Zoning Code.

Financial gain not only basis - Financial gain is not the sole basis for granting the variance.

No injury to neighboring property - The granting of the variance will not be injurious to other property or improvements in the area, impair an adequate supply of light and air to adjacent property, or substantially diminish or impair property values within the area.

No harm to public welfare - The granting of the variance will not be detrimental to the public welfare and will not substantially impair the intent and purpose of this Zoning Code.

Integrity of Master Development Plan - The granting of the variance will not compromise the design integrity or functional operation of activities or facilities within an approved Planned Unit Development.

The Board shall not grant variances to the land use provisions of Section 2.3, the density of Floor Area Ratio (FAR) standards of Tables 3-B and 3-C, nor the required size of residential lots approved by the Planning Commission under the authority of Section 3.7 (Lot Averaging), Section 3.8 (Cluster Lot Option) or Section 9.B.3 (PUD). Further the Board shall not act on a variance application within a Planned Unit Development (PUD), Urban Design Overlay or Institutional Overlay district without first considering a recommendation from the Planning Commission.

In simple terms, for the Board to grant you a variance in the zoning ordinance, you must convey to the Board what your hardship is. Hardships are narrowness, shallowness; irregular shape, and topography of property. The Board can also consider other practical difficulties such as mature trees, easements, and location of disposal systems which can affect your plan. Consideration can be given to the characteristics of the neighborhood and the way it is developed. One or more of these conditions **MUST** affect your inability to build or occupy the property to prove your case.

At the public hearing, please be prepared to tell the Board what your hardship is, why you can not build in accordance with zoning without requesting a variance and why you feel you have a legitimate hardship.

The Board can not grant a variance based solely on an inconvenience to the applicant nor solely on a financial consideration. It is incumbent on you as the appellant to complete this form by conveying a **HARDSHIP** as outlined. At the meeting it is important that you explain this hardship as effectively as possible.

WHAT SPECIFIC AND UNIQUE CIRCUMSTANCES (HARDSHIP) EXIST THAT WOULD AUTHORIZE THE CONSIDERATION OF THE BOARD UNDER THE REVIEW STANDARDS AS OUTLINED?

SHAPE OF THE LOT = EXTREME ANGLE OF
REAR PROPERTY LINE IS PROHIBITIVE

Metropolitan Board of Zoning Appeals

Metro Howard Building
800 Second Avenue South
Nashville, Tennessee 37210

METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY



Appellant: Melissa Chambers
Property Owner: " "
Representative: " "

Date: 10/26/18
Case #: 2018-700
Map & Parcel: 07116025100

Council District 5

The undersigned hereby appeals from the decision of the Zoning Administrator, wherein a Zoning Permit/Certificate of Zoning Compliance was refused:

Purpose: # to construct a single family residence.

Activity Type: single family
Location: 1219 N 7th St.

This property is in the SP Zone District, in accordance with plans, application and all data heretofore filed with the Zoning Administrator, all of which are attached and made a part of this appeal. Said Zoning Permit/Certificate of Zoning Compliance was denied for the reason:

Reason: a variance from sidewalk requirements
Section(s): 17.20.120

Based on powers and jurisdiction of the Board of Zoning Appeals as set out in Section 17.40.180 Subsection _____ Of the Metropolitan Zoning Ordinance, a Variance, Special Exception, or Modification to Non-Conforming uses or structures is here by requested in the above requirement as applied to this property.

Melissa Chambers
Appellant Name (Please Print)

Representative Name (Please Print)

1219 Nth 7th St
Address

Address

Nashville, TN 37207
City, State, Zip Code

City, State, Zip Code

615-596-4247
Phone Number

Phone Number

chambersacaron50@yahoo.com
Email

Email

Appeal Fee: _____



**Metropolitan Government
of Nashville and Davidson County, Tennessee
Department of Codes and Building Safety
800 Second Avenue South, Nashville, TN 37210**



3572916

**ZONING BOARD APPEAL / CAAZ - 20180068068
Inspection Checklist for Use and Occupancy
This is not a Use and Occupancy Notification**

PARCEL: 07116025100

APPLICATION DATE: 10/26/2018

SITE ADDRESS:

1219 N 7TH ST NASHVILLE, TN 37207
LOTS 259 PT 260 OAKWOOD PARK

PARCEL OWNER: CHAMBERS, AARON & MELISSA

CONTRACTOR:

APPLICANT:**PURPOSE:**

Not eligible to pay in-lieu of building.

17.20.120

Work started as 2 Additions on permits 2018037819 and 2018049201. Inspector S.Rider requested a New Construction Permit due to extent of repairs needed.

Permit to construct a one story single family residence with 1057 sq and 363 sq ft of porches and decks...Using existing foundation, 5 ft minimum side setback, 20 ft rear setback...No change to footprint, plans sent to file. Single story house. Must conform with all easements on property..Sidewalks ARE required for this project because this parcel is within the UZO.

Porch approved BZA Case 2018-526

Self Permit

*Before a Use and Occupancy Letter can be issued for this project, the following approvals are required.
Inspections Foundation = before concrete poured, Framing = before covering wall and after rough-in inspections.*

There are currently no required inspections

Inspection requirements may change due to changes during construction.



**Metropolitan Government
of Nashville and Davidson County, Tennessee
Department of Codes and Building Safety
800 Second Avenue South, Nashville, TN 37210**



3572845

APPLICATION FOR BUILDING RESIDENTIAL - NEW / CARN - T2018049207

THIS IS NOT A PERMIT

PARCEL: 07116025100

APPLICATION DATE: 10/26/2018

SITE ADDRESS:

1219 N 7TH ST NASHVILLE, TN 37207
LOTS 259 PT 260 OAKWOOD PARK

PARCEL OWNER: CHAMBERS, AARON & MELISSA

APPLICANT: SELF CONTRACTOR RESIDENTIAL (SEE
APPLICANT INFORMATION)
Melissa Chambers 615-596-4247

PURPOSE:

Work started as 2 Additions on permits 2018037819 and 2018049201. Inspector S.Rider requested a New Construction Permit due to extent of repairs needed.

Permit to construct a one story single family residence with 1057 sq and 363 sq ft of porches and decks...Using existing foundation, 5 ft minimum side setback, 20 ft rear setback...No change to footprint, plans sent to file. Single story house. Must conform with all easements on property..Sidewalks ARE required for this project because this parcel is within the UZO.

1. Acknowledges applying for this self building permit in own name, & will act as own contractor accepting full responsibility for code compliance, for hiring & employing individuals & has ultimate responsibility for my own work & for the work of others. Acting as my own general contractor, I further understand that I may forfeit certain protections, which might be available to me through the State of Tenn general contractor's licensing process. I further acknowledge that as a self building permit holder I am responsible for requesting all required inspections & completing all authorized work in compliance with applicable adopted codes. I further understand that separate permits are required for any proposed electrical, plumbing, & gas/mechanical work and is not part of this building permit....

2. Pursuant # 2006-1263 Metro code of Laws, I (holder OF permit) hereby certify that all construction & demolition waste generated by any & all activities governed by this permit shall be disposed of in an approved landfill. Further, I certify that no construction & demolition waste shall be stored on the property in violation of any provision of Metro Code...3...You can dig your footers, but do not pour any concrete until you call for an inspection. Also do not put up any drywall until you call for an inspection. The idea is you do not cover up anything until an inspector has had a chance to review.

*Before a building permit can be issued for this project, the following approvals are required.
The Applicant is responsible for providing any plans or other information to the individual agencies*

[A] Site Plan Review

[A] Zoning Review

CA - Zoning Sidewalk Requirement Review

SWREQUIRED

(615) 862-4138 Lisa.Butler@nashville.gov

PW - Public Works Sidewalk Capital Project Coordinatic

[X] Fire Life Safety Review On Bldg App

862-5230

[X] Sewer Availability Review For Bldg

862-7225

[X] Sewer Variance Approval For Bldg

MWS.DevelopmentServicesCenter@nashville.gov

862-7225

[X] Water Availability Review For Bldg

MWS.DevelopmentServicesCenter@nashville.gov

862-7225

[X] Water Variance Approval For Bldg

MWS.DevelopmentServicesCenter@nashville.gov

862-7225

[A] Bond & License Review On Bldg App

MWS.DevelopmentServicesCenter@nashville.gov

APPLICATIONS FOR VARIANCE REQUESTS

After your appeal is filed, Zoning staff will visit the site to take photographs for the Board members so that they will have a better idea of the nature of your request. Zoning staff will notify the district councilmember of the hearing. You will be responsible for preparing the envelopes and notices for mailing to the owners of property within 600 feet of the property at issue in this case. The envelopes must include the return address for the BZA and the case number. Fold and insert the notices into envelopes, seal the envelopes, and apply first class postage. These neighbor notices must be delivered to Zoning staff at least twenty-three (23) days before the public hearing. Additionally, you will be responsible for purchasing, posting, and removing the red Zoning Appeal signs for the subject property. (See attached Metro Code of Laws requirements regarding sign placement.)

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Any party can appeal the Board's decision to Chancery or Circuit Court within sixty (60) days from the date the order in the case is entered. Should your request be granted, we would remind you that it is your responsibility to obtain the permit for which you have applied. You should also be aware that you have two (2) years to obtain the permit or you would have to re-file your request with the Board.

Once your request is filed, the staff will review your request to verify that the submittal is complete. Incomplete submittals will not be scheduled for a hearing until complete.

Any correspondence to the Board must be submitted to our office by noon, the Monday prior to the public hearing to be included in the record. You must provide eight (8) copies of your information to staff.

We hope that this information will be of help to you in understanding the variance procedure and if our office can be of further assistance, please do not hesitate to contact us.

METROPOLITAN BOARD OF ZONING APPEALS (615) 862-6530

I am aware that I am responsible for posting and also removing the sign(s) after the public hearing.

Melissa Chambers

APPELLANT

10/26/18

DATE

STANDARDS FOR A VARIANCE

The Metropolitan Board of Zoning Appeals may grant variances from the strict application of the provisions of this Zoning Code based upon findings of fact related to the standards in Section 17.40.970. This Section is included as follows:

Physical characteristics of the property - The exceptional narrowness, shallowness or shape of a specific piece of property, exceptional topographic condition, or other extraordinary and exceptional condition of such property would result in peculiar and exceptional practical difficulties to, or exceptional or undue hardship upon the owner of such property.

Unique characteristics - The specific conditions cited are unique to the subject property and generally not prevalent to other properties in the general area.

Hardship not self-imposed - The alleged difficulty or hardship has not been created by the previous actions of any person having an interest in the property after the effective date of this Zoning Code.

Financial gain not only basis - Financial gain is not the sole basis for granting the variance.

No injury to neighboring property - The granting of the variance will not be injurious to other property or improvements in the area, impair an adequate supply of light and air to adjacent property, or substantially diminish or impair property values within the area.

No harm to public welfare - The granting of the variance will not be detrimental to the public welfare and will not substantially impair the intent and purpose of this Zoning Code.

Integrity of Master Development Plan - The granting of the variance will not compromise the design integrity or functional operation of activities or facilities within an approved Planned Unit Development.

The Board shall not grant variances to the land use provisions of Section 2.3, the density of Floor Area Ratio (FAR) standards of Tables 3-B and 3-C, nor the required size of residential lots approved by the Planning Commission under the authority of Section 3.7 (Lot Averaging), Section 3.8 (Cluster Lot Option) or Section 9.R.3 (PUD). Further the Board shall not act on a variance application within a Planned Unit Development (PUD), Urban Design Overlay or Institutional Overlay district without first considering a recommendation from the Planning Commission.

In simple terms, for the Board to grant you a variance in the zoning ordinance, you must convey to the Board what your hardship is. Hardships are narrowness, shallowness, irregular shape, and topography of property. The Board can also consider other practical difficulties such as mature trees, easements, and location of disposal systems which can affect your plan. Consideration can be given to the characteristics of the neighborhood and the way it is developed. One or more of these conditions MUST affect your inability to build or occupy the property to prove your case.

At the public hearing, please be prepared to tell the Board what your hardship is, why you can not build in accordance with zoning without requesting a variance and why you feel you have a legitimate hardship.

The Board can not grant a variance based solely on an inconvenience to the applicant nor solely on a financial consideration. It is incumbent on you as the appellant to complete this form by conveying a HARDSHIP as outlined. At the meeting it is important that you explain this hardship as effectively as possible.

WHAT SPECIFIC AND UNIQUE CIRCUMSTANCES (HARDSHIP) EXIST THAT WOULD AUTHORIZE THE CONSIDERATION OF THE BOARD UNDER THE REVIEW STANDARDS AS OUTLINED?

Was going to put on a side back and front addition. However, when removing a tree a limb fell on side of house brick wall fell off when it was hit. Under the brick prior person had wrapped the house in black plastic. Under the plastic was severely rotted wood siding. The 2x4's under the siding were rotted as well. Had to remove all rotted wood. Left floor joist and brick-o-blocks. Not changing floor footprint.

PLANNING DEPARTMENT SIDEWALK VARIANCE RECOMMENDATION

BZA Case 2018-700 (1219 North 7th Street)

Metro Standard:	4' grass strip, 5' sidewalk, as defined by the Local Street Standard
Requested Variance:	Not upgrade sidewalks; not contribute in-lieu of construction (eligible)
Zoning	SP to allow detached accessory dwelling units with all other standards of the RS5 district being applicable
Community Plan Policy:	T4 NE (Urban Neighborhood Evolving)
MCSP Street Designation:	Local Street
Transit:	#30 – McFerrin
Bikeway:	None existing; none planned

Planning Staff Recommendation: *Disapprove.*

Analysis: The applicant is constructing a single family dwelling, and requests a variance from constructing sidewalks due to existing sidewalks. Per the Zoning Ordinance, the applicant is eligible to contribute in lieu of construction. Electing to make the contribution in lieu of construction supplements Metro's annual sidewalk capital program by increasing sidewalk construction funds for areas surrounding this property, within one of Metro's sixteen pedestrian benefit zones. Staff finds no unique hardship for the property.

Given the factors above, staff recommends **disapproval as the applicant has the option to contribute in-lieu of construction.** The applicant shall also dedicate right-of-way for future sidewalk construction.

Metropolitan Board of Zoning Appeals

Metro Howard Building
800 Second Avenue South
Nashville, Tennessee 37210



Appellant : Daniel Kendrick Date: 10-29-18
Property Owner: Goff Street Residences Case #: 2018-706
Representative: Daniel Kendrick Map & Parcel: 81-72-K-900-C0

Council District 02

The undersigned hereby appeals from the decision of the Zoning Administrator, wherein a Zoning Permit/Certificate of Zoning Compliance was refused:

Purpose: Requesting variance to construct sidewalks along one frontage (Goff St.) of corner lot.

Activity Type: New Construction-HPR

Location: 842 B Goff St.

This property is in the RG Zone District, in accordance with plans, application and all data heretofore filed with the Zoning Administrator, all of which are attached and made a part of this appeal. Said Zoning Permit/Certificate of Zoning Compliance was denied for the reason:

Reason: Requesting variance from sidewalk requirement

Section(s): 12-12-120

Based on powers and jurisdiction of the Board of Zoning Appeals as set out in Section 17.40.180 Subsection _____ Of the Metropolitan Zoning Ordinance, a Variance, Special Exception, or Modification to Non-Conforming uses or structures is here by requested in the above requirement as applied to this property.

Daniel Kendrick
Appellant Name (Please Print)

Daniel Kendrick
Representative Name (Please Print)

8109 Hilldale Dr
Address

8109 Hilldale Dr
Address

Brentwood, TN 37027
City, State, Zip Code

Brentwood, TN 37027
City, State, Zip Code

615-300-5925
Phone Number

615-300-5925
Phone Number

Daniel@buildupnashville.com
Email

Daniel@buildupnashville.com
Email

Appeal Fee: \$200.00



**Metropolitan Government
of Nashville and Davidson County, Tennessee
Department of Codes and Building Safety
800 Second Avenue South, Nashville, TN 37210**



3573305

**ZONING BOARD APPEAL / CAAZ - 20180068325
Inspection Checklist for Use and Occupancy
This is not a Use and Occupancy Notification**

PARCEL: 081072K90000CO**APPLICATION DATE:** 10/29/2018**SITE ADDRESS:**

842 B GOFF ST NASHVILLE, TN 37208
COMMON AREA GOFF STREET RESIDENCES I

PARCEL OWNER: O.I.C. GOFF STREET RESIDENCES I**CONTRACTOR:****APPLICANT:****PURPOSE:**

requesting sidewalk variance to only construct sidewalks along one frontage (Goff St.) of a corner lot.

*Before a Use and Occupancy Letter can be issued for this project, the following approvals are required.
Inspections Foundation = before concrete poured, Framing = before covering wall and after rough-in inspections.*

There are currently no required inspections

Inspection requirements may change due to changes during construction.

APPLICATION FOR A VARIANCE REQUEST

After your appeal is filed, Zoning staff will visit the site to take photographs for the Board members. So they will have a better ideal of the nature of your request. Zoning staff will notify the district council member of the hearing. **You will be responsible for preparing the envelopes and notices for mailing to the owners of property within 600 feet pf the property at issue in the case. The envelopes must include the return address for the BZA and case number.** Fold and insert notices into envelopes, seal the envelopes, and apply first class postage. These neighbor notices must be delivered to Zoning staff at least twenty-three (23) days before the public hearing. Additionally, you will be responsible for purchasing, posting, and removing the red Zoning Appeal signs for the subject property. (See attached Metro Code of Laws requirements regarding, sign placement.)

The day of the public hearing, it will be your responsibility to convey to the Board the nature of the hardship in your request that makes it difficult/impossible for you to comply with the Zoning Code. **It would be to your benefit to let your neighbors know about your request prior to all notices being sent to them from our office.**

Any party can appeal the Board's decision to Chancery or Circuit Court within sixty (60) days from the date the order in the case is entered. **Should your request be granted, we would remind you that it is your responsibility to obtain the permit for which you have applied.** You should also be aware that you have two (2) years to obtain the permit or you would have to re-file your request with the board.

Once your request is filed, the staff will review your request to verify that the submittal is complete. Incomplete submittals will not be scheduled for hearing until complete.

Any correspondence to the Board must be submitted to our office by noon, the Monday prior to the public hearing to be included in the record. You must provide eight (8) copies of your information to staff.

We hope that this information will be of help to you in understanding the variance procedure and if our office can be of further assistance, please do not hesitate to contact us.

METROPOLITAN BOARD OF ZONING APPEALS (615) 862-6510

I am aware that I am responsible for posting and also removing the sign(s) after the public hearing.



APPELLANT

10/29/18

DATE

In Simple terms, for the Board to grant you a variance in the zoning ordinance, you must convey to the Board what your hardship is. Hardships are narrowness, shallowness, irregular shape, and topography of property. The Board can also consider other practical difficulties such as mature trees, easements, and location of disposal systems which can affect your plan. Consideration can be given to the characteristics of neighborhood and the way it is developed. One or more of these conditions must affect your inability to build or occupy the property to provide your case.

At the public hearing, please be prepared to tell the Board what your hardship is, why you cannot build in accordance with zoning without requesting a variance and why you feel you have legitimate hardship.

The Board cannot grant a variance based solely on inconvenience to the applicant or solely on a financial consideration. It is incumbent on you as the appellant to complete this form by conveying a **HARDSHIP** as outlined. At the meeting it is important that you explain this hardship as effectively as possible.

WHAT SPECIFIC AND UNIQUE CIRCUMSTANCES (HARDSHIP) EXIST THAT WOULD AUTHORIZE THE CONSIDERATION OF THE BOARD UNDER THE REVIEW STANDARDS AS OUTLINED?

There is a substantial retaining wall running the entire length of the property frontage on 9th Ave N that would have to be torn out.

PLANNING DEPARTMENT SIDEWALK VARIANCE RECOMMENDATION

BZA Case 2018-706 (842B Goff Street)

Metro Standard:	9 th Avenue North - 6' grass strip, 6' sidewalk, as defined by the Major and Collector Street Plan
	Goff Street - 4' grass strip, 5' sidewalk, as defined by the Local Street standard
Requested Variance:	Construct sidewalks only along Goff Street frontage
Zoning:	R6
Community Plan Policy:	T4 NM (Urban Neighborhood Maintenance)
MCSP Street Designation:	9 th Avenue North – T4-R-CA2
	Goff Street - Local Street
Transit:	Property .4 miles from #42 – St. Cecilia/Cumberland
Bikeway:	None existing; none planned

Planning Staff Recommendation: *Approve with conditions.*

Analysis: The applicant is constructing two single family dwellings, and requests a variance from constructing sidewalks along 9th Avenue North due to existing sidewalks and a substantial retaining wall located at the back of those sidewalks. Planning evaluated the following factors for the variance request:

- (1) There is an existing 7' sidewalk with no grass strip on the 9th Avenue North frontage. This is consistent along much of the street. All utility poles, signs, etc. are currently at the edge of the sidewalk, maintaining a clear pedestrian path.
- (2) There is a 3-4' tall retaining wall at the back of the existing sidewalk on the 9th Avenue North frontage, indicating topographic challenges for sidewalks to be upgraded to the MCSP requirements.
- (3) There is currently no sidewalk on the Goff Street frontage. This is consistent with the block face and street, however, it also represents a significant sidewalk gap in the neighborhood. Constructing sidewalks on this property frontage will help make this part of the neighborhood more walkable, as envisioned for a T4 neighborhood. Staff supports the applicant's request to construct sidewalks on the Goff Street frontage.

Given the factors above, staff recommends **approval with conditions:**

1. Maintain existing sidewalk conditions in a state of good repair per Public Works final guidance. Any portion of the existing sidewalk along the property frontage that is not ADA compliant is to be removed and replaced in-kind with MPW Detail ST-210 sidewalk.
2. The applicant shall construct 5' wide sidewalks along the Goff Street property frontage.
3. Prior to the issuance of building permits, dedicate right-of-way along the 9th Avenue North frontage to accommodate future sidewalks per the Major and Collector Street Plan.

Metropolitan Board of Zoning Appeals

Metro Howard Building
800 Second Avenue South
Nashville, Tennessee 37210



Appellant: Thomas McCullough
Property Owner: SHARON GATES
Representative: Thomas McCullough

Date: 10-30-18
Case #: 2018-707
Map & Parcel: 05308014900

Council District 06

The undersigned hereby appeals from the decision of the Zoning Administrator, wherein a Zoning Permit/Certificate of Zoning Compliance was refused:

Purpose: PROPOSED FRONT PORCH ADDITION
(5 FT X 16 FT).

Activity Type: RESIDENTIAL ADDITION

Location: 611 ROSEBANK

This property is in the R10 Zone District, in accordance with plans, application and all data heretofore filed with the Zoning Administrator, all of which are attached and made a part of this appeal. Said Zoning Permit/Certificate of Zoning Compliance was denied for the reason:

Reason: VARIANCE TO STREET SETBACK

Section(s): 17.12.030 C3

Based on powers and jurisdiction of the Board of Zoning Appeals as set out in Section 17.40.180 Subsection _____ Of the Metropolitan Zoning Ordinance, a Variance, Special Exception, or Modification to Non-Conforming uses or structures is here by requested in the above requirement as applied to this property.

Thomas McCullough
Appellant Name (Please Print)

SAME
Representative Name (Please Print)

611 ROSEBANK AVE
Address

()
Address

37206 TN NASHVILLE
City, State, Zip Code

()
City, State, Zip Code

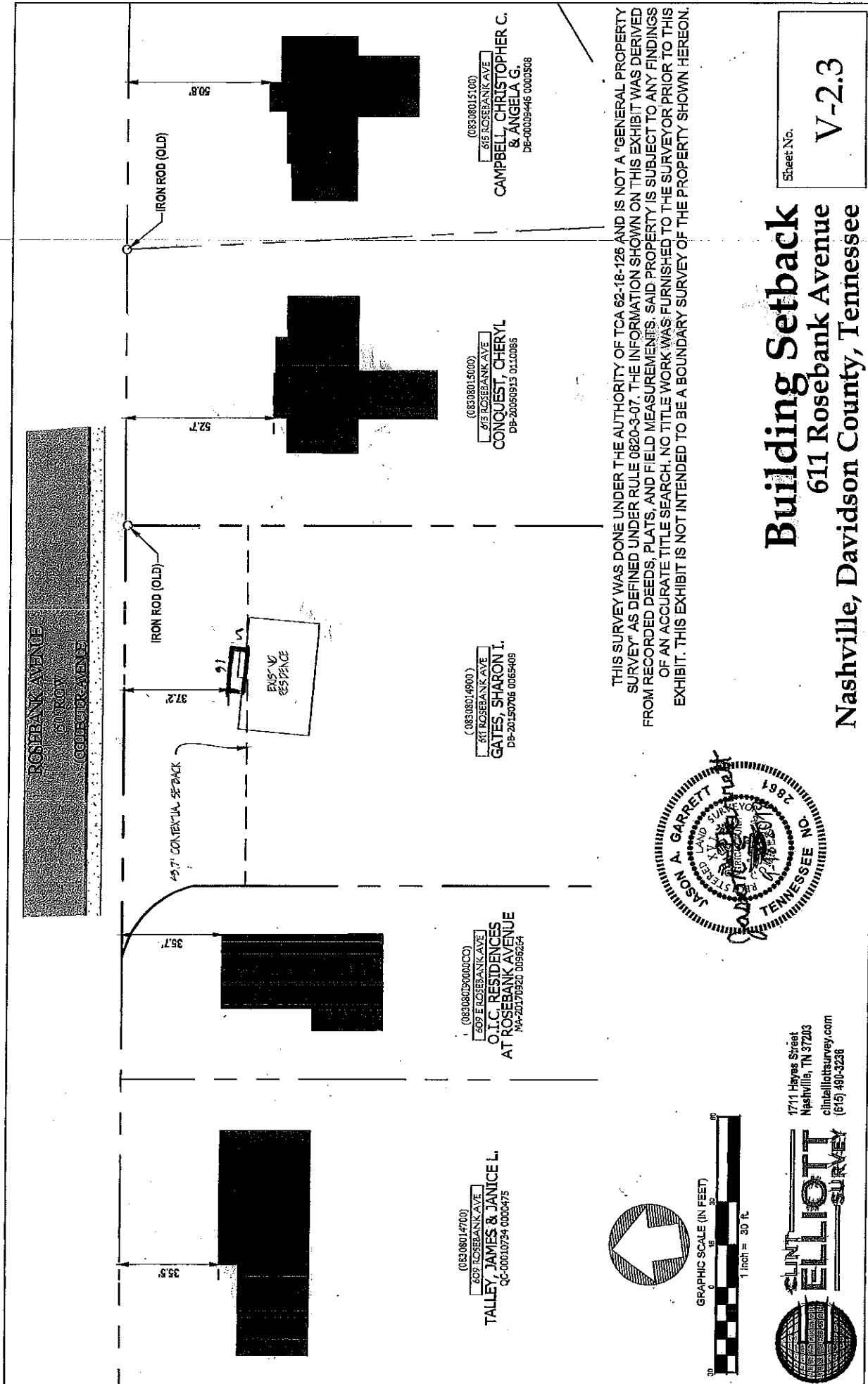
615-423-4841
Phone Number

/ /
Phone Number

2 REALIMPROVEMENT@GMAIL.COM
Email

- /
Email

Appeal Fee: _____



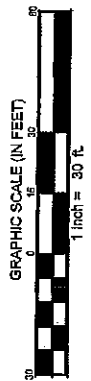
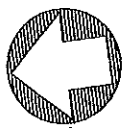
(08308014700)
 609 ROSEBANK AVE
TALLEY, JAMES & JANICE L.
 QC-00010724 0000475

(08308050000000)
 609 E ROSEBANK AVE
O.I.C. RESIDENCES
 AT ROSEBANK AVENUE
 MA-20170920 0056264

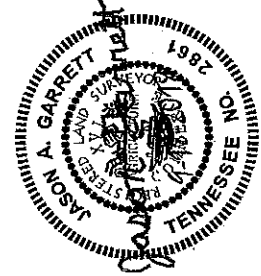
(083080149001)
 611 ROSEBANK AVE
GATES, SHARON I.
 DB-20150705 0065409

(08308015000)
 615 ROSEBANK AVE
CONQUEST, CHERYL
 DB-20050913 0110086

(08308015100)
 615 ROSEBANK AVE
**CAMPBELL, CHRISTOPHER C.
 & ANGELA G.**
 DB-00090446 0000568



THIS SURVEY WAS DONE UNDER THE AUTHORITY OF TCA 62-18-126 AND IS NOT A "GENERAL PROPERTY SURVEY" AS DEFINED UNDER RULE 0820-3-07. THE INFORMATION SHOWN ON THIS EXHIBIT WAS DERIVED FROM RECORDED DEEDS, PLATS, AND FIELD MEASUREMENTS. SAID PROPERTY IS SUBJECT TO ANY FINDINGS OF AN ACCURATE TITLE SEARCH. NO TITLE WORK WAS FURNISHED TO THE SURVEYOR PRIOR TO THIS EXHIBIT. THIS EXHIBIT IS NOT INTENDED TO BE A BOUNDARY SURVEY OF THE PROPERTY SHOWN HEREON.



1711 Hayes Street
 Nashville, TN 37203
 clintelliotsurvey.com
 (615) 490-3236

Building Setback
 611 Rosebank Avenue
 Nashville, Davidson County, Tennessee

Sheet No.
V-2.3

APPLICATION FOR A VARIANCE REQUEST

After your appeal is filed, Zoning staff will visit the site to take photographs for the Board members. So they will have a better-ideal of the nature of your request. Zoning staff will notify the district council member of the hearing. You will be responsible for preparing the envelopes and notices for mailing to the owners of property within 600 feet pf the property at issue in the case. The envelopes must include the return address for the BZA and case number. Fold and insert notices into envelopes, seal the envelopes, and apply first class postage. These neighbor notices must be delivered to Zoning staff at least twenty-three (23) days before the public hearing. Additionally, you will be responsible for purchasing, posting, and removing the red Zoning Appeal signs for the subject property. (See attached Metro Code of Laws requirements regarding, sign placement.)

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Any correspondence to the Board must be submitted to our office by noon, the Monday prior to the public hearing to be included in the record. You must provide eight (8) copies of your information to staff.

We hope that this information will be of help to you in understanding the variance procedure and if our office can be of further assistance, please do not hesitate to contact us.

METROPOLITAN BOARD OF ZONING APPEALS (615) 862-6510

I am aware that I am responsible for posting and also removing the sign(s) after the public hearing.

Thomas McColleggh
APPELLANT

10-30-18
DATE

Standards for a Variance

The Metropolitan Board of Zoning Appeals may grant variances from the strict application of the provisions of the Zoning Code based upon findings of fact related to the standards in section 17.40.370. This Section is included as follows:

Physical Characteristics of the property- The exceptional narrowness, shallowness or shape of a specific piece of property, exceptional topographic condition, or other extraordinary and exceptional condition of such property would result in peculiar and exceptional practical difficulties to, or exceptional or undue hardship upon the owners of such property.

Unique characteristics- *The specific conditions cited are unique to the subject property and generally not prevalent to other properties in the general area.*

Hardship not self-imposed- The alleged difficulty or hardship has not been created by the previous actions of any person having an interest in the property after date of Zoning Code.

Financial gain not only bases- Financial gain is not the sole basis for granting the variance.

No injury to neighboring property- The granting of a variance will not be injurious to other property or improvements in the area, impair and adequate supply of light and air to adjacent property, or substantially diminish or impair property values within the area.

No harm to public welfare- *The granting of the variance will not be detrimental to the public welfare and will not substantially impair the intent and purpose of this Zoning Code.*

Integrity of Master Development Plan- *The granting of a variance will not compromise the design integrity or functional operation of activities or facilities within an approved Planned Unit Development.*

The Board shall not grant variances to the land use provisions of section 2.3, nor the density of Floor Area Ratio (FAR) standards of Tables 3-B and 2-C, nor the required size of residential lots approved by the Planning Commission under the authority of section 3.7 (Lot Averaging), section 3.8 (Cluster Lot Option) or Section 9. E.3 (PUD). Further the Board shall not act on a variance application within a Planned Unit Development (PUD), Urban Design Overlay or Institutional Overlay district without first considering a recommendation from the Planning Commission.

In Simple terms, for the Board to gran you a variance in the zoning ordinance, you must convey to the Board what your hardship is. Hardships are narrowness, shallowness, irregular shape, and topography of property. The Board can also consider other practical difficulties such as mature trees, easements, and location of disposal systems which can affect your plan. Consideration can be given to the characteristics of neighborhood and the way it is developed. One or more of these conditions must affect your inability to build or occupy the property to provide your case.

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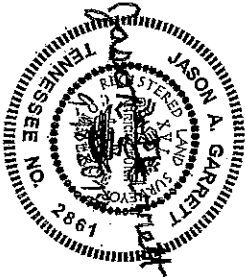
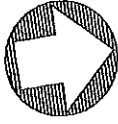
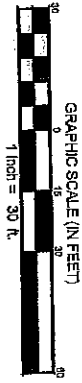
WHAT SPECIFIC AND UNIQUE CIRCUMSTANCES (HARDSHIP) EXIST THAT WOULD AUTHORIZE THE CONSIDERATION OF THE BOARD UNDER THE REVIEW STANDARDS AS OUTLINED?

EXISTING NEIGHBORS CLOSER THAN 37'
THE PROJECT HOME SITS ON AN IRREGULAR SHAPE LOT
CONTEXTUAL SETBACK IS 6 FT+ SHY OF OUR PROPOSITION.



ELLIOTT
SURVEY

1711 Hayes Street
Nashville, TN 37203
elliottsurvey.com
(615) 480-9286



Building Setback
611 Rosebank Avenue
Nashville, Davidson County, Tennessee

Sheet No.
V-2.3

THIS SURVEY WAS DONE UNDER THE AUTHORITY OF TCA 62-18-126 AND IS NOT A "GENERAL PROPERTY SURVEY" AS DEFINED UNDER RULE 0820-3-07. THE INFORMATION SHOWN ON THIS EXHIBIT WAS DERIVED FROM RECORDED DEEDS, PLATS, AND FIELD MEASUREMENTS. SAID PROPERTY IS SUBJECT TO ANY FINDINGS OF AN ACCURATE TITLE SEARCH. NO TITLE WORK WAS FURNISHED TO THE SURVEYOR PRIOR TO THIS EXHIBIT. THIS EXHIBIT IS NOT INTENDED TO BE A BOUNDARY SURVEY OF THE PROPERTY SHOWN HEREON.

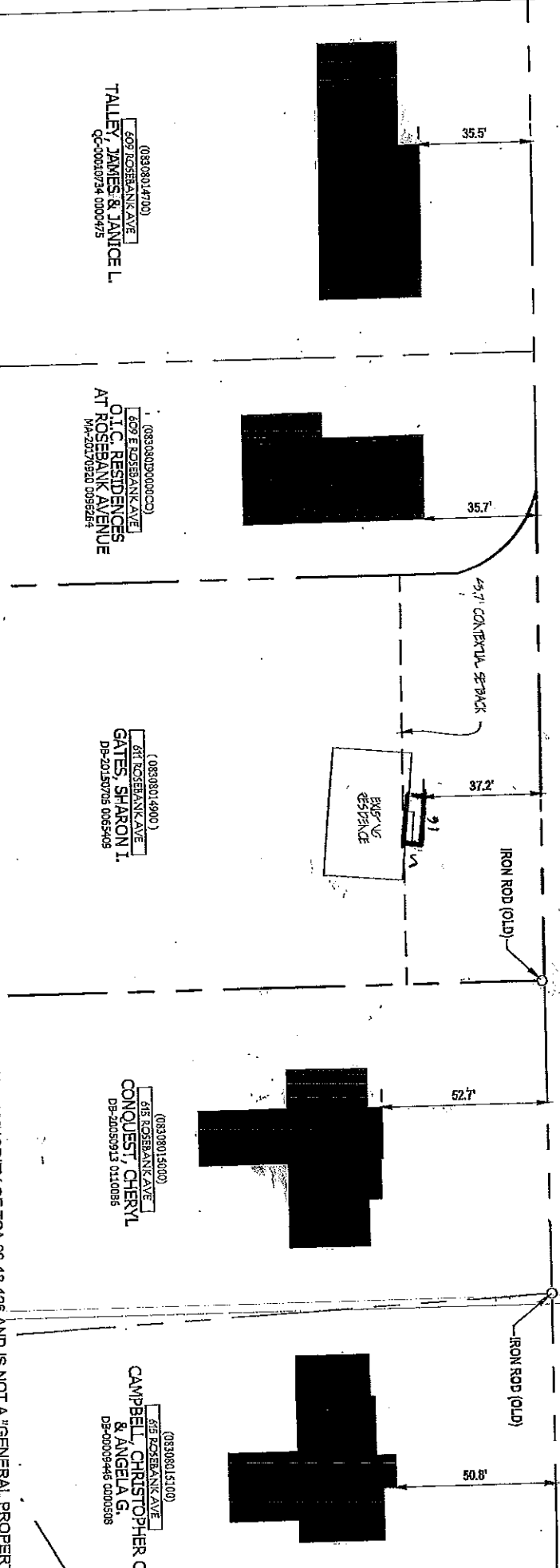
(083080147100)
609 ROSEBANK AVE
TALLEY, JAMES & JANICE L.
DC-000310754 0000475

(08308010000000)
609 E ROSEBANK AVE
O.I.C. RESIDENCES
AT ROSEBANK AVENUE
MA-20170930 0095264

(083080149901)
611 ROSEBANK AVE
GATES, SHAWN I.
DE-20150705 0065405

(083080150001)
616 ROSEBANK AVE
CONQUEST, CHERYL
DE-20050913 0110085

(08308015100)
616 ROSEBANK AVE
CAMPBELL, CHRISTOPHER C.
& ANGELA G.
DE-00009446 0000508



ROSEBANK AVENUE
50' ROW
COLLECTOR (W/SEWER)



**Metropolitan Government
of Nashville and Davidson County, Tennessee
Department of Codes and Building Safety
800 Second Avenue South, Nashville, TN 37210**



3574018

**ZONING BOARD APPEAL / CAAZ - 20180068824
Inspection Checklist for Use and Occupancy
This is not a Use and Occupancy Notification**

PARCEL: 08308014900

APPLICATION DATE: 10/30/2018

SITE ADDRESS:

611 ROSEBANK AVE NASHVILLE, TN 37206
REV. PAR A & LOT 123 ROSEWOOD HGTS SEC. 3

PARCEL OWNER: GATES, SHARON I.

CONTRACTOR:

APPLICANT:**PURPOSE:**

No Construction Permit Application started.

Appeal to BZA requesting 37.2 ft front setback for Covered Porch addition to front of single family residence.
Zoning required setback is 43.7 ft per average of 4 existing adjacent houses.

POC: Thomas McCullough 615-423-4841 (builder)

*Before a Use and Occupancy Letter can be issued for this project, the following approvals are required.
Inspections Foundation = before concrete poured, Framing = before covering wall and after rough-in inspections.*

There are currently no required inspections

Inspection requirements may change due to changes during construction.

From: [Withers, Brett \(Council Member\)](#)
To: [Board of Zoning Appeals \(Codes\)](#)
Cc: [Michael, Jon \(Codes\)](#); [Lamb, Emily \(Codes\)](#); [Shepherd, Jessica \(Codes\)](#)
Subject: Summary email for District 6 items on 12/20 BZA agenda
Date: Friday, December 14, 2018 9:37:33 AM

Members of the Board of Zoning Appeals:

There are two items on the 12/20 agenda that are listed for District 6:

- Case 2018-697 is a short term rental case for property located at 731 Joseph Avenue. This item is mislabeled as that property is located in Council District 5. I will defer to Council Member Scott Davis on this case.
- Case 2018-707 is a contextual setback variance request for property located at 611 Rosebank Avenue in the Rosebank neighborhood of District 6. The property currently has roof protecting over an area that is larger than the stoop and the homeowners wish to expand the footprint of the area under this existing roof cover in order to enlarge the stoop into a front porch. The plans also call for reconfiguring the current roof cover from a shed-style to a gable-style roof form. My understanding is that these plans would not change the covered area at the front of the home and would enhance the manner in which the home addresses the street. The Rosebank neighborhood is largely composed of mid-Century brick Ranch and Minimal Traditional houses, many of which are being updated in recent years. As front porches were not a common feature of houses constructed during that mid-Century time period but are quite popular among homebuyers today, these variance requests are common and I am not aware of any neighbor objections. Enhancing the front entrance to this home may help to extend the life of this structure and is certainly less impactful to the neighborhood than demolishing the structure and replacing it with a detached duplex, which the base zoning entitlements allow. I support this appeal and request your support as well.

Thank you for your service. Have a Happy New Year.

Brett A. Withers

Metro Council, District 6

Mobile (615) 427-5946 | [facebook.com/Brett A. Withers](https://www.facebook.com/Brett.A.Withers) | [twitter.com @brettawithers](https://twitter.com/brettawithers)

Metropolitan Board of Zoning Appeals

Metro Howard Building
800 Second Avenue South
Nashville, Tennessee 37210



Appellant: DAVID POWELL
Property Owner: Red Horse Devco.
Representative: DAVID POWELL

Date: 11-2-18
Case #: 2018-709
Map & Parcel: 10507005300

Council District 17

10507005400
10507005500
10507005600
10507005700

The undersigned hereby appeals from the decision of the Zoning Administrator, wherein a Zoning Permit/Certificate of Zoning Compliance was refused:

Purpose:

TO CONSTRUCT A CONGREGATE LIVING
DEVELOPMENT TO INCLUDE 152 SLEEPING
UNITS AND 1405 SQ FT OF COMMERCIAL
SPACE.

Activity Type: NEW COMMERCIAL CONSTRUCTION

Location: 461 - 471 HUMPHREYS ST

This property is in the _____ Zone District, in accordance with plans, application and all data heretofore filed with the Zoning Administrator, all of which are attached and made a part of this appeal. Said Zoning Permit/Certificate of Zoning Compliance was denied for the reason:

Reason: VARIANCE TO PARKING

Section(s): 17.20.030

Based on powers and jurisdiction of the Board of Zoning Appeals as set out in Section 17.40.180 Subsection CS + MUL of the Metropolitan Zoning Ordinance, a Variance, Special Exception, or Modification to Non-Conforming uses or structures is here by requested in the above requirement as applied to this property.

CS + MUL - A
ZONING

DAVID POWELL
Appellant Name (Please Print)

HASTINGS
127 THIRD AVE. S.
Address

NASHVILLE TN 37215
City, State, Zip Code

615.479.2090
Phone Number

dpowell@HAX.US
Email

Representative Name (Please Print)

Address

City, State, Zip Code

Phone Number

Email

Appeal Fee: 200.00



**Metropolitan Government
of Nashville and Davidson County, Tennessee
Department of Codes and Building Safety
800 Second Avenue South, Nashville, TN 37210**



3574940

**ZONING BOARD APPEAL / CAA7 - 20180069388
Inspection Checklist for Use and Occupancy
This is not a Use and Occupancy Notification**

PARCEL: 10507005300

APPLICATION DATE: 11/02/2018

SITE ADDRESS:

461 HUMPHREYS ST NASHVILLE, TN 37203

LOT 36 HUMPHREY HOUSTON & MARTIN ADDN TO SOUTH NASHVILLE

PARCEL OWNER: RED HORSE DEVCO., LLC

CONTRACTOR:

APPLICANT:**PURPOSE:**

No Construction Permit Application started, Appeal Only at this point.

Variance from Parking Requirements per 17.20.030

Required 152 spaces for Sleeping Units and up to 3 spaces for proposed Commercial Use

Proposed Development includes 5 Parcels: 461/465/467/469 & 471 Humphreys Street

Congregate Living Development containing 152 Sleeping Units with 1405 sq ft of Commercial Space

POC: David Powell 615-479-8090

*Before a Use and Occupancy Letter can be issued for this project, the following approvals are required.
Inspections Foundation = before concrete poured, Framing = before covering wall and after rough-in inspections.*

There are currently no required inspections

Inspection requirements may change due to changes during construction.

APPLICATION FOR A VARIANCE REQUEST

After your appeal is filed, Zoning staff will visit the site to take photographs for the Board members. So they will have a better ideal of the nature of your request. Zoning staff will notify the district council member of the hearing. You will be responsible for preparing the envelopes and notices for mailing to the owners of property within 600 feet pf the property at issue in the case. The envelopes must include the return address for the BZA and case number. Fold and insert notices into envelopes, seal the envelopes, and apply first class postage. These neighbor notices must be delivered to Zoning staff at least twenty-three (23) days before the public hearing. Additionally, you will be responsible for purchasing, posting, and removing the red Zoning Appeal signs for the subject property. (See attached Metro Code of Laws requirements regarding, sign placement.)

The day of the public hearing, it will be your responsibility to convey to the Board the nature of the hardship in your request that makes it difficult/impossible for you to comply with the Zoning Code. **It would be to your benefit to let your neighbors know about your request prior to all notices being sent to them from our office.**

Any party can appeal the Board's decision to Chancery or Circuit Court within sixty (60) days from the date the order in the case is entered. **Should your request be granted, we would remind you that it is your responsibility to obtain the permit for which you have applied.** You should also be aware that you have two (2) years to obtain the permit or you would have to re-file your request with the board.

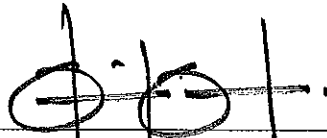
Once your request is filed, the staff will review your request to verify that the submittal is complete. Incomplete submittals will not be scheduled for hearing until complete.

Any correspondence to the Board must be submitted to our office by noon, the Monday prior to the public hearing to be included in the record. You must provide eight (8) copies of your information to staff.

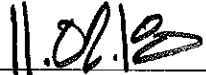
We hope that this information will be of help to you in understanding the variance procedure and if our office can be of further assistance, please do not hesitate to contact us.

METROPOLITAN BOARD OF ZONING APPEALS (615) 862-6510

I am aware that I am responsible for posting and also removing the sign(s) after the public hearing.



 APPELLANT



 DATE

Standards for a Variance

The Metropolitan Board of Zoning Appeals may grant variances from the strict application of the provisions of the Zoning Code based upon findings of fact related to the standards in section 17.40.370. This Section is included as follows:

Physical Characteristics of the property- The exceptional narrowness, shallowness or shape of a specific piece of property, exceptional topographic condition, or other extraordinary and exceptional condition of such property would result in peculiar and exceptional practical difficulties to, or exceptional or undue hardship upon the owners of such property.

Unique characteristics- *The specific conditions cited are unique to the subject property and generally not prevalent to other properties in the general area.*

Hardship not self-imposed- *The alleged difficulty or hardship has not been created by the previous actions of any person having an interest in the property after date of Zoning Code.*

Financial gain not only bases- *Financial gain is not the sole basis for granting the variance.*

No injury to neighboring property- *The granting of a variance will not be injurious to other property or improvements in the area, impair and adequate supply of light and air to adjacent property, or substantially diminish or impair property values within the area.*

No harm to public welfare- *The granting of the variance will not be detrimental to the public welfare and will not substantially impair the intent and purpose of this Zoning Code.*

Integrity of Master Development Plan- *The granting of a variance will not compromise the design integrity or functional operation of activities or facilities within an approved Planned Unit Development.*

The Board shall not grant variances to the land use provisions of section 2.3, nor the density of Floor Area Ratio (FAR) standards of Tables 3-B and 2-C, nor the required size of residential lots approved by the Planning Commission under the authority of section 3.7 (Lot Averaging), section 3.8 (Cluster Lot Option) or Section 9. E.3 (PUD). Further the Board shall not act on a variance application within a Planned Unit Development (PUD), Urban Design Overlay or Institutional Overlay district without first considering a recommendation from the Planning Commission.

In Simple terms, for the Board to gran you a variance in the zoning ordinance, you must convey to the Board what your hardship is. Hardships are narrowness, shallowness, irregular shape, and topography of property. The Board can also consider other practical difficulties such as mature trees, easements, and location of disposal systems which can affect your plan. Consideration can be given to the characteristics of neighborhood and the way it is developed. One or more of these conditions must affect your inability to build or occupy the property to provide your case.

At the public hearing, please be prepared to tell the Board what your hardship is, why you cannot build in accordance with zoning without requesting a variance and why you feel you have legitimate hardship.

The Board cannot grant a variance based solely on inconvenience to the applicant or solely on a financial consideration. It is incumbent on you as the appellatnt to complete this form by conveying a **HARDSHIP** as outlined. At the meeting it is important that you explain this hardship as effectively as possible.

WHAT SPECIFIC AND UNIQUE CIRCUMSTANCES (HARDSHIP) EXIST THAT WOULD AUTHORIZE THE CONSIDERATION OF THE BOARD UNDER THE REVIEW STANDARDS AS OUTLINED?

~~SEE ATTACHED MEMO DATED 11.01.18~~



MEMORANDUM

Date: November 1, 2018

Project Name: WeHo Flats

To: Metropolitan Board of Zoning Appeals (BZA)

Topic: Application for a Variance Request

On behalf of Eagle Rock Ventures LLC (ERV), Hastings Architecture Associates requests your consideration of a parking variance for the WeHo Flats located at the southwest corner of Humphreys Street and Martin Street in the Wedgwood Houston neighborhood of Nashville. The proposed project would include 152 sleeping units with shared kitchen areas and 1 corner space for commercial use (13 of the street facing ground floor units would be "live/work units"). The sleeping units are approximately 190-200sf each and include private bathrooms.

TABLE 17.20.030: PARKING REQUIREMENTS in the Zoning Code requires that multifamily residential land uses provide 1 parking space per bedroom (152 spaces). Market data for the prospective tenant, proof-of-concept developments already completed by ERV, and a parking needs analysis by KCI Technologies support the proposed solution of providing 44 spaces in lieu of 152 spaces. This is essentially due to the self-selecting nature of the tenant type, who are less dependent on personal automobiles for their transportation.

This type of shared housing is further described in the commentary of the International Building Code as Congregate Living Facilities, but not specifically addressed in the Zoning Code.

Referencing the Tennessee Code Annotated § 13-7-207 (3), we are claiming a hardship based on the "extraordinary and exceptional situation" of a specific use new to Nashville and not clearly defined in the Parking Requirements of the Zoning Code.

2018-709 Site Plan

ZONING INFORMATION	
Parcel Information	Parcel: 10507005300 461 Humphreys St. - 7,223 SF
	Parcel: 10507005400 465 Humphreys St. - 7,405 SF
	Parcel: 10507005500 467 Humphreys St. - 7,331 SF
	Parcel: 10507005600 469 Humphreys St. - 7,539 SF
	Parcel: 10507005700 471 Humphreys St. - 10,749 SF
	40,247 SF
	(0.92 Acre)

Council District	
Zoning	MUL-A: Mixed-Use Limited, Alternative
	461, 465, 467 Humphreys St.
	CS: Commercial Services
	469, 471 Humphreys St.

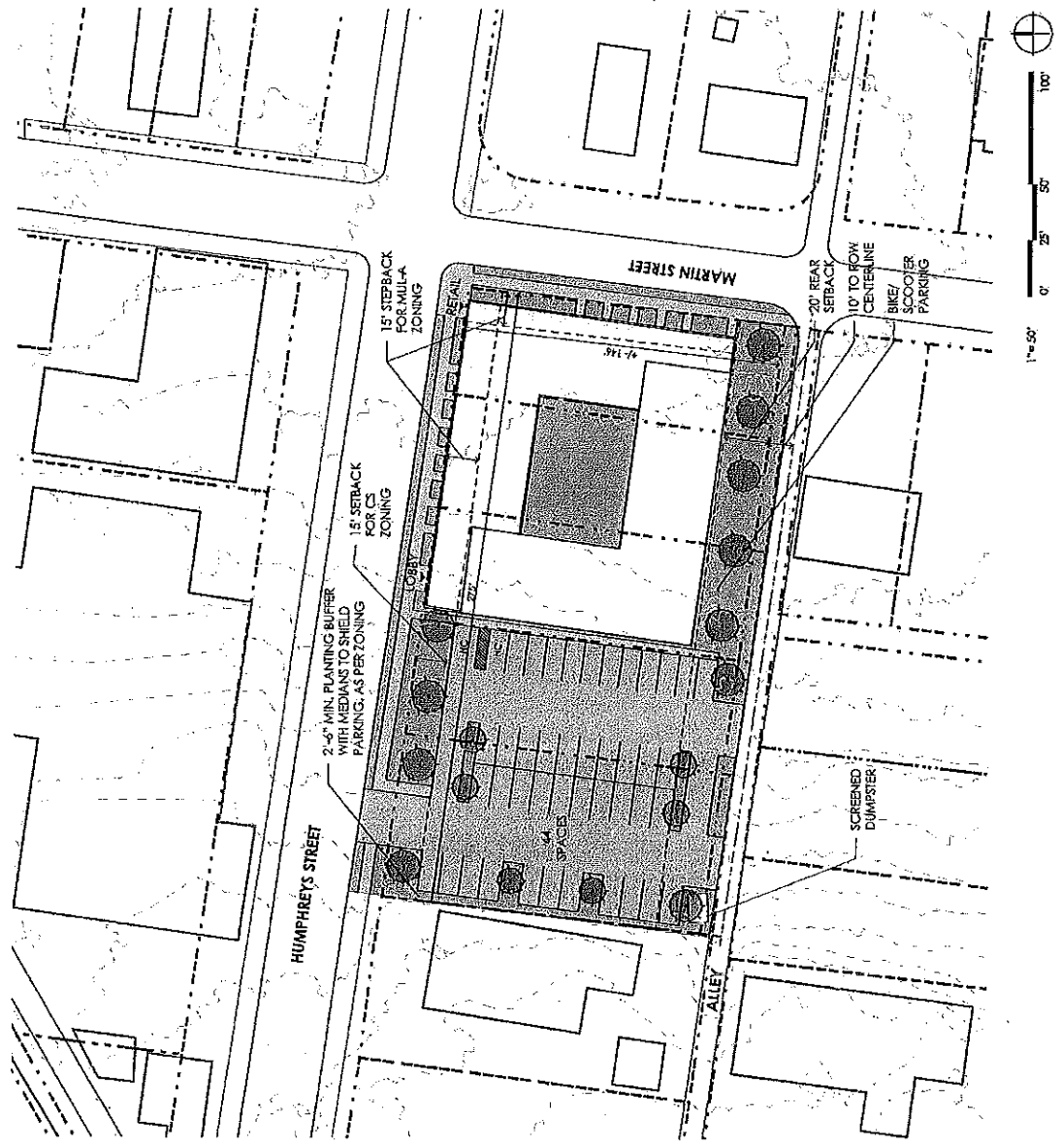
Parking Required
152 spaces required for Traditional Multifamily
0-3 spaces required for Restaurant/Retail

All standards below reflect the UZO reduction.

- Multifamily
 - studio or 1 bedroom: 1 space / unit
- Restaurant, full service
 - first 1,000 SF exempt
 - 1 / 150 SF for excess of 1,000 SF
- Restaurant, take-out
 - exempt
- General Retail
 - first 2,000 SF exempt
 - 1 / 200 SF for 2,000-30,000 SF

Max Big Heights per zoning	
MUL-A: 3 stories in 45' (in Build-to Zone)	4 stories in 60' (at 15' Step-Back)
CS: 30'	

PROPOSED BUILDING	
Big Use	Residential Shared Housing or "Congregate Living" as defined by the International Building Code approx. 200 sf Micro Units with Shared Kitchens
Big Height	35' in 3 stories at stepback 45' in 4 stories overall
Building Program	139 Sleeping Units 13 Live/Work Units 1 Restaurant/Retail space (1,405 sf)
On-Site Parking Provided	44 spaces (w/ 1 handicap space & 1 van space)



2018-709 Site Plan



ZONING INFORMATION

Parcel Information	Parcel 10507005300	461 Humphreys St. - 7,223 SF
	Parcel 10507005400	465 Humphreys St. - 7,405 SF
	Parcel 10507005500	467 Humphreys St. - 7,331 SF
	Parcel 10507005600	469 Humphreys St. - 7,539 SF
	Parcel 10507005700	471 Humphreys St. - 10,749 SF
		40,247 SF
		(0.92 Acre)

Council District	17: Colby Sledge
Zoning	MUL-A: Mixed-Use Limited, Alternative 461, 465, 467 Humphreys St. CS: Commercial Services 469, 471 Humphreys St.

Parking Required	152 spaces required for Traditional Multifamily 0-3 spaces required for Restaurant/Retail
-------------------------	--

All standards below reflect the UZO reduction.

- Multi-family
 - studio or 1 bedroom: 1 space / unit
- Restaurant, full service
 - first 1,000 SF exempt
 - 1 / 150 SF for excess of 1,000 SF
- Restaurant, take-out
 - exempt
- General Retail
 - first 2,000 SF exempt
 - 1 / 200 SF for 2,000-50,000 SF

Max Bldg Heights per zoning	MUL-A: 3 stories in 45' (in Build-to Zone) 4 stories in 60' (at 15' Step-Back) CS: 30'
------------------------------------	--

PROPOSED BUILDING

Bldg Use	Residential: Shared Housing or "Congregate Living" as defined by the International Building Code aprx. 200 sf Micro Units with Shared Kitchens
-----------------	---

Bldg Height	35' in 3 stories at stepback 45' in 4 stories overall
--------------------	--

Building Program	139 Sleeping Units 13 Live/Work Units 1 Restaurant/Retail space (1,405 sf)
-------------------------	--

On-Site Parking Provided	44 spaces (w/ 1 handicap space & 1 van space)
---------------------------------	---

MEMORANDUM

To: Beverly Ammarell, Metro Nashville Public Works

From: Beth Ostrowski, P.E., KCI Technologies, Inc.
Julie Hornsby, E.I.T., KCI Technologies, Inc.

Re: **WeHo Flats Parking Study**

Date: December 17, 2018

1. INTRODUCTION AND PROJECT DESCRIPTION

The purpose of this study is to complete an analysis to determine the minimum number of parking spaces required to accommodate the proposed WeHo Flats congregate housing development. Typically, a congregate housing development consists of a self-contained residential unit that usually includes a sleeping space, a sitting space, a kitchenette, and a bathroom. The WeHo Flats development, however, will not include a kitchenette; instead, the development will include shared kitchens on every floor. As shown by Figure 1, the development is located on the southwest corner of the intersection of Humphreys Street and Martin Street in Nashville, Tennessee.

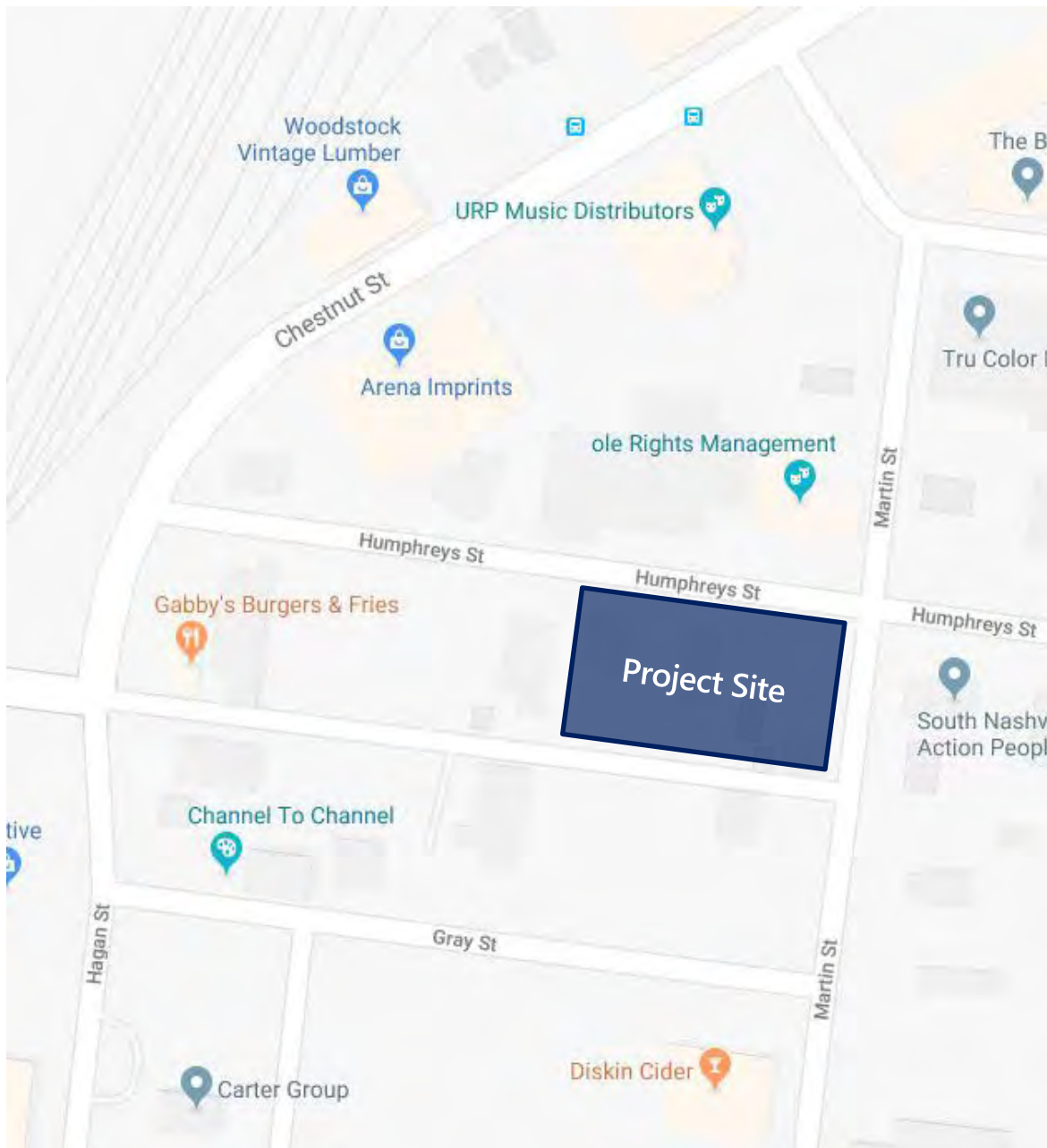
According to the developer, Eagle Rock Ventures LLC (ERV), the project will include approximately 152 "sleeping units" and 836 square feet of retail space accommodated by approximately 54 on-site parking spaces and 6 on-street parking spaces abutting the project site. The property is generally bounded on the north by Humphreys Street, on the east by Martin Street, on the south by an existing local alley, and on the west by existing residential homes. Vehicular access to the project is planned to be provided to the south on the public alley. The current site plan for the development is attached.

Since Metro Nashville's *Code of Ordinances* does not specify any parking requirements for congregate housing developments, KCI conducted extensive research to understand how other cities across the country have interpreted their zoning and parking laws to accommodate this new type of development.

MEMORANDUM

Date: December 17, 2018

Re: WeHo Flats Parking Study



Location of the Project Site
(Not to Scale)

Figure 1.

MEMORANDUM**Date:** December 17, 2018**Re:** WeHo Flats Parking Study

2. INITIAL RESEARCH

Since the concept of congregate housing developments is new to Nashville and parking requirements for this specific land use have not yet been established by Metro Nashville, KCI researched how other cities across the country have been addressing this new type of development. The main findings of the research are as follows:

- West Palm Beach:
 - One parking spot required for every two congregate housing units.
- Austin:
 - 0.6 parking spaces required per unit.
- San Diego:
 - 0.3 spaces per market rate living unit

In addition to these research findings, the project developer provided KCI with the results of a survey ERV conducted to gauge the profile of individuals residing in all of their congregate housing developments in Seattle, WA. Since the City of Seattle allows for developers to provide parking spaces based on their tenant's anticipated demand, ERV's projects in Seattle include no parking stalls. According to the survey results, only 23% of residents used a car as their main mode of transportation. The complete survey results are attached.

According to the project developer, the WeHo Flats residential development aims to attract residents with a profile similar to the tenants in Seattle. The developer's target tenant demographics consist of individuals who demonstrate preference for alternative means of transportation, such as biking, walking, ride share (Uber, Lyft), scooter, or using the public transit system. Thus, although the cities researched by KCI might vary from Nashville regarding their existing transit infrastructure, the different approaches each one took to determine parking requirements for congregate housing developments shows relevance when considering the type of resident the proposed development aims to attract.

MEMORANDUM

Date: December 17, 2018

Re: WeHo Flats Parking Study

3. PARKING ANALYSIS**3.1 Zoning Ordinance Requirements**

Metro Nashville's *Code of Ordinances* contains parking space requirements for specific land uses. This ordinance is typically reviewed to determine the parking that would be required for the proposed land uses. However, none of the existing land uses specifically accommodate congregate housing developments. According to the referenced *Code of Ordinances*, if a land use is "not specifically classified in Table 17.20.030, the zoning administrator shall apply the parking requirements for a similar listed use". As previously described, the apartments in this development will consist of "sleeping units" and the building residents will have shared kitchen spaces. Based on this description, the proposed congregate housing development functions similarly to dormitories. Thus, initial calculations were performed based on parking requirements for dormitory projects.

The results of the parking calculations are shown in Table 1. As shown, based on the parking demand rates, the proposed development would require a minimum of 76 parking spaces. However, the final number for the parking requirement was lowered due to the application of the following reduction adjustments, which are applicable to properties within Metro's Urban Zoning Overlay district (UZO):

- 10% reduction since the project site is located within 660 feet of a public transit route
- 10% reduction since nonresidential use is located where residents of all residential areas within 1,320 feet of the subject property can walk to and from the nonresidential use on a continuous sidewalk system.
- 10% reduction since the project site is located within ten feet of the rights-of-way in accordance with the contextual front setback provision

According to the referenced *Code of Ordinances*, the combined effect of all applicable adjustments shall not reduce the off-street parking required by more than 25%. Following this parking requirement adjustment, the number of parking spaces required drops to 57 spaces.

MEMORANDUM**Date:** December 17, 2018**Re:** WeHo Flats Parking Study

As discussed previously, the development will be accommodated by approximately 54 on-site parking spaces and 6 on-street parking spaces abutting the project site. According to the *Code of Ordinances*, one legal on-street parking space can be substituted for ½ of every required off-street parking space provided the on-street space is located on a public right-of-way immediately abutting the property or tenant space seeking the parking. Therefore, the development will provide 57 parking spaces as defined by the *Code of Ordinances*, which falls two spaces below the adjusted code required parking.

Table 1. Required Parking Based on Metro Nashville’s Code of Ordinances

LAND USE	SIZE	PARKING RATE PER CODE OF ORDINANCES	PARKING REQUIREMENT
Dormitory	152 units ("sleeping units")	1 space per each 2 rooming units	76 Spaces
Retail	836 sf	First 2,000 square feet: exempt	0 Spaces
25% Reduction for Transit Accessibility, Pedestrian Access, and Contextual Front Setbacks			-19
TOTAL			57 spaces

3.2 Zoning Ordinance Requirements

In order to measure the surrounding area’s ability to accommodate the *Code of Ordinances* defined parking deficiency of two spaces, an on-street parking capacity analysis was conducted in the vicinity of the proposed development. Parking occupancy counts were conducted for on-street parking spaces located on the following street segments:

- Humphreys Street between Chestnut Street and Pillow Street
- Martin Street between Houston Street and Merritt Avenue

Specifically, KCI Technologies, Inc. (KCI) conducted parking occupancy counts on two typical weekdays in September 2018 while Metro Public Schools were in session. The counts were conducted as follows:

- One early-morning count at 6:00 AM
- Seven mid-day counts; one per each half-hour interval from 10:30 AM – 2:00 PM
- One late-night count at 10:00 PM

MEMORANDUM**Date:** December 17, 2018**Re:** WeHo Flats Parking Study

These times were chosen to represent periods when residents of the proposed development would want to park near home.

The on-street parking capacity analysis on Martin Street accounted solely for the designated parking spaces located directly north of Merritt Avenue. In this zone, there are ten parking spaces on the southbound side of Martin Street and seven spaces on the northbound side, adding up to a total of 17 spaces. On Humphreys Street, each interval of curbed road segment that could legally be used for parking from Chestnut Street to Pillow Street was measured and an estimate of how many cars could fit in each interval was made. The results of the on-street parking capacity analysis for Humphreys Street is shown in detail in Table 2. As can be seen, a total of 68 parking spaces are available on Humphreys Street in the vicinity of the project site. When added to the 17 spaces available on Martin Street, a total of 85 cars can use on-street parking in the area near the proposed development.

Table 2. On-Street Parking Capacity on Humphreys Street

Block Boundaries	Direction of Traffic	Distance Intervals For Legal Parking	Number of Vehicles That Fit in Each Interval	Total Parking Spaces
Chestnut Street and Martin Street	Eastbound	85' + 75' + 30' + 150'	3 + 3 + 1 + 6	25 Spaces
	Westbound	75' + 95' + 50' + 75'	3 + 4 + 2 + 3	
Martin Street and Brown Street	Eastbound	30' + 90' + 125'	1 + 4 + 5	19 Spaces
	Westbound	45' + 115' + 50'	2 + 5 + 2	
Brown Street and Pillow Street	Eastbound	60' + 200'	2 + 8	24 Spaces
	Westbound	250' + 95'	10 + 4	
Total Parking Spaces on Humphreys Street				68 Spaces

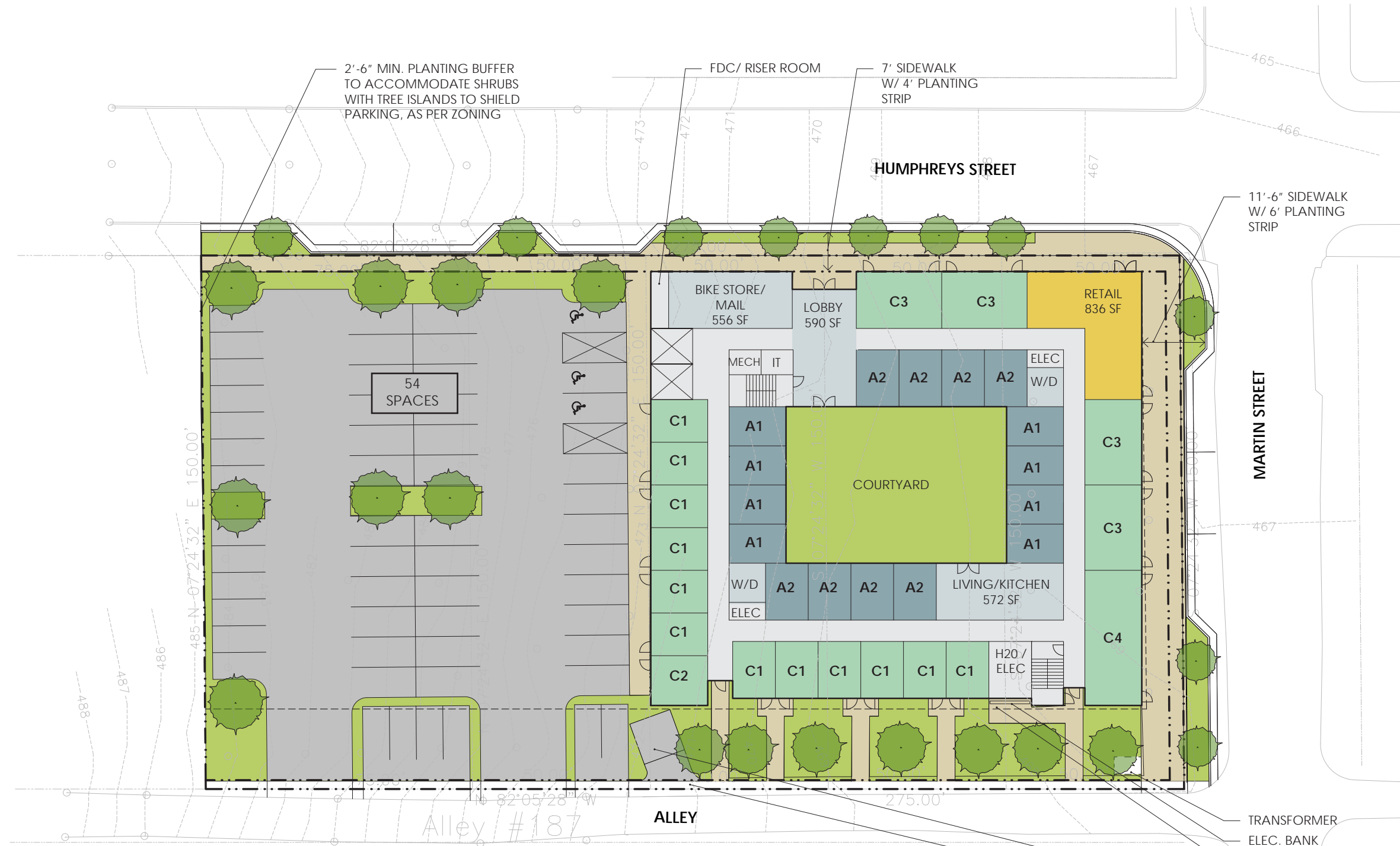
The results of the parking occupancy counts were compared to the number of available parking spaces on Humphreys Street and Martin Street to estimate the approximate number of available parking spaces that are currently unused on an average day. From this analysis, KCI concluded that there is an average of approximately 63 unused parking spaces within the study area on Humphreys Street and Martin Street combined. The minimum available parking spaces, during all intervals collected, was approximately 45 spaces. The spreadsheet with the parking occupancy counts and the procedure for determining unused spaces is attached.

MEMORANDUM**Date:** December 17, 2018**Re:** WeHo Flats Parking Study

Conclusions

The concept of congregate housing developments is new to Nashville and parking requirements for this specific land use have not yet been established by Metro Nashville. The developer's target tenant demographics consist of individuals who demonstrate preference for alternative means of transportation, such as biking, walking, ride share (Uber, Lyft), scooters, or using the public transit system. Based on the research, analysis, and observations presented in this study, adequate parking will be provided for residents of the proposed WeHo Flats residential development. The proposed development will provide approximately 54 on-site parking spaces and 6 on-street parking spaces abutting the project site. An additional 63 unused on-street parking spaces were observed along Humphreys Street and Martin Street. The surrounding area has sufficient ability to accommodate the Code of Ordinances defined parking deficiency of two spaces.

To encourage the use of alternative means of transportation, the proposed development should offer a large, secure bike storage area, mirroring what can be found in the developer's congregate housing properties in Seattle.



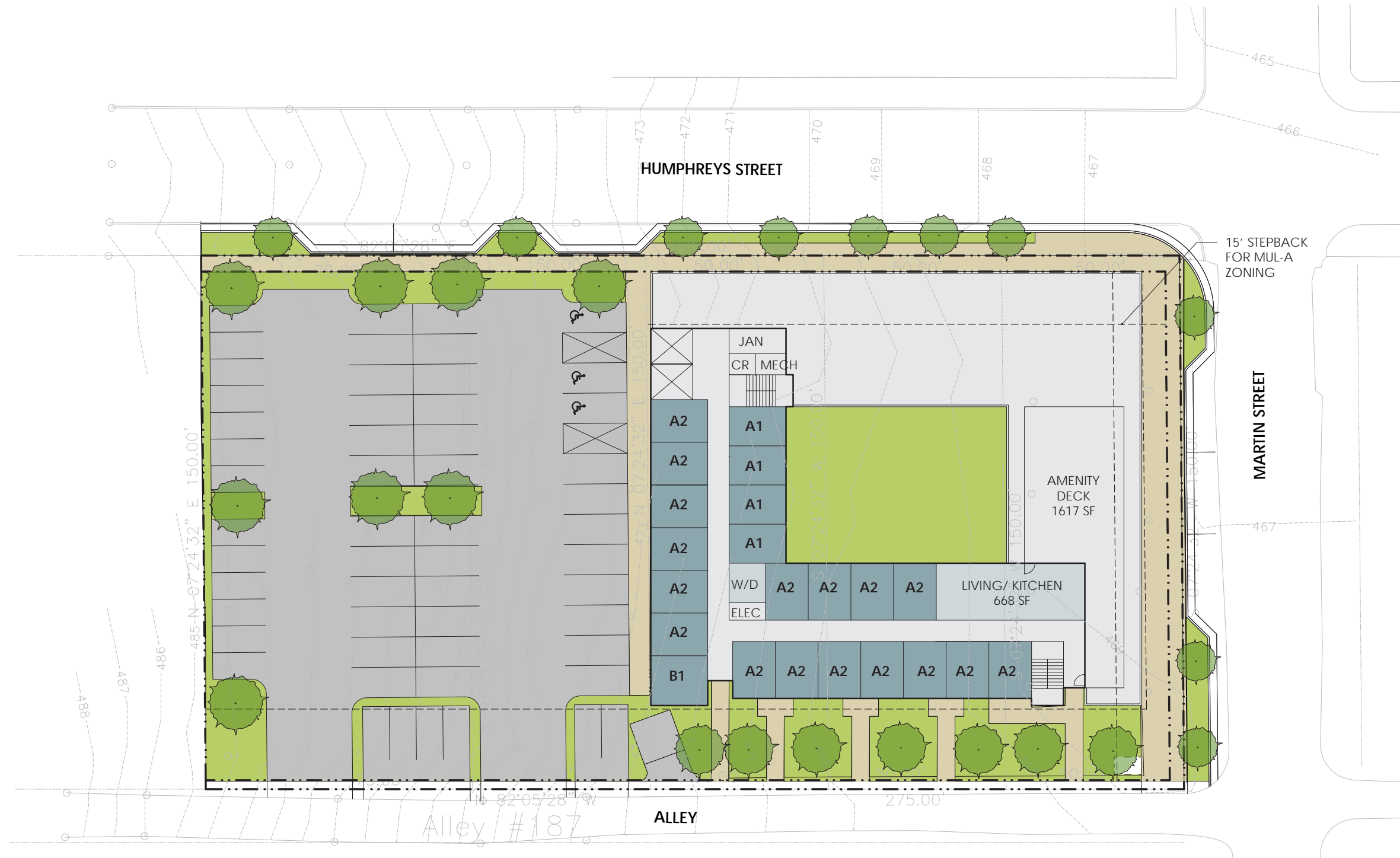
PARKING COUNTS	
PROPOSED:	54 SPACES OFF-STREET 3 SPACES ON-STREET (50% COUNTED)
57 SPACES TOTAL	
REQUIRED:	DORM: 1 SPACE / 2 ROOMING UNITS 25% REDUCTION FOR TRANSIT ACCESSIBILITY, PEDESTRIAN ACCESS, & CONTEXTUAL FRONT SETBACKS
57 SPACES TOTAL	

KEY	
	SLEEPING ROOM
	LIVING/KITCHEN/AMENITY
	LIVE/WORK UNIT
	COMMERCIAL: RETAIL/RESTAURANT



KEY

- SLEEPING ROOM
- LIVING/KITCHEN/AMENITY
- LIVE/WORK UNIT
- COMMERCIAL: RETAIL/RESTAURANT



KEY

- SLEEPING ROOM
- LIVING/KITCHEN/AMENITY
- LIVE/WORK UNIT
- COMMERCIAL: RETAIL/RESTAURANT

SITE SUMMARY

41,250	Site SF
48,656	Total GSF
1.18	yield FAR

SQUARE FOOTAGES

Level	Rental Income	GSF	NSF	Count	Avg NSF/ Unit
4	Sleeping Unit	7,160	4,190	22	190
3	Sleeping Unit	13,862	9,647	48	201
2	Sleeping Unit	13,862	9,647	48	201
	Sleeping Unit	4,797	2,944	16	184
1	Live/Work	7,613	4,672	18	260
	Commercial: Restaurant/Retail	1,362	836		
TOTALS		48,656	31,936	152	210

Eagle Rock Ventures LLC (ERV) is a Seattle-based real estate investment and development firm. ERV has developed seven microhousing projects (246 sleeping rooms/35 units/0 parking stalls) in Seattle. ERV's microhousing model provides workforce housing for individuals seeking affordable housing in centrally located neighborhoods.

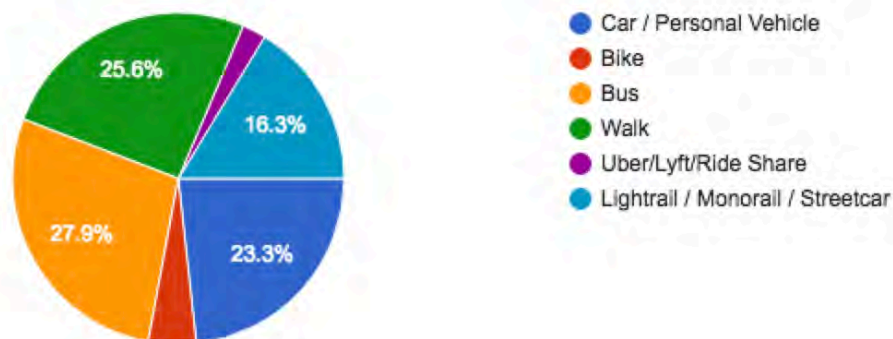
ERV strategically selects urban sites near walkable amenities, public transit, local businesses, and employment/educational centers. Due to our strategic project locations, ERV's typical resident relies less on their own cars for daily transit. On-site parking is not needed when residents walk, bike, and use rideshare (Uber, Lyft) or public transit. ERV has found that our unique model is self-selecting. If having your own parking space is important to a resident, they live elsewhere. Our residents pay less in rent as they do not pay for the development costs associated with a parking garage.

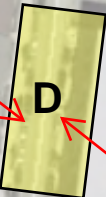
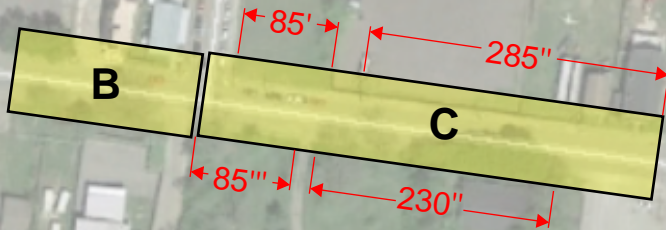
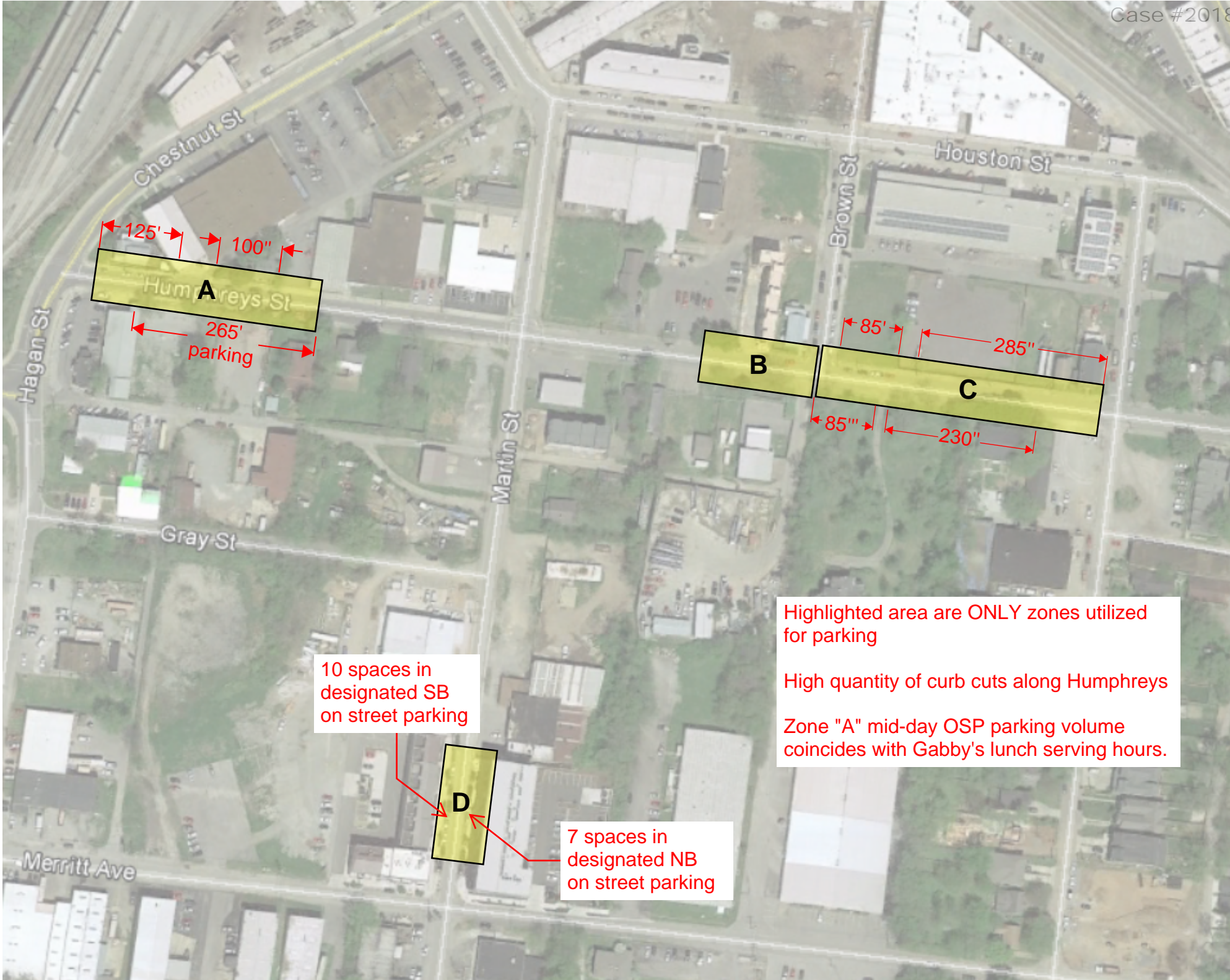
City of Seattle's Land Use Code does not require off-street parking stalls for our residents per Seattle Municipal Code (Chapter 23.54.015 – Table B). As stated in Seattle Department of Construction and Inspection's (SDCI) Parking Policy Recommendations, the parking rules allow builders to provide parking based on the anticipated demand of their tenants. Seattle has been incrementally changing legislation so less parking is required in places with more frequent transit service and as other travel options have improved. These parking changes promote and increase transportation options, retain affordability, and promote environmental sustainability.

ERV's residents tend to be individuals in their 20s and 30s (although we have residents of all ages) in the early stages of their professional careers or working in the service industry. Based on our surveys, the median income is approximately \$40,000. ERV's third-party property management firm, Revel Realty and Management, conducted a recent survey in August 2018 to provide a transportation profile of our existing residents. Responses below:

What is your MAIN mode of transportation?

43 responses





10 spaces in designated SB on street parking

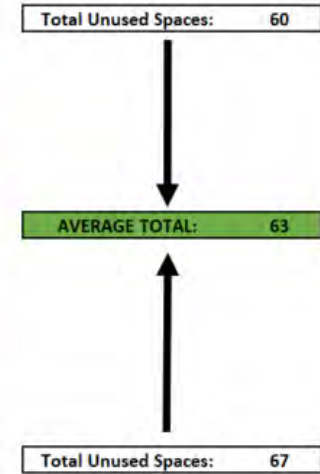
7 spaces in designated NB on street parking

Highlighted area are ONLY zones utilized for parking
High quantity of curb cuts along Humphreys
Zone "A" mid-day OSP parking volume coincides with Gabby's lunch serving hours.

Parking Occupancy Counts

OCCUPANCY	DATE 8/19/2018						Free Spaces (out of 68)			Free Spaces (out of 17)
	Humphreys Block A		Humphreys Block B		Humphreys Block C			Martin Block D		
	EB	WB	EB	WB	EB	WB		SB	NB	
0600am	0	3	0	0	0	0	65	0	4	13
1030am - 1100am	0	1	2	2	4	7	52	1	3	13
1100am - 1130am	1	1	2	2	3	7	52	5	4	8
1130am - 1200pm	2	2	1	1	4	6	52	7	6	4
1200pm - 1230pm	3	1	1	1	3	7	52	6	3	8
1230pm - 0100pm	7	3	2	2	5	9	40	6	6	5
0100pm - 0130pm	6	1	2	2	1	10	46	10	6	1
0130pm - 0200pm	4	1	1	4	1	9	48	10	5	2
1000pm	0	3	0	0			65	0	4	13
AVERAGE:							52	AVERAGE:		7

OCCUPANCY	DATE 8/20/2018						Free Spaces (out of 68)			Free Spaces (out of 17)
	Humphreys Block A		Humphreys Block B		Humphreys Block C			Martin Block D		
	EB	WB	EB	WB	EB	WB		SB	NB	
0600am	1	2	0	0	0	0	65	0	3	14
1030am - 1100am	0	2	0	1	5	4	56	6	3	8
1100am - 1130am	0	2	0	1	8	6	51	3	2	12
1130am - 1200pm	2	2	0	1	7	6	50	5	3	9
1200pm - 1230pm	4	3	1	1	5	4	50	6	4	7
1230pm - 0100pm	6	4	1	1	2	0	54	6	4	7
0100pm - 0130pm	2	3	0	0	3	0	60	7	2	8
0130pm - 0200pm	0	3	0	0	2	1	62	6	3	8
1000pm	0	2	0	0	0	0	66	1	2	14
AVERAGE:							57	AVERAGE:		10



David Powell

From: Herbert, Bill (Codes) <Bill.Herbert@nashville.gov>
Sent: Wednesday, October 31, 2018 3:50 PM
To: David Powell
Subject: FW: Proposal at Humphreys/Martin

David,
Please keep this email for future reference with BZA. Bill

From: Sledge, Colby (Council Member)
Sent: Wednesday, October 31, 2018 2:44 PM
To: Herbert, Bill (Codes)
Subject: Proposal at Humphreys/Martin

Bill,

Hope you are having a good day. I wanted to write in support of resolving the parking issue at the proposed development at Martin St. and Humphreys Ave. Please let me know if you have any questions of me.

Thanks,

Colby

Colby Sledge
Metro Council, District 17
(615) 442-3727
ColbySledge.com
[Sign up for my weekly newsletter here!](#)

From: [Barbara Moutenot](#)
To: [Board of Zoning Appeals \(Codes\)](#)
Subject: 2018-709
Date: Monday, December 17, 2018 10:33:16 AM

Hello,

As a neighbor at 491 Humphreys Street we object to allowing a variance for parking for #2018-709 at 471 Humphreys Street

We don't believe the entire concept for such a large development is wise in our neighborhood and think they could easily make the development STR.

Please please please do not allow this.

Thank you,
Barbara and Roger Moutenot

--

Lifsey, Debbie (Codes)

From: Michael, Jon (Codes)
Sent: Friday, December 14, 2018 2:14 PM
To: Lifsey, Debbie (Codes); Shepherd, Jessica (Codes)
Subject: FW: D17 positions for Dec. 20 meeting

For the file.

From: Sledge, Colby (Council Member)
Sent: Friday, December 14, 2018 2:14 PM
To: Board of Zoning Appeals (Codes)
Cc: Michael, Jon (Codes); Lamb, Emily (Codes)
Subject: D17 positions for Dec. 20 meeting

Good afternoon,

Here are my positions on D17 items before you next week.

- 2018-522: I continue to **oppose** a request for exemption to create front-loading garages on Carvell Ave.
- 2018-644: I **oppose** a setback variance request on 2nd Ave S.
- 2018-709: I **tentatively support** a request for parking requirement variances for a microunit development on Humphreys Ave. The applicant will be at a community meeting on Monday, and I'll want to hear from residents.
- 2018-725: I **strongly oppose** a request not to pay into the sidewalks fund on Wharf Ave.
- 2018-662: I **oppose** a short-term rental permit appeal on West Grove Ave.
- 2018-704: I **oppose** a short-term rental appeal on Summit Ave.

Thank you all, as always, for your service, and I hope you have a great weekend!

Colby

Colby Sledge
Metro Council, District 17
(615) 442-3727
ColbySledge.com
[Sign up for my weekly newsletter here!](#)

From: [Jon Sewell](#)
To: [Board of Zoning Appeals \(Codes\)](#)
Subject: Case # 2018-709
Date: Monday, December 17, 2018 11:45:38 AM

Hello,

I am writing to OPPOSE the variance from parking requirements at 461 Humphreys St.

I believe their request would transfer their minimum parking requirement as an undue burden to the surrounding lots and streets.

I am a neighbor in one of the closest residential properties and one of the oldest residential properties in the neighborhood. I live at 477 Chestnut on the corner with Humphreys St..

I also own and run an active arts-centric commercial property a block away.

--

Thanks.

Jon Sewell
(615) 948 6514

From: [Lauren Brown](#)
To: [Board of Zoning Appeals \(Codes\)](#)
Subject: Opposition to #2018-709
Date: Monday, December 17, 2018 11:13:14 AM

Hello,

I am writing to express my opposition to #2018-709 in the Wedgewood-Houston neighborhood.

This proposal seeks to only offer short-term leasing and does not include enough parking for the amount of spaces it is building. We already have a massive influx of short term rentals in our area and parking is already an issue as well as traffic congestion.

We own a commercial building in the neighborhood as well as a residential building where we live and have to park on the street.

This proposal would dramatically impact our street parking and likely quality of life and we are strongly opposed to it.

These developers are not of our neighborhood, nor are they for our neighborhood and the quality of life of the individuals already here living.

I implore that you do NOT approve this zoning request.

All the neighbors I have talked to about this proposal also oppose it. Therefore if you do approve it then you will be going against what we want in this neighborhood and you will be further contributing to the problems we are experiencing as is much of Nashville.

Our family has personally worked very hard over the last ten years to cultivate a climate of friendliness as well as an art's district in Wedgewood-Houston. The essence of our neighborhood is on the line here with capitalist-driven developments. We would be immediate neighbors of this development and do not want it.

Do not support #2018-709; we who have to live in the neighborhood do not want it!

Lauren Brown, PhD, LCSW
615-557-3499
lbrownsocialworker@gmail.com
Symmetry Counseling
4205 Hillsboro Rd., Suite 314
Nashville, TN, 37215

From: [Mike Miller](#)
To: [Board of Zoning Appeals \(Codes\)](#)
Cc: [Colby Sledge](#)
Subject: Parking Variance @ Martin/Humphreys
Date: Sunday, December 16, 2018 11:55:41 AM

Hello!

My name is Mike Miller. My wife and I live at 616B Hamilton Avenue 37203 in Wedgewood-Houston. We have lived in the neighborhood since 2007.

I am writing you regarding the Parking Variance request at the corner of Martin & Humphreys Street.

I strongly oppose the request. The idea of 152 units with only 60 parking spaces is short-sighted, and honestly a money grab.

There is not enough street parking to accommodate that type of population increase. I used to live at 476 Humphreys for 5 years (3 doors down) and street parking is already full from Gabbys, The Recording Studio, United Records, and Ole Publishing.

The neighborhood is quickly being tapped out of available street parking and that doesn't include the new Kirby building going up in the next 18 months.

As Houston Station explodes, Kirby is built, The Alchemy building settles in, Diskin continues to thrive, and all the new companies moving in, now is the time to make intelligent non-emotional decisions that preserve the accessibility of the WeHo.

This problem is unique to Nashville. Talk to people in Austin, Boston, Portland, etc. Parking is a big deal.

I appreciate you.

-Mike
630.440.8543

Metropolitan Board of Zoning Appeals

Metro Howard Building
800 Second Avenue South
Nashville, Tennessee 37210



Appellant: Matthew Levi Collins
Property Owner: SELF
Representative: SELF

Date: 11/2/18
Case #: 2018- 710
Map & Parcel: 148050C 9000000

Council District 30

The undersigned hereby appeals from the decision of the Zoning Administrator, wherein a Zoning Permit/Certificate of Zoning Compliance was refused:

Purpose: to construct a single family home

Activity Type: Single family
Location: 324 B Dade Dr.

This property is in the R10 Zone District, in accordance with plans, application and all data heretofore filed with the Zoning Administrator, all of which are attached and made a part of this appeal. Said Zoning Permit/Certificate of Zoning Compliance was denied for the reason:

Reason: sidewalk variance
Section(s): 17.12.120

Based on powers and jurisdiction of the Board of Zoning Appeals as set out in Section 17.40.180 Subsection _____ Of the Metropolitan Zoning Ordinance, a Variance, Special Exception, or Modification to Non-Conforming uses or structures is here by requested in the above requirement as applied to this property.

<u>Matthew Levi Collins</u> Appellant Name (Please Print)	_____ Representative Name (Please Print)
<u>915 Robert Rose Dr, APT 531</u> Address	_____ Address
<u>Murfreesboro, TN 37129</u> City, State, Zip Code	_____ City, State, Zip Code
<u>615-513-0002</u> Phone Number	_____ Phone Number
<u>levi.collins@live.com</u> Email	_____ Email
	Appel Fee: _____



Metropolitan Government
of Nashville and Davidson County, Tennessee
Department of Codes and Building Safety
800 Second Avenue South, Nashville, TN 37210



Case #2018-71C

3573182

ZONING BOARD APPEAL / CAAZ - 20180056358
Inspection Checklist for Use and Occupancy
This is not a Use and Occupancy Notification

PARCEL: 148050C90000CO

APPLICATION DATE: 10/29/2018

SITE ADDRESS:

324 B DADE DR NASHVILLE, TN 37211
COMMON AREA HOMES AT 322 DADE DRIVE

PARCEL OWNER: O.I.C. HOMES AT 322 DADE DRIVE

CONTRACTOR:

APPLICANT:

PURPOSE:

Requesting a variance from having to pay in lieu of fee for sidewalks along Willard Drive per METZO section 17.20.120.

*Before a Use and Occupancy Letter can be issued for this project, the following approvals are required.
Inspections Foundation = before concrete poured, Framing = before covering wall and after rough-in inspections.*

There are currently no required inspections

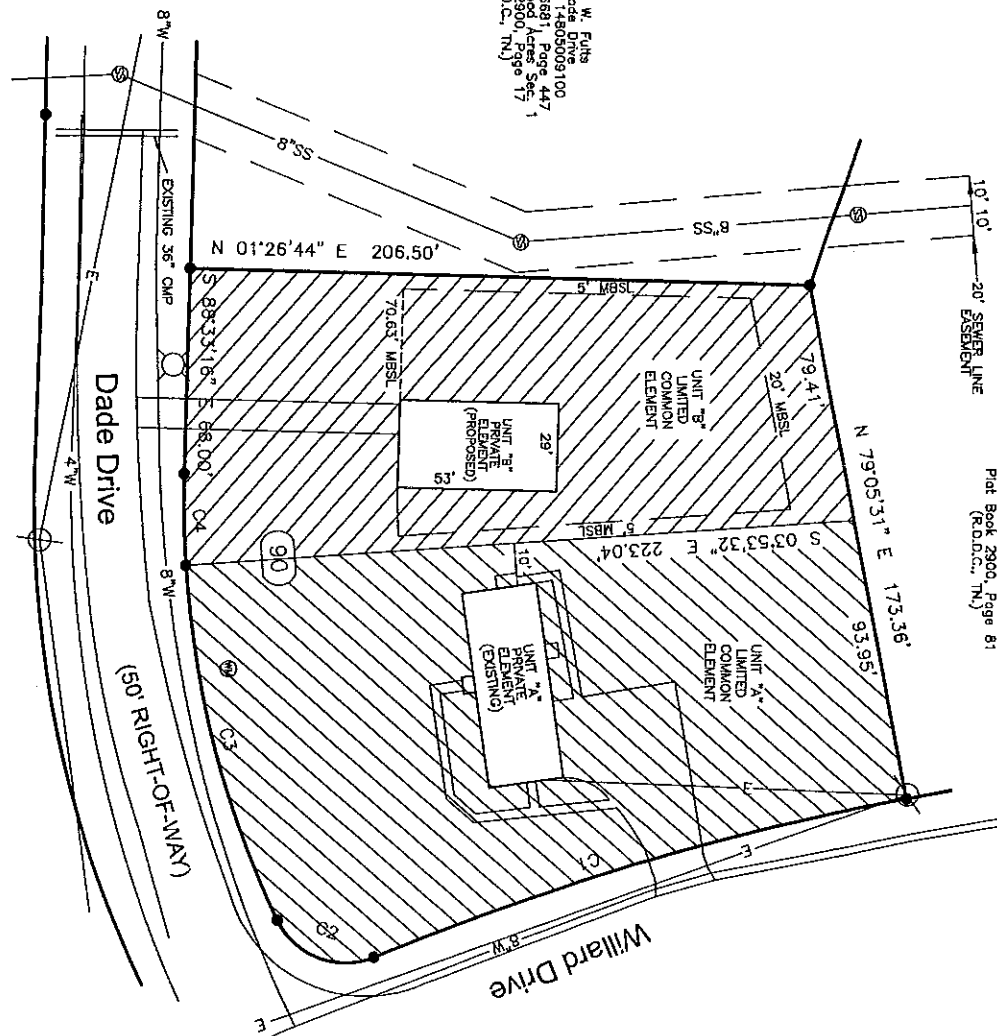
Inspection requirements may change due to changes during construction.



Galyon W. Northcutt
 2607 Forest View Drive
 Antioch, TN 37013
 TN RLS #1529
 615-406-9761

Joselle W. Fink
 322 A & B Dade Drive
 Parcel ID# 14805009100
 Deed Book 6681, Page 447
 Lot 88 Haywood Acres, Sec. 1
 Plat Book 2804, Page 17
 (R.O.D.C., TN)

Lowrance J. Morgan, ET UX
 317 Willard Drive
 Parcel ID# 14805008900
 Deed Book 3165, Page 551
 Lot 89 Haywood Acres, Sec. 1
 Plat Book 2804, Page 81
 (R.O.D.C., TN)



CURVE TABLE

CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	159.4'	925.0'	11.29°	S 18.35° 08' E	183.19'
C2	172.4'	978.9'	12.74°	S 20.25° 28' W	171.72'
C3	30.35'	182.5'	9.70°	S 62.45° 36' W	30.35'

AREA:
 44,364.5 sq.ft. or 1.02 Ac.

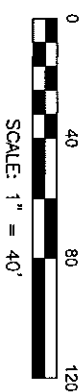


EXHIBIT MAP
 322 A & B DADE DRIVE
 METRO PARCEL ID# 14805009000
 30TH CIVIL DISTRICT
 NASHVILLE, DAVIDSON COUNTY, TENNESSEE
 SCALE: 1" = 40' DATE: 4/10/18

STANDARDS FOR A VARIANCE

The Metropolitan Board of Zoning Appeals may grant variances from the strict application of the provisions of this Zoning Code based upon findings of fact related to the standards in Section 17.40.370. This Section is included as follows:

Physical characteristics of the property - The exceptional narrowness, shallowness or shape of a specific piece of property, exceptional topographic condition, or other extraordinary and exceptional condition of such property would result in peculiar and exceptional practical difficulties to, or exceptional or undue hardship upon the owner of such property.

Unique characteristics - The specific conditions cited are unique to the subject property and generally not prevalent to other properties in the general area.

Hardship not self-imposed - The alleged difficulty or hardship has not been created by the previous actions of any person having an interest in the property after the effective date of this Zoning Code.

Financial gain not only basis - Financial gain is not the sole basis for granting the variance.

No injury to neighboring property - The granting of the variance will not be injurious to other property or improvements in the area, impair an adequate supply of light and air to adjacent property, or substantially diminish or impair property values within the area.

No harm to public welfare - The granting of the variance will not be detrimental to the public welfare and will not substantially impair the intent and purpose of this Zoning Code.

Integrity of Master Development Plan - The granting of the variance will not compromise the design integrity or functional operation of activities or facilities within an approved Planned Unit Development.

The Board shall not grant variances to the land use provisions of Section 2.3, the density of Floor Area Ratio (FAR) standards of Tables 3-B and 3-C, nor the required size of residential lots approved by the Planning Commission under the authority of Section 3.7 (Lot Averaging), Section 3.8 (Cluster Lot Option) or Section 9.E.3 (PUD). Further the Board shall not act on a variance application within a Planned Unit Development (PUD), Urban Design Overlay or Institutional Overlay district without first considering a recommendation from the Planning Commission.

In simple terms, for the Board to grant you a variance in the zoning ordinance, you must convey to the Board what your hardship is. Hardships are narrowness, shallowness, irregular shape, and topography of property. The Board can also consider other practical difficulties such as mature trees, easements, and location of disposal systems which can affect your plan. Consideration can be given to the characteristics of the neighborhood and the way it is developed. One or more of these conditions **MUST** affect your inability to build or occupy the property to prove your case.

At the public hearing, please be prepared to tell the Board what your hardship is, why you can not build in accordance with zoning without requesting a variance and why you feel you have a legitimate hardship.

The Board can not grant a variance based solely on an inconvenience to the applicant nor solely on a financial consideration. It is incumbent on you as the appellant to complete this form by conveying a **HARDSHIP** as outlined. At the meeting it is important that you explain this hardship as effectively as possible.

WHAT SPECIFIC AND UNIQUE CIRCUMSTANCES (HARDSHIP) EXIST THAT WOULD AUTHORIZE THE CONSIDERATION OF THE BOARD UNDER THE REVIEW STANDARDS AS OUTLINED?

- ① Large Deep Drainage ditch surrounds area needing sidewalk
- ② Land has a large hill with deep slope
- ③ Lot has lot more frontage than average lots in neighborhood
- ④ Older established area, unlikely to see many permits to build sidewalks
- ⑤ No other sidewalks built in neighborhood on Willard or Duke

APPLICATIONS FOR VARIANCE REQUESTS

After your appeal is filed, Zoning staff will visit the site to take photographs for the Board members so that they will have a better idea of the nature of your request. Zoning staff will notify the district councilmember of the hearing. You will be responsible for preparing the envelopes and notices for mailing to the owners of property within 600 feet of the property at issue in this case. The envelopes must include the return address for the BZA and the case number. Fold and insert the notices into envelopes, seal the envelopes, and apply first class postage. These neighbor notices must be delivered to Zoning staff at least twenty-three (23) days before the public hearing. Additionally, you will be responsible for purchasing, posting, and removing the red Zoning Appeal signs for the subject property. (See attached Metro Code of Laws requirements regarding sign placement.)

The day of the public hearing, it will be your responsibility to convey to the Board the nature of the hardship in your request that makes it difficult/impossible for you to comply with the Zoning Code. It would be to your benefit to let your neighbors know about your request prior to all notices being sent to them from our office.

Any party can appeal the Board's decision to Chancery or Circuit Court within sixty (60) days from the date the order in the case is entered. Should your request be granted, we would remind you that it is your responsibility to obtain the permit for which you have applied. You should also be aware that you have two (2) years to obtain the permit or you would have to re-file your request with the Board.

Once your request is filed, the staff will review your request to verify that the submittal is complete. Incomplete submittals will not be scheduled for a hearing until complete.

Any correspondence to the Board must be submitted to our office by noon, the Monday prior to the public hearing to be included in the record. You must provide eight (8) copies of your information to staff.

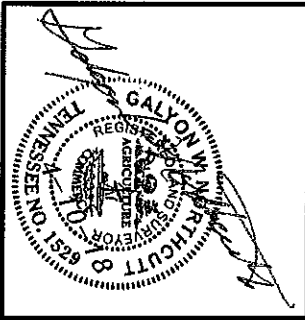
We hope that this information will be of help to you in understanding the variance procedure and if our office can be of further assistance, please do not hesitate to contact us.

METROPOLITAN BOARD OF ZONING APPEALS (615) 862-6530

I am aware that I am responsible for posting and also removing the sign(s) after the public hearing.


APPELLANT

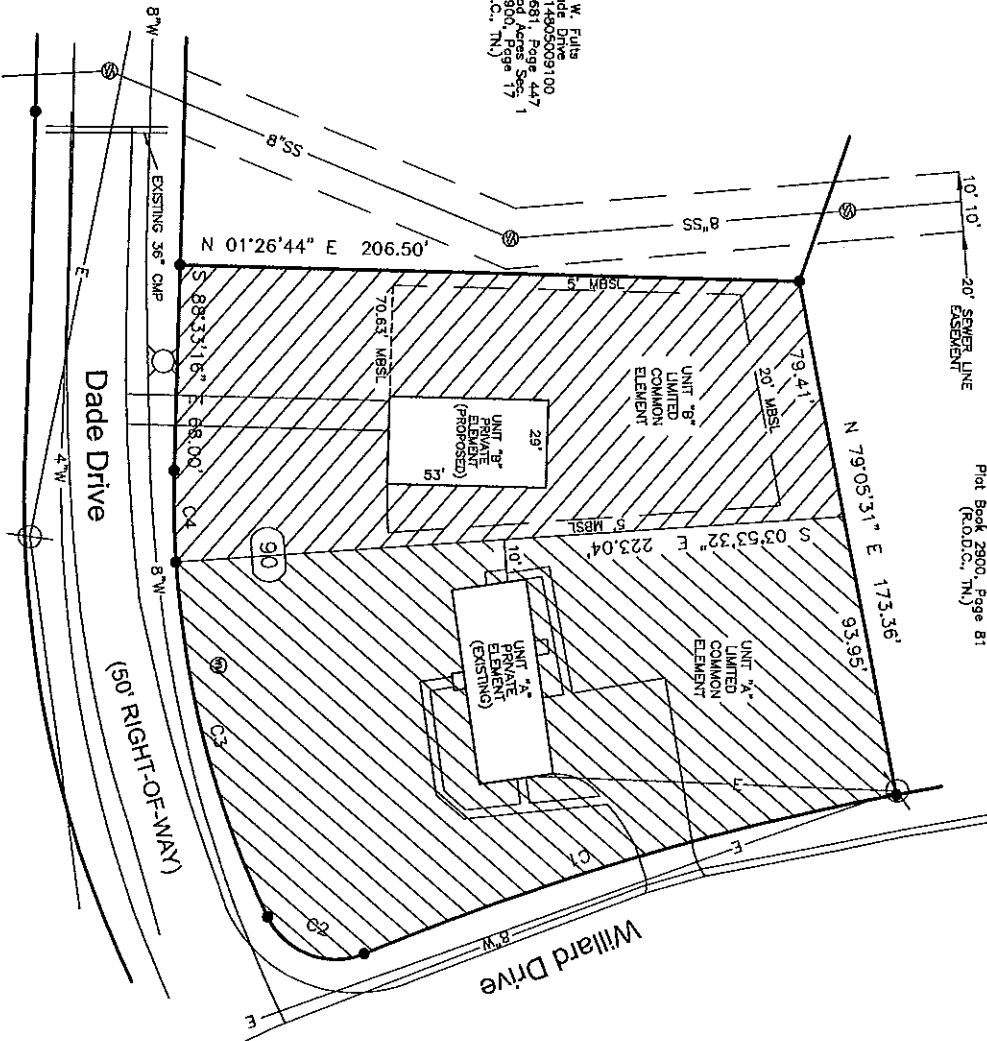
11/2/18
DATE



Galyon W. W. Northcutt
2607 Forest View Drive
Antioch, TN 37013
TN RLS #1529
615-406-9761

Joseph W. Fuhs
Vice President
Parcel ID# 14805009100
Deed Book 6681, Page 447
Lot 88 Highway Acres, Sec. 1
Pict Book 2900, Page 17
(R.O.D.C., TN.)

Lawrence V. Morgan, ET UX
317 Willard Drive
Parcel ID# 14805008900
Deed Book 3165, Page 551
Lot 86 Highway Acres, Sec. 1
Pict Book 2900, Page 81
(R.O.D.C., TN.)



CURVE TABLE

CURVE	ARC LENGTH	CHORDS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	198.47'	22.50'	14.29°	S 10°29'02" W	189.18'
C2	122.47'	132.83'	37°31'42"	E 74°02'25" W	141.78'
C3	36.35'	320.53'	5°20'15"	S 88°49'35" W	36.35'

AREA:
44,364.5 sq.ft. or 1.02 Ac.



EXHIBIT MAP
322 A & B DADE DRIVE
METRO PARCEL ID# 14805009000
30TH CIVIL DISTRICT
NASHVILLE, DAVIDSON COUNTY, TENNESSEE
SCALE: 1" = 40' DATE: 4/10/18

PLANNING DEPARTMENT SIDEWALK VARIANCE RECOMMENDATION

BZA Case 2018-710 (324B Dade Drive)

Metro Standard:	Willard Drive - 6' grass strip, 6' sidewalk, as defined by the Major and Collector Street Plan
	Dade Drive - 4' grass strip, 5' sidewalk, as defined by the Local Street standard
Requested Variance:	Not construct sidewalks; not contribute in-lieu of construction (eligible)
Zoning	R10
Community Plan Policy:	T3 NM (Suburban Neighborhood Maintenance)
MCSP Street Designation:	Willard Drive – T3-R-CA2
	Dade Drive – Local Street
Transit:	Approximately 0.33 miles from #52 – Nolensville Pike BRT Lite; future High Capacity Transit planned per nMotion
Bikeway:	None existing; none planned

Planning Staff Recommendation: *Approve with conditions.*

Analysis: The applicant is constructing a two family dwelling, and requests a variance from constructing sidewalks due to the lack of existing sidewalks and topography along both streets. Planning evaluated the following factors for the variance request:

- (1) The property has frontages on Willard Drive and Dade Drive. Both street frontages do not have sidewalks which are consistent patterns with adjacent parcels to the north and west.
- (2) Along large, corner lots, priority should be given to constructing sidewalks on streets with a higher functional classification identified in the Major and Collector Street Plan. In this instance, Willard Drive is a Collector-Avenue, so emphasis for constructing sidewalks should be along Willard Drive which is likely to have more traffic at higher speeds.

Given the factors above, staff recommends **approval with conditions:**

1. The applicant shall contribute in-lieu of construction for the Willard Drive property frontage.
2. Prior to the issuance of building permits, dedicate right-of-way along both property frontages to accommodate future sidewalks per the Major and Collector Street Plan and Local Street standards respectively.

Metropolitan Board of Zoning Appeals

Metro Howard Building
800 Second Avenue South
Nashville, Tennessee 37210



Appellant : Terri Lasoff

Date: Nov. 2, 2018

Property Owner: Suntrust

Case #: 2018- 711

Representative: Chris Behnke

Map & Parcel: 07509026700

Council District 14

The undersigned hereby appeals from the decision of the Zoning Administrator, wherein a Zoning Permit/Certificate of Zoning Compliance was refused:

Purpose: Application for variance request

Activity Type: Building and Site Improvements

Location: 4809 Old Hickory Blvd, Hermitage, TN 37076

This property is in the CL Zone District, in accordance with plans, application and all data heretofore filed with the Zoning Administrator, all of which are attached and made a part of this appeal. Said Zoning Permit/Certificate of Zoning Compliance was denied for the reason:

Reason: Sidewalk variance

Section(s): 17.12.120

Based on powers and jurisdiction of the Board of Zoning Appeals as set out in Section 17.40.180 Subsection _____ Of the Metropolitan Zoning Ordinance, a Variance, Special Exception, or Modification to Non-Conforming uses or structures is here by requested in the above requirement as applied to this property.

Terri Lasoff
Appellant Name (Please Print)
SunTrust Plaza,
303 Peachtree Street NE
Address
Atlanta, GA 30308
City, State, Zip Code
(404) 588-7711
Phone Number
Terri.Lasoff@SunTrust.com
Email

Representative Name (Please Print)
Address
City, State, Zip Code
Phone Number
Email
Appeal Fee: _____

APPLICATIONS FOR VARIANCE REQUESTS

After your appeal is filed, Zoning staff will visit the site to take photographs for the Board members so that they will have a better idea of the nature of your request. Zoning staff will notify the district councilmember of the hearing. You will be responsible for preparing the envelopes and notices for mailing to the owners of property within 600 feet of the property at issue in this case. The envelopes must include the return address for the BZA and the case number. Fold and insert the notices into envelopes, seal the envelopes, and apply first class postage. These neighbor notices must be delivered to Zoning staff at least twenty-three (23) days before the public hearing. Additionally, you will be responsible for purchasing, posting, and removing the red Zoning Appeal signs for the subject property. (See attached Metro Code of Laws requirements regarding sign placement.)

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METROPOLITAN BOARD OF ZONING APPEALS (615) 862-6530

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APPELLANT


DATE

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Unique characteristics - The specific conditions cited are unique to the subject property and generally not prevalent to other properties in the general area.

Hardship not self-imposed - The alleged difficulty or hardship has not been created by the previous actions of any person having an interest in the property after the effective date of this Zoning Code.

Financial gain not only basis - Financial gain is not the sole basis for granting the variance.

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Integrity of Master Development Plan - The granting of the variance will not compromise the design integrity or functional operation of activities or facilities within an approved Planned Unit Development.

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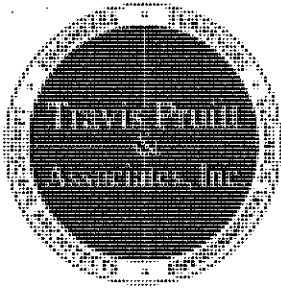
In simple terms, for the Board to grant you a variance in the zoning ordinance, you must convey to the Board what your hardship is. Hardships are narrowness, shallowness, irregular shape, and topography of property. The Board can also consider other practical difficulties such as mature trees, easements, and location of disposal systems which can affect your plan. Consideration can be given to the characteristics of the neighborhood and the way it is developed. One or more of these conditions **MUST** affect your inability to build or occupy the property to prove your case.

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WHAT SPECIFIC AND UNIQUE CIRCUMSTANCES (HARDSHIP) EXIST THAT WOULD AUTHORIZE THE CONSIDERATION OF THE BOARD UNDER THE REVIEW STANDARDS AS OUTLINED?

Please refer to attached hardship letter along with additional site information included with this request and application.



November 1, 2018

Mr. Jon Michael
 Zoning Administrator
 Department of Codes and Building Safety
 800 Second Avenue South
 Nashville, TN 37210

Re: SunTrust Bank 4809 Old Hickory Blvd.
 Hardship Letter for Variance Application

Dear Mr. Michael

SunTrust Bank is seeking a variance from Section 17.20.120 of the Zoning Code for Metropolitan Nashville and Davidson County requiring that the existing sidewalk along the public right-of-way be upgraded to meet current standards as noted in the major and collector street plan.

SunTrust has an existing branch located at 4809 Old Hickory Blvd (Hermitage branch) and has recently submitted construction documents for a branch renovation. The purpose of this renovation is to modernize the branch and improve ADA accessibility to the building. As part of the permitting process for the proposed work it was discovered that the cost of the project would trigger compliance with the requirements of Section 17.20.120 requiring that the existing sidewalk be along Old Hickory Blvd. to be upgraded to provide a 6-foot wide planting strip and an 8-foot wide sidewalk.

Compliance with the requirements of Section 17.20.120 would place an undue hardship upon the property owner, and this variance seeks relief from the installation/upgrade of new sidewalks. The justification for this variance is based on the following criteria:

- **Physical characteristics of the property:**
 There is an existing sidewalk along Old Hickory Blvd. that is approximately 6-feet wide and in good condition. The configuration of the bank branch is such that there is a single row of parking and a 2-way drive aisle located between the building and the right-of-way with no intervening landscape area. Additionally, there is a concrete stabilized slope and concrete header curb located immediately behind the sidewalk that creates an elevation difference of up to 3-feet between the parking lot for the bank branch and the sidewalk.

Widening the sidewalk to 14-feet (6-foot planting strip and 8-foot sidewalk) would reduce the width of the drive aisle and restrict customer access to the site. Additionally, due to the grade difference between the parking area and the sidewalk, a retaining wall would be required on the subject property to make the grades work. The combination of the reducing the width of the drive aisle and installation of the retaining wall would create a potentially unsafe condition as customer vehicles would have a sudden grade change in close proximity to the main parking spaces for the bank.

- **Unique characteristics:**
The grade difference described above is a condition that is unique to the subject property. The adjacent property to the north appears to have a grade difference along the property frontage but not as severe as the SunTrust property.
- **Hardship not self-imposed:**
It appears that this condition is the result of a previous widening of Old Hickory Road. In the context of the current project, all site conditions are existing and none of the proposed site improvements that are part of the project will worsen or exacerbate the site conditions described above.
- **Financial gain not only basis:**
Application of these requirements would restrict access to the bank and create a potentially unsafe condition for the customers.
- **No injury to neighboring property:**
If granted, the variance would simply maintain the existing conditions along the right-of-way and would therefore be no detriment to neighboring properties.
- **No harm to public welfare:**
If granted, the variance would simply maintain the existing conditions along the right-of-way and would therefore be no detriment to public welfare.
- **Integrity of Master Development Plan:**
The granting of this variance will not compromise the integrity of the Master Development Plan. Pedestrian access is still available through the existing sidewalk along Old Hickory Blvd, and the conditions described above will be an issue for any proposed right-of-way improvements that involve the widening of the existing road or sidewalks.

Please feel free to call me (770-695-3371) at your convenience should you require any additional information or to discuss this application in greater detail.

Sincerely,

Travis Pruitt and Associates, Inc.




David J. Blumenthal, P.E.
Senior Project Manager

DJB/sf

Enclosures

2018-711



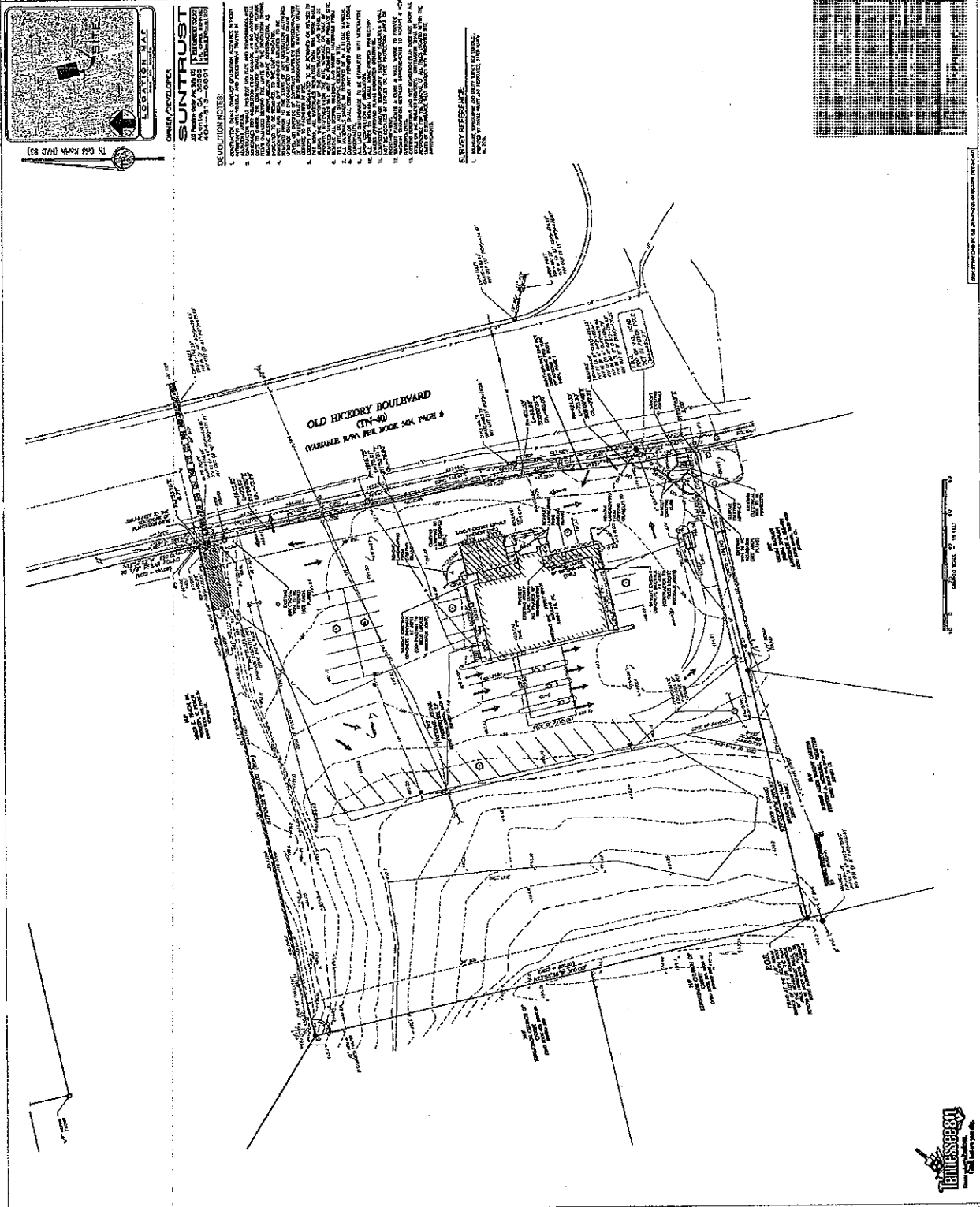
SUNTRUST NELSON
SURVEYORS & ENGINEERS
MEMBER OF THE SURVEYING PROFESSION


CONSTRUCTION NOTES

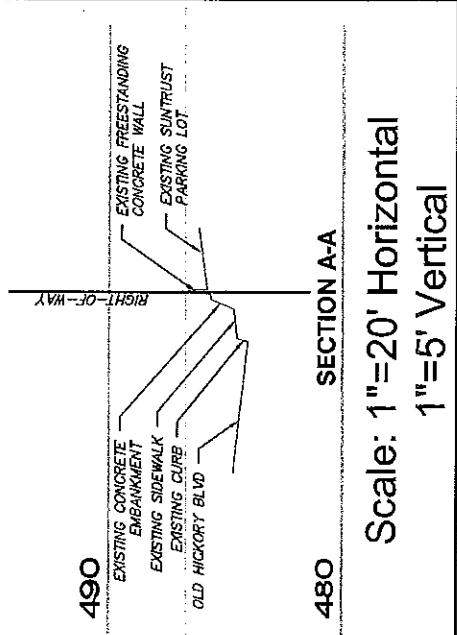
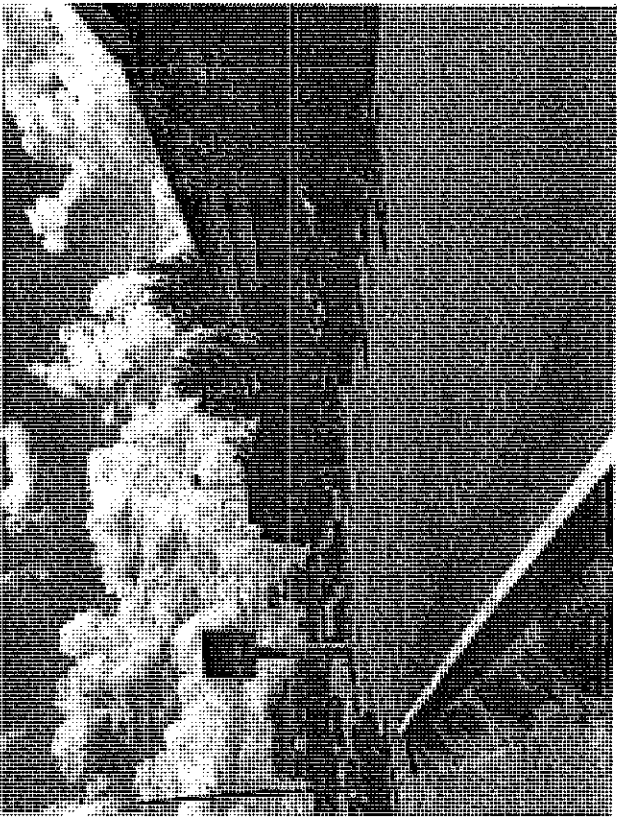
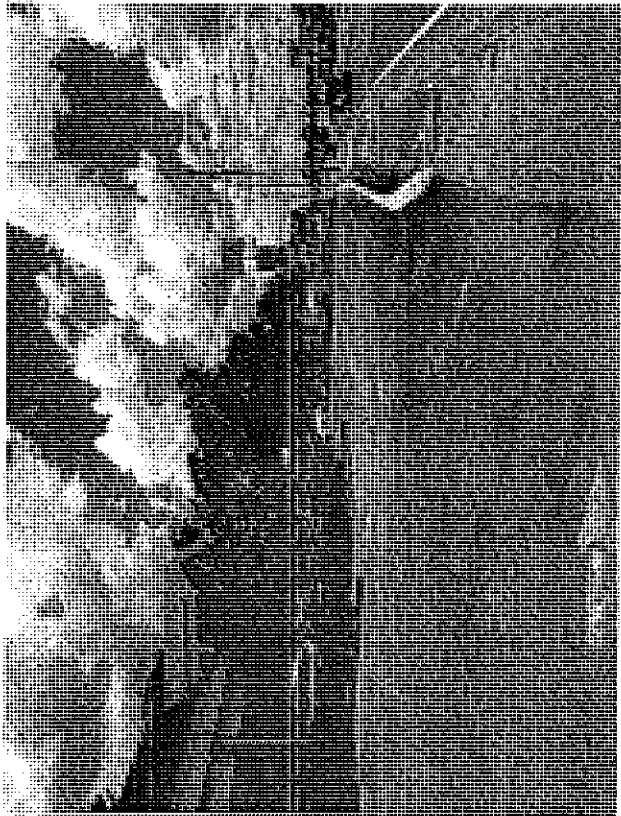
1. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE NOTED.
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PROJECT INFORMATION

Project Name: _____
 Client: _____
 Date: _____
 Scale: _____
 Drawing No: _____



DATE: 11-01-18 1" = 30' CR: 170333-VARIANCE 48-1-17-0333 DR: B.M. SCF SHEET NO. 2 OF 2	CONTACT PERSON: DAVID BLUMENTHAL WWW.KRVSPEL.COM Phone: (770) 416-6759 Fax: (770) 416-7511 ADDRESS: GOWEN 30093 1317 Park Drive, Suite 400 NORCROSS, GEORGIA 30093		CITY OF NASHVILLE DAVISON COUNTY TENNESSEE SUNTRUST HERMITAGE RENOVATION VARIANCE EXHIBIT SHEET TWO OF TWO	REVISIONS <table border="1" style="width:100%; border-collapse: collapse;"> <tr><td>0</td><td></td></tr> <tr><td>1</td><td></td></tr> <tr><td>2</td><td></td></tr> <tr><td>3</td><td></td></tr> <tr><td>4</td><td></td></tr> <tr><td>5</td><td></td></tr> <tr><td>6</td><td></td></tr> </table>	0		1		2		3		4		5		6	
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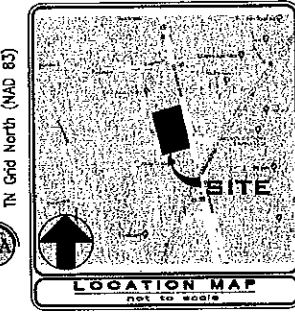


SUNTRUST
HERITAGE
4800 CHICKENHEAD BLVD
MEMPHIS, TN 38117

NELSON
ARCHITECTURE, INC.
A LICENSED ARCHITECT

LOCAL NELSON ON CONTRACT
1170 PEACHTREE STREET NE
SUITE 1100
ATLANTA, GA 30309
ARCHITECT: Mark Schuster
ASST: Melissa Pugh / Helen / Nicole Anderson
Tel: 404.881.0411
Email: mpschuster@nelsonarch.com
hpa@nelsonarch.com
jrp@nelsonarch.com

TRAVIS PRUITT & ASSOCIATES
4017 PINE DRIVE
SUITE 400
MORROCCO, GA 30260
Tel: 770.995.3711
Email: d@travisprutt.com



OWNER/DEVELOPER
SUNTRUST
300 Peachtree Center Ave, Suite 1700
Atlanta, GA 30303
404-513-6801

- DEMOLITION NOTES:**
- CONTRACTOR SHALL CONDUCT DEMOLITION ACTIVITIES WITHOUT INTERFERING WITH VEHICLE AND PEDESTRIAN TRAFFIC IN ADJACENT AREAS.
 - CONTRACTOR SHALL PROTECT UTILITIES AND BENCHMARKS NOT SCHEDULED FOR DEMOLITION FROM DAMAGE. AT NO ADDITIONAL COST TO OWNER, THE CONTRACTOR SHALL REPLACE OR REPAIR ITEMS DAMAGED BEYOND THE LIMITS OF THE DEMOLITION SHOWN.
 - REMOVE EXISTING ABOVE/BELOW GRADE CONSTRUCTION, AS INDICATED TO BE REMOVED, TO THE LIMIT INDICATED.
 - DISCONNECT AND SEAL OFF ABANDONED UTILITIES TO BE REMOVED PRIOR TO THE START OF ANY DEMOLITION ACTIVITIES. UTILITIES SHALL BE DISCONNECTED BELOW EXISTING GRADE LEVEL, OR OUTSIDE OF CONTRACT LIMITS BY REPRESENTATIVES OF THE PUBLIC UTILITY BEING DISCONNECTED. MAINTAIN UTILITY SERVICE TO FACILITIES IN USE.
 - EXCEPT FOR ITEMS DESIGNATED TO BE REMOVED OR REDUCED IN THE WORK, ALL MATERIALS RESULTING FROM THIS WORK SHALL BECOME THE PROPERTY OF THE CONTRACTOR, AND SHALL BE PROMPTLY REMOVED FROM THE SITE. STORAGE OR SALE OF REMOVED MATERIALS WILL NOT BE PERMITTED ON PROJECT SITE.
 - REMOVE ALL DEBRIS, RUBBISH, AND WASTE MATERIALS FROM THE SITE. DO NOT STOCKPILE DEBRIS ON SITE.
 - ALL MATERIALS SHALL BE DISPOSED OF IN A LEGAL MANNER.
 - CONTRACTOR SHALL OBTAIN ANY PERMITS REQUIRED BY LOCAL MUNICIPALITY.
 - ALL LAND DISTURBANCE TO BE STABILIZED WITH VEGETATION UPON COMPLETION OF DEMOLITION.
 - ALL TREES TO REMAIN SHALL HAVE PROPER PROTECTION UNLESS APPROVED PLANS INDICATE OTHERWISE.
 - DUMPSTERS AND/OR TEMPORARY SANITARY FACILITIES SHALL NOT BE LOCATED IN STREET OR TREE PROTECTION AREA OR RIGHT-OF-WAY.
 - SAW CUT PAVEMENTS & CURBS & WALL WHOLE TO PROVIDE SMOOTH TRANSITION BETWEEN IMPROVEMENTS TO REMAIN & NEW IMPROVEMENTS.
 - EXISTING CONDITIONS AND SITE DEMOLITION PLAN DOES NOT SHOW ALL TREES ON THE SUBJECT PROPERTY. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL TREES LOCATED WITHIN THE LIMITS OF DISTURBANCE THAT CONFLICT WITH PROPOSED SITE IMPROVEMENTS.

- SURVEY REFERENCE:**
- BOUNDARY, TOPOGRAPHIC AND UTILITY SURVEY FOR SUNTRUST, PREPARED BY TRAVIS PRUITT AND ASSOCIATES, DATED MARCH 18, 2018.

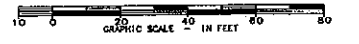
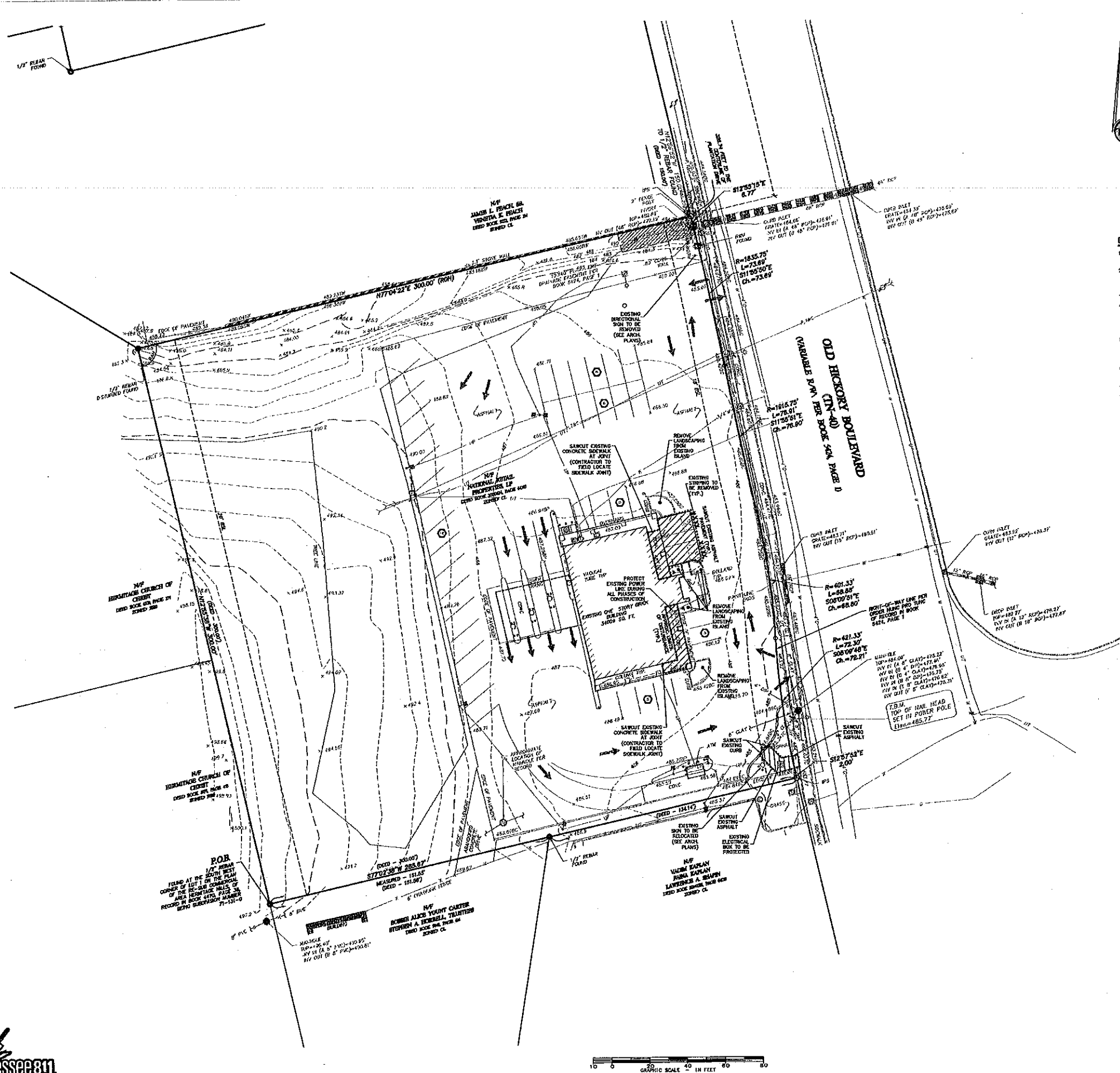
Date	Description
12/19/18	Issued for Review & Engineering
12/19/18	Issued for PER Review

Seal / Signature

FOR THE FIRM
TRAVIS PRUITT & ASSOC., INC.

Project Name	SUNTRUST HERITAGE RENOVATION
Project Number	17/0478/00
Scale	1"=20'
Drawn By / Reviewed By	RP/ DB
Description	EXISTING CONDITIONS AND DEMOLITION PLAN SHEET

C2.1
© 2018 Nelson

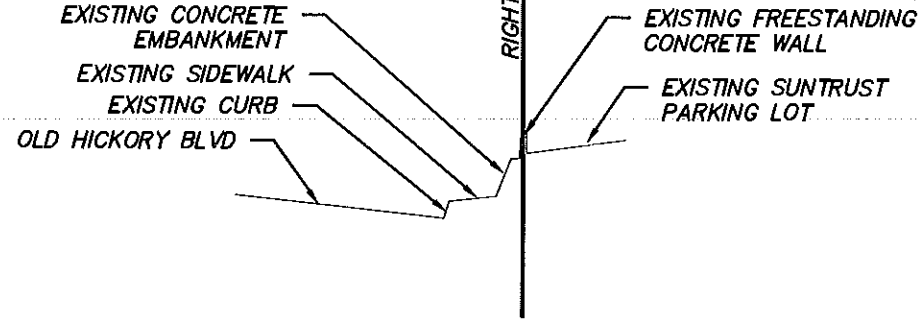


DRAWN BY: RP/ DB; DATE: 08-21-17; CHECKED BY: TRAVIS PRUITT; PROJECT: 17-0478-00

4/9/2018 11:20:19 AM D:\Cadd\3D Projects\170478\170478.dwg



490



480

SECTION A-A

Scale: 1"=20' Horizontal
1"=5' Vertical



DATE: 11-01-18

1" = 30'

CN: 170333-VARIANCE

JN: 1-17-0333

FN:

DRAWN BY: SGF

Sheet No. 2 OF 2

4317 Park Drive, Suite 400
Norcross, Georgia 30093
Phone: (770)416-7511
Fax: (770)416-6759
www.travispruitt.com

Travis Pruitt & Associates, Inc.
SURVEYORS • ENGINEERS • ARCHITECTS • LANDSCAPE ARCHITECTS

Contact Person:
DAVID BLUMENTHAL

VARIANCE EXHIBIT
SHEET TWO OF TWO

SUNTRUST
HERMITAGE RENOVATION

CITY OF NASHVILLE
DAVISON COUNTY TENNESSEE

REVISIONS	
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PLANNING DEPARTMENT SIDEWALK VARIANCE RECOMMENDATION

BZA Case 2018-711 (4809 Old Hickory Boulevard)

Metro Standard:	6' grass strip, 8' sidewalk, as defined by the Major and Collector Street Plan standard
Requested Variance:	Not upgrade sidewalks
Zoning:	CL
Community Plan Policy:	T3 CC (Suburban Community Center)
MCSP Street Designation:	T3-M-AB5-S
Transit:	#27 – Old Hickory
Bikeway:	None existing; none planned

Planning Staff Recommendation: *Approve with conditions.*

Analysis: The applicant proposes to renovate an existing financial institution and requests a variance due to the presence of an existing sidewalk along the frontage of the site. Planning evaluated the following factors for the variance request:

- (1) A 6' sidewalk without a grass strip exists along the property's frontage with Old Hickory Boulevard, which is consistent with adjacent properties to the north and south.
- (2) The property slopes upwards from Old Hickory Boulevard, with a retaining wall currently located to the back of the existing sidewalk. Strict adherence to the sidewalk requirement would necessitate in the redesign of the retaining wall as well as relocation of existing utilities, drive aisles, and parking.

Given the factors above, staff recommends **approval with conditions:**

1. The applicant shall contribute in lieu of construction for the Old Hickory Boulevard frontage.

Metropolitan Board of Zoning Appeals

Metro Howard Building
800 Second Avenue South
Nashville, Tennessee 37210



Appellant: Tracey Collins
Property Owner: Tracey Collins
Representative: Tracey Collins

Date: 11/2/18
Case #: 2018-713
Map & Parcel: 82-7-174

Council District 5

The undersigned hereby appeals from the decision of the Zoning Administrator, wherein a Zoning Permit/Certificate of Zoning Compliance was refused:

Purpose: Requesting variance in height requirement to allow DADU at 25' in height.

Activity Type: New Construction - DADU

Location: 305 Hancock St.

This property is in the SP Zone District, in accordance with plans, application and all data heretofore filed with the Zoning Administrator, all of which are attached and made a part of this appeal. Said Zoning Permit/Certificate of Zoning Compliance was denied for the reason:

Reason: Does not meet height requirement

Section(s): 12.16.030(G) 7 (d)

Based on powers and jurisdiction of the Board of Zoning Appeals as set out in Section 17.40.180 Subsection _____ Of the Metropolitan Zoning Ordinance, a Variance, Special Exception, or Modification to Non-Conforming uses or structures is here by requested in the above requirement as applied to this property.

Tracey Collins
Appellant Name (Please Print)

Same
Representative Name (Please Print)

305 Hancock St.
Address

Address

Nashville, TN 37207
City, State, Zip Code

City, State, Zip Code

615-594-1266
Phone Number

Phone Number

traceycollins@gmail.com
Email

Email

Appeal Fee: \$100.00



Metropolitan Government
of Nashville and Davidson County, Tennessee
Department of Codes and Building Safety
800 Second Avenue South, Nashville, TN 37210



3575236

ZONING BOARD APPEAL / CAAZ - 20180069587
Inspection Checklist for Use and Occupancy
This is not a Use and Occupancy Notification

PARCEL: 08207017400

APPLICATION DATE: 11/02/2018

SITE ADDRESS:

305 HANCOCK ST NASHVILLE, TN 37207
LOT 34 E NASH REAL EST CO

PARCEL OWNER: COLLINS, TRACEY

CONTRACTOR:

APPLICANT:

PURPOSE:

requesting variance from height requirements to construct new DADU at 25' in height.

*Before a Use and Occupancy Letter can be issued for this project, the following approvals are required.
Inspections Foundation = before concrete poured, Framing = before covering wall and after rough-in inspections.*

There are currently no required inspections

Inspection requirements may change due to changes during construction.

APPLICATION FOR A VARIANCE REQUEST

After your appeal is filed, Zoning staff will visit the site to take photographs for the Board members. So they will have a better ideal of the nature of your request. Zoning staff will notify the district council member of the hearing. You will be responsible for preparing the envelopes and notices for mailing to the owners of property within 600 feet pf the property at issue in the case. The envelopes must include the return address for the BZA and case number. Fold and insert notices into envelopes, seal the envelopes, and apply first class postage. These neighbor notices must be delivered to Zoning staff at least twenty-three (23) days before the public hearing. Additionally, you will be responsible for purchasing, posting, and removing the red Zoning Appeal signs for the subject property. (See attached Metro Code of Laws requirements regarding, sign placement.)

The day of the public hearing, it will be your responsibility to convey to the Board the nature of the hardship in your request that makes it difficult/impossible for you to comply with the Zoning Code. **It would be to your benefit to let your neighbors know about your request prior to all notices being sent to them from our office.**

Any party can appeal the Board's decision to Chancery or Circuit Court within sixty (60) days from the date the order in the case is entered. **Should your request be granted, we would remind you that it is your responsibility to obtain the permit for which you have applied.** You should also be aware that you have two (2) years to obtain the permit or you would have to re-file your request with the board.

Once your request is filed, the staff will review your request to verify that the submittal is complete. Incomplete submittals will not be scheduled for hearing until complete.

Any correspondence to the Board must be submitted to our office by noon, the Monday prior to the public hearing to be included in the record. You must provide eight (8) copies of your information to staff.

We hope that this information will be of help to you in understanding the variance procedure and if our office can be of further assistance, please do not hesitate to contact us.

METROPOLITAN BOARD OF ZONING APPEALS (615) 862-6510

I am aware that I am responsible for posting and also removing the sign(s) after the public hearing.

Tracey Collins
APPELLANT

11/2/18
DATE

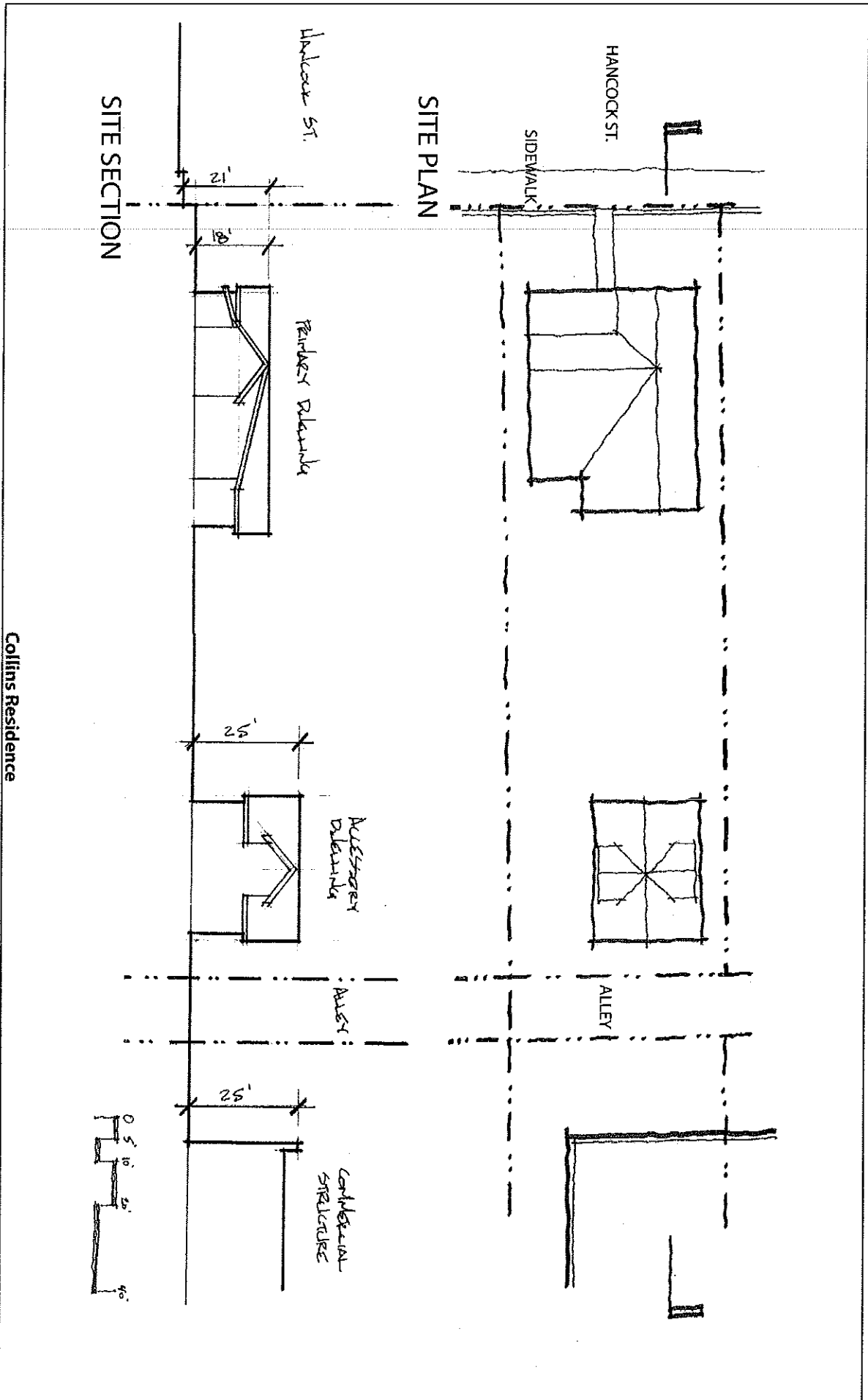
In Simple terms, for the Board to grant you a variance in the zoning ordinance, you must convey to the Board what your hardship is. Hardships are narrowness, shallowness, irregular shape, and topography of property. The Board can also consider other practical difficulties such as mature trees, easements, and location of disposal systems which can affect your plan. Consideration can be given to the characteristics of neighborhood and the way it is developed. One or more of these conditions must affect your inability to build or occupy the property to provide your case.

At the public hearing, please be prepared to tell the Board what your hardship is, why you cannot build in accordance with zoning without requesting a variance and why you feel you have legitimate hardship.

The Board cannot grant a variance based solely on inconvenience to the applicant or solely on a financial consideration. It is incumbent on you as the appellant to complete this form by conveying a HARDSHIP as outlined. At the meeting it is important that you explain this hardship as effectively as possible.

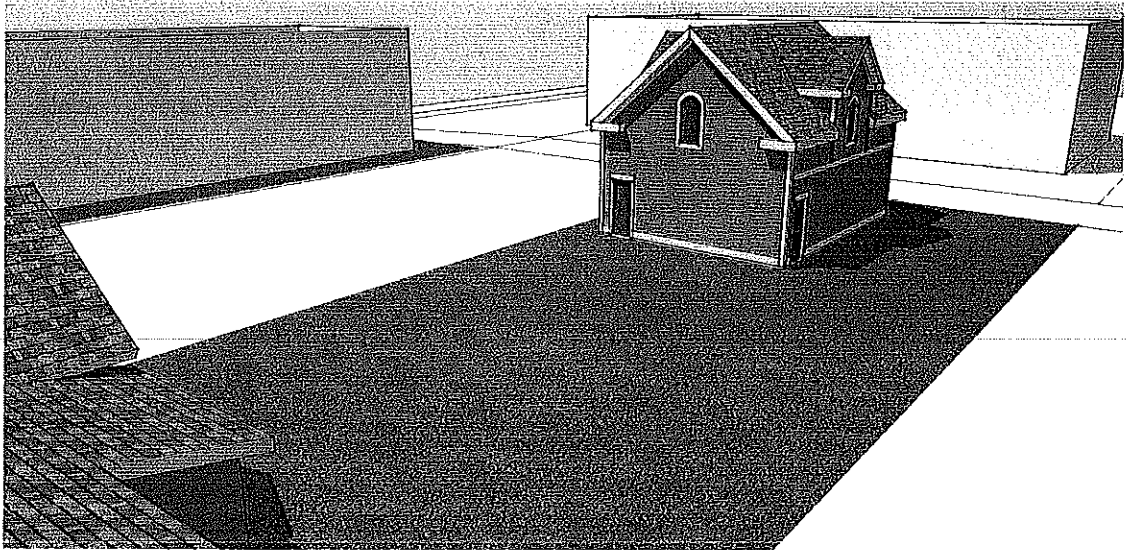
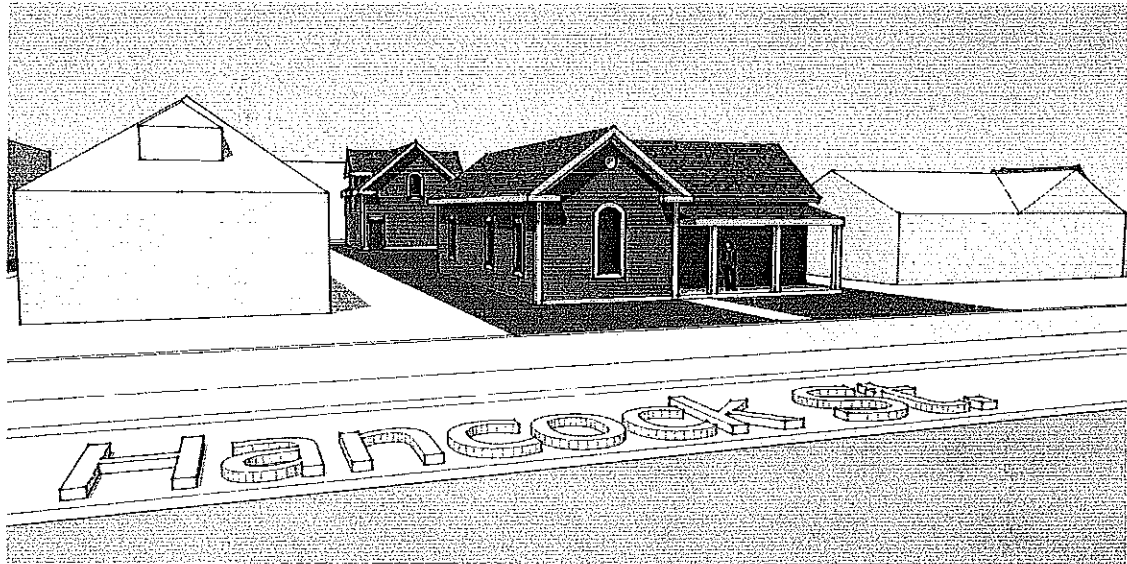
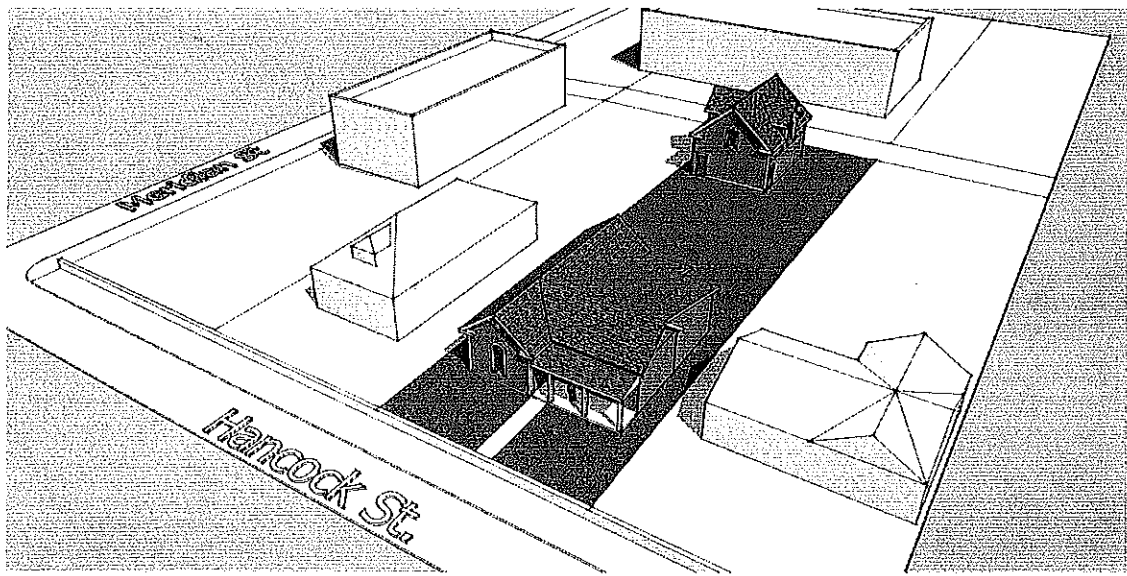
WHAT SPECIFIC AND UNIQUE CIRCUMSTANCES (HARDSHIP) EXIST THAT WOULD AUTHORIZE THE CONSIDERATION OF THE BOARD UNDER THE REVIEW STANDARDS AS OUTLINED?

The topography of my property and I have a 3' historic wall from the street level. My house is looking to build a 2 story garage. In order to get the height I need for the 2nd story I am requesting a variance.

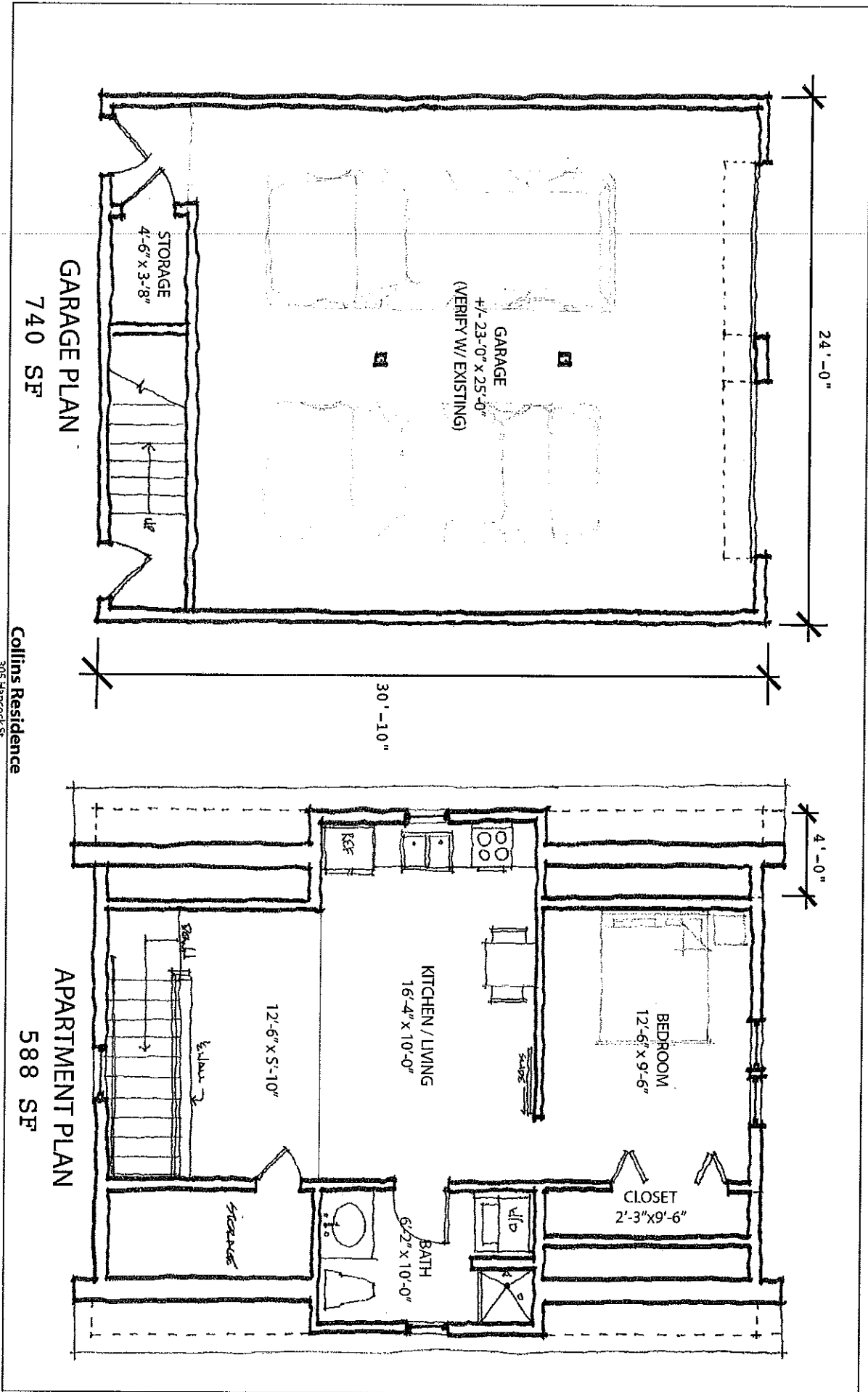


Collins Residence
 305 Hancock St.
 Nashville, TN

Case #: 2018-713



Collins Residence
30S Hancock St.
Nashville, TN



Collins Residence
305 Hancock St
Nashville, TN

Case #: 2018-713

Revised as of 11/26/18
Case # 2018-713

APPLICATION FOR A VARIANCE REQUEST

After your appeal is filed, Zoning staff will visit the site to take photographs for the Board members. So they will have a better idea of the nature of your request. Zoning staff will notify the district council member of the hearing. You will be responsible for preparing the envelopes and notices for mailing to the owners of property within 600 feet of the property at issue in the case. The envelopes must include the return address for the BZA and case number. Fold and insert notices into envelopes, seal the envelopes, and apply first class postage. These neighbor notices must be delivered to Zoning staff at least twenty-three (23) days before the public hearing. Additionally, you will be responsible for purchasing, posting, and removing the red Zoning Appeal signs for the subject property. (See attached Metro Code of Laws requirements regarding, sign placement.)

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Any party can appeal the Board's decision to Chancery or Circuit Court within sixty (60) days from the date the order in the case is entered. **Should your request be granted, we would remind you that it is your responsibility to obtain the permit for which you have applied.** You should also be aware that you have two (2) years to obtain the permit or you would have to re-file your request with the board.

Once your request is filed, the staff will review your request to verify that the submittal is complete. Incomplete submittals will not be scheduled for hearing until complete.

Any correspondence to the Board must be submitted to our office by noon, the Monday prior to the public hearing to be included in the record. You must provide eight (8) copies of your information to staff.

We hope that this information will be of help to you in understanding the variance procedure and if our office can be of further assistance, please do not hesitate to contact us.

METROPOLITAN BOARD OF ZONING APPEALS (615) 862-6510

I am aware that I am responsible for posting and also removing the sign(s) after the public hearing.

Tracey Collins
APPELLANT

DATE _____

Standards for a Variance

The Metropolitan Board of Zoning Appeals may grant variances from the strict application of the provisions of the Zoning Code based upon findings of fact related to the standards in section 17.40.370. This Section is included as follows:

Physical Characteristics of the property- The exceptional narrowness, shallowness or shape of a specific piece of property, exceptional topographic condition, or other extraordinary and exceptional condition of such property would result in peculiar and exceptional practical difficulties to, or exceptional or undue hardship upon the owners of such property.

Unique characteristics- *The specific conditions cited are unique to the subject property and generally not prevalent to other properties in the general area.*

Hardship not self-imposed- *The alleged difficulty or hardship has not been created by the previous actions of any person having an interest in the property after date of Zoning Code.*

Financial gain not only bases- *Financial gain is not the sole basis for granting the variance.*

No injury to neighboring property- *The granting of a variance will not be injurious to other property or improvements in the area, impair and adequate supply of light and air to adjacent property, or substantially diminish or impair property values within the area.*

No harm to public welfare- *The granting of the variance will not be detrimental to the public welfare and will not substantially impair the intent and purpose of this Zoning Code.*

Integrity of Master Development Plan- *The granting of a variance will not compromise the design integrity or functional operation of activities or facilities within an approved Planned Unit Development.*

The Board shall not grant variances to the land use provisions of section 2.3, nor the density of Floor Area Ratio (FAR) standards of Tables 3-B and 2-C, nor the required size of residential lots approved by the Planning Commission under the authority of section 3.7 (Lot Averaging), section 3.8 (Cluster Lot Option) or Section 9. E.3 (PUD). Further the Board shall not act on a variance application within a Planned Unit Development (PUD), Urban Design Overlay or Institutional Overlay district without first considering a recommendation from the Planning Commission.

In Simple terms, for the Board to grant you a variance in the zoning ordinance, you must convey to the Board what your hardship is. Hardships are narrowness, shallowness, irregular shape, and topography of property. The Board can also consider other practical difficulties such as mature trees, easements, and location of disposal systems which can affect your plan. Consideration can be given to the characteristics of neighborhood and the way it is developed. One or more of these conditions must affect your inability to build or occupy the property to provide your case.

At the public hearing, please be prepared to tell the Board what your hardship is, why you cannot build in accordance with zoning without requesting a variance and why you feel you have legitimate hardship.

The Board cannot grant a variance based solely on inconvenience to the applicant or solely on a financial consideration. It is incumbent on you as the appellant to complete this form by conveying a **HARDSHIP** as outlined. At the meeting it is important that you explain this hardship as effectively as possible.

WHAT SPECIFIC AND UNIQUE CIRCUMSTANCES (HARDSHIP) EXIST THAT WOULD AUTHORIZE THE CONSIDERATION OF THE BOARD UNDER THE REVIEW STANDARDS AS OUTLINED?

Since owning my house in 2007, I had hoped to build a DADU on my property as a place for friends and family to stay. However, in the past few years street parking in my neighborhood has become increasingly difficult. Reasons for the boom have been new businesses, restaurants and a seasonal dog park. This has led me to revise my plans to include a garage with living quarters above it. The current guidelines for building a DADU state that it cannot be taller than your existing structure. As I have a one story house, building a garage with living quarters above it that matches the aesthetic of my house is challenging without a height variance.

Metropolitan Board of Zoning Appeals

Metro Howard Building
800 Second Avenue South
Nashville, Tennessee 37210



Appellant: Rogers Group Inc Date: 11-5-18
Property Owner: Rogers Group Inc Case #: 2018-715
Representative: Erica Garrison Map & Parcel: 0900000007.00

Council District 20

The undersigned hereby appeals from the decision of the Zoning Administrator, wherein a Zoning Permit/Certificate of Zoning Compliance was refused:

Purpose: MINERAL EXTRACTION

Activity Type: COMMERCIAL
Location: 7177 COCKRILL BEND BLVD

This property is in the IR Zone District, in accordance with plans, application and all data heretofore filed with the Zoning Administrator, all of which are attached and made a part of this appeal. Said Zoning Permit/Certificate of Zoning Compliance was denied for the reason:

Reason: SPECIAL EXCEPTION
Section(s): 17.16.230 B

Based on powers and jurisdiction of the Board of Zoning Appeals as set out in Section 17.40.180 Subsection _____ Of the Metropolitan Zoning Ordinance, a Variance, Special Exception, or Modification to Non-Conforming uses or structures is here by requested in the above requirement as applied to this property.

ROGERS GROUP, INC
BY BRYAN LEDFORD
Appellant Name (Please Print)

421 GREAT CIRCLE BLVD
Address

NASHVILLE, TN 37228
City, State, Zip Code

615-499-1283
Phone Number

bryan.ledford@rogersgroupinc.com
Email

Erica Garrison
Representative Name (Please Print)
511 Union St., Waller Lansden

Nashville, TN 37215
Address
City, State, Zip Code

615-815-4119
Phone Number

erica.garrison@wallerlansden.com
Email
wallerlansden.com

\$200
Appeal Fee:



**Metropolitan Government
of Nashville and Davidson County, Tennessee
Department of Codes and Building Safety
800 Second Avenue South, Nashville, TN 37210**



3575587

ZONING BOARD APPEAL / CAAZ - 20180069803
Inspection Checklist for Use and Occupancy
This is not a Use and Occupancy Notification

PARCEL: 09000000700**APPLICATION DATE:** 11/05/2018**SITE ADDRESS:**

7177 COCKRILL BEND BLVD NASHVILLE, TN 37209
S/S OF COCKRILL BEND BV W/S OF CENTENNIAL BV

PARCEL OWNER: ROGERS GROUP, INC.**CONTRACTOR:****APPLICANT:****PURPOSE:**

Special Exception for Mineral Extraction per 17.16.230 B
POC: Bryan Ledford 615-499-1283

*Before a Use and Occupancy Letter can be issued for this project, the following approvals are required.
Inspections Foundation = before concrete poured, Framing = before covering wall and after rough-in inspections.*

There are currently no required inspections

Inspection requirements may change due to changes during construction.

APPLICATIONS FOR SPECIAL EXCEPTION REQUESTS

After your appeal is filed, zoning staff will visit the site to take photographs for the Board members so that they will have a better idea of the nature of your request. Notices will be sent to the district councilmember, *The Tennessean*, and the neighboring property owners within 300 feet of the property. The neighbor notices will be mailed approximately twenty-three (23) days prior to the public hearing.

The day of the public hearing, it will be your responsibility to convey to the Board the nature of the hardship in your request that makes it difficult/impossible for you to comply with the Zoning Code. It would be to your benefit to let your neighbors know about your request prior to all notices being sent to them from our office.

Any party can appeal the Board's decision to Chancery or Circuit Court within sixty (60) days from the date the order in the case is entered. Should your request be granted, we would remind you that it is your responsibility to obtain the permit for which you have applied. You should also be aware that you have two (2) years to obtain the permit or you would have to re-file your request with the Board.

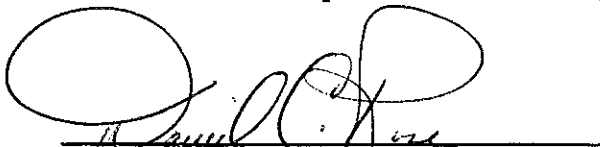
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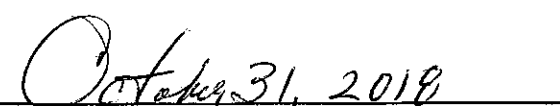
We hope that this information will be of help to you in understanding the variance procedure and if our office can be of further assistance, please do not hesitate to contact us.

METROPOLITAN BOARD OF ZONING APPEALS (615) 862-6530

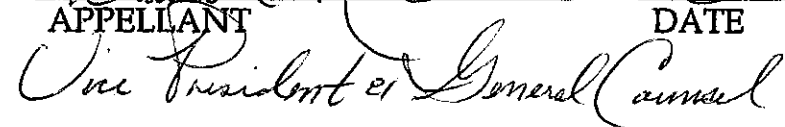
I HEREBY GIVE PERMISSION TO the Department of Codes and Building Safety to post the required sign(s) on the subject property as required by the Zoning Code. I am aware that I am responsible for removing the sign(s) after the public hearing.



 APPELLANT



 DATE



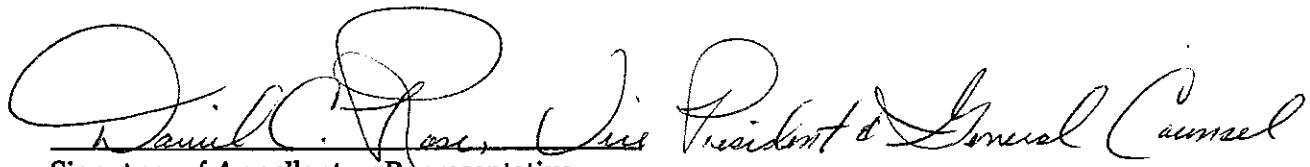
SPECIAL EXCEPTION REQUESTS

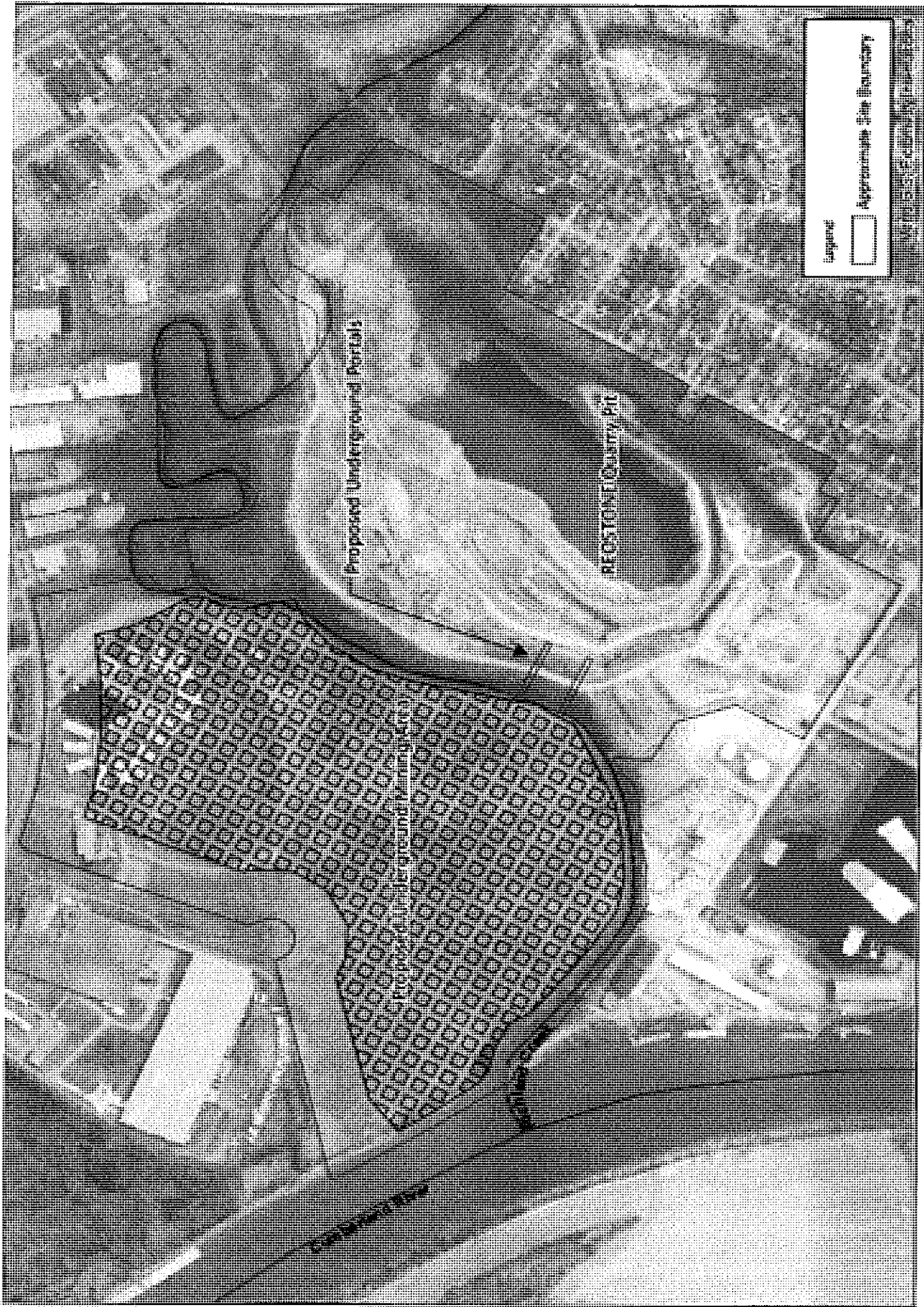
On May 1, 2003, the Board of Zoning Appeals approved a new condition/requirement for all special exception applications. It reads as follows:

"BZA Rules of Procedure Item 9. (2) e In the interest of having informed stake holders in special exception cases, it is required that the appellant make contact with the district councilperson and neighbors within 300 feet of the subject property from a mailing list provided by the board staff. Information to be furnished by the applicant shall include a contact person and include a reasonable representation of your proposal and hold a meeting at a geographically convenient place, date and time. Applicant shall document to the Board that this requirement has been met. Failure to comply may result in deferral of your case."

In other words, we will provide you a mail list of those persons within 300 feet of the location designated for a special exception permit. We are required by law to notify these people (within 300 feet) of your request. The Board requires that you contact those persons on the mail list, give them a date, time, place to meet with you and discuss your request. If there is opposition, this will give you a chance to address their concerns prior to the public hearing.

You must make documentation to present to the Board concerning your efforts to contact these people. Failure to do so can result in a deferral or denial of your request.


Signature of Appellant or Representative

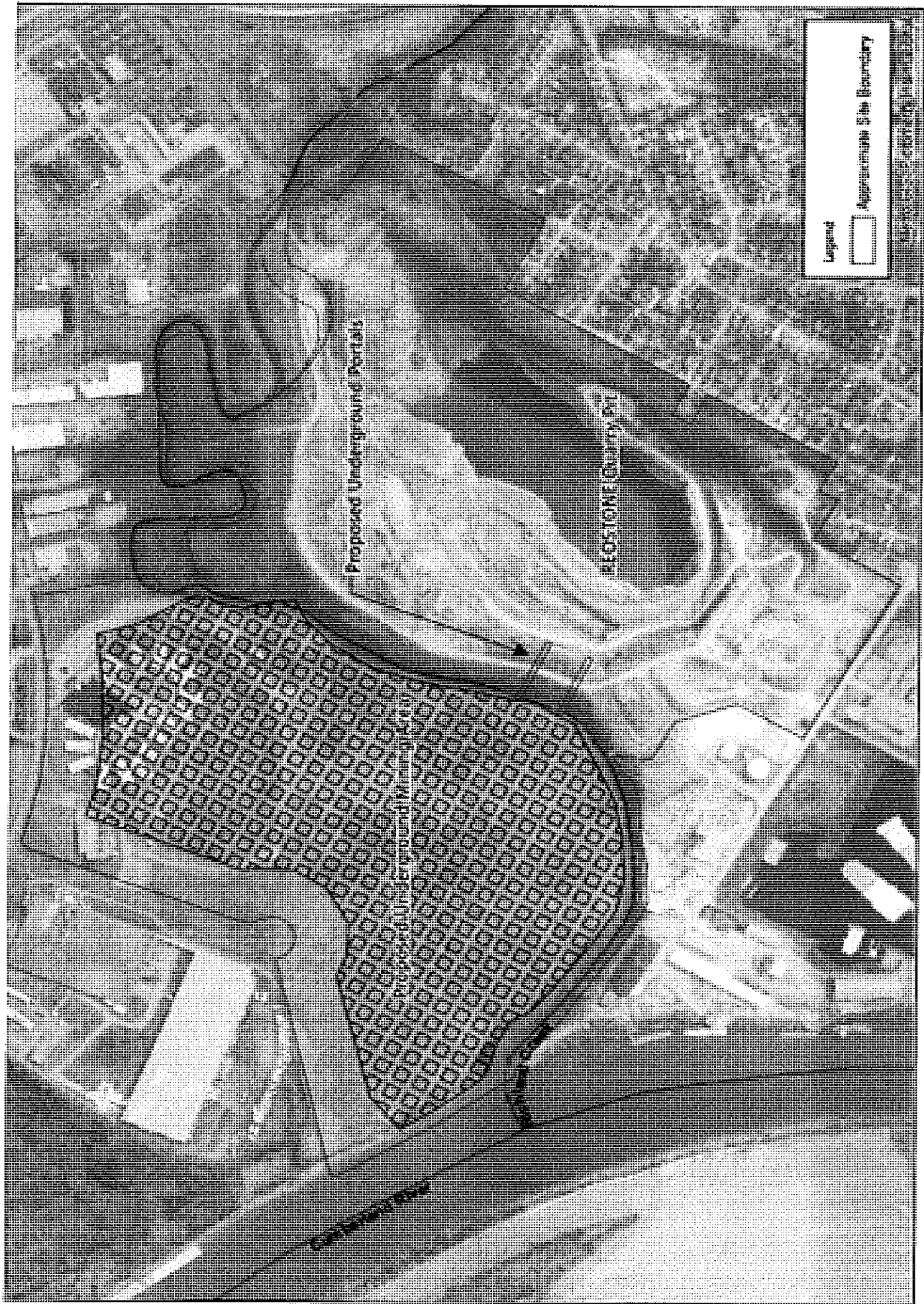


Legend



Approximate Site Boundary

APPROXIMATE SITE BOUNDARY





Waller Lansden Dortch & Davis, LLP
 511 Union Street, Suite 2700
 P.O. Box 198966
 Nashville, TN 37219-8966

615.244.6380 main
 615.244.6804 fax
 wallerlaw.com

Erica K. Garrison
 615.850.8779 direct
 erica.garrison@wallerlaw.com

December 17, 2018

HAND DELIVERED

Board of Zoning Appeals
 Metro Office Building, 3rd Floor
 800 Second Avenue South
 Nashville, TN 37210

Re: Special Exception Application for the Rogers Group - Mineral Extraction
 Case No. 2018-715

Dear Members of the Board:

As outside land-use counsel to the Rogers Group, our firm is providing this supplemental filing for consideration in Case No. 2018-715, a special exception request to allow underground mineral extraction filed pursuant to Section 17.40.280 of the Metropolitan Code.

According to the standards in the Zoning Code, our client must satisfy the provisions in Section 17.16.150 (general standards applicable to all special exceptions)¹ and Section 17.16.230 (B) (specific standards applicable to mineral extraction) in order for you, the Board, to approve the special exception.

The packet of information attached hereto indicates, via expert affidavits and expert reports, that the standards have been satisfied. As a brief summary of this information we have outlined the exhibits that are provided and what they will establish below:

- **Exhibit 1- Letter prepared by Waller Lansden**, local counsel for the Rogers Group, summarizing the standards for the special exception and how they have been specifically satisfied.
- **Exhibit 2- Affidavit by Bryan Ledford**, Rogers Group Area Vice President for Middle Tennessee establishing ordinance compliance. This is the first “general” requirement for mineral extraction found in Metropolitan Code Section 17.16.150 (B). Bryan oversees the quarries in Middle Tennessee, some of which are already in Davidson County, and he certifies that they will comply with all applicable ordinances, rules and regulations.

¹ There are 7 general special exception standards. The standards include ordinance compliance, integrity of the adjacent areas, design and architectural compatibility, natural features which is inapplicable to this matter since it is in a residential zone, historic preservation, traffic impact and hazard protection. An excerpt of this code provision is included behind this letter for your reference.



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- **Exhibit 7- Geological Study** performed by Appalachian Mining and Engineering Inc. This study indicates that the rock formations can safely accommodate an underground mine and the associated portals required to access the site.
- **Exhibit 8- Land use letter** provided by Waller Lansden addressing design and land use compatibility with the adjacent areas.
- **Exhibit 9- PowerPoint** presentation prepared by Rogers Group describing the underground mining plans for this property and addressing the reduction in blasting, noise and vibration that will occur.
- **Exhibit 10- Letter of support** from the Councilperson, Mary Carolyn Roberts.
- **Exhibit 11- Summary of the outreach efforts** in the community provided by the Calvert Street Group.
 - Letter of Support from the James Robertson Neighborhood Association
 - Petitions of Support from surrounding properties

In addition to the “general standards,” there are also specific standards that apply to mineral extraction. These standards are found in Section 17.16.230 (B), and we have included an excerpt of these standards for your reference. The following exhibits establish compliance with these standards.

- **Exhibit 12- Affidavit by Kevin Gangaware**, a professional engineer for Civil Site Design Group. He clearly indicates that the site satisfies subparts 1, 3, 4, 5 and 7 of the special exception “specific” standards. Mr. Gangaware establishes that the site exceeds the minimum acreage requirement of 100 acres, that it is in an IR district and not in an agricultural or residential district, therefore subparts (3) and (4) are inapplicable. Mr. Gangaware also indicates in his affidavit that the site plan includes the necessary 250 foot setback and landscape buffer yard as required in subparts (5) and (7). Behind Mr. Gangaware’s affidavit we have included a detailed site plan for the project which clearly establishes the acreage, the setbacks applicable to the underground mineral extraction activities, and also provides an aboveground site plan with an additional 250 foot aboveground roadway setback to shield the property from view.

17.16.150 - General provisions.

- A. Burden of Proof. A special exception permit shall not be considered an entitlement, and shall be granted by the board of zoning appeals only after the applicant has demonstrated to the satisfaction of the board that all of the required standards are met.
- B. Ordinance Compliance. The proposed use shall comply with all applicable regulations, including any specific standards for the proposed use set forth in this title, unless circumstances qualify the special exception for a variance in accordance with Chapter 17.40, Article VIII. Any accessory use to a special exception must receive express authorization from the board of zoning appeals.
- C. Integrity of Adjacent Areas. A special exception use permit shall be granted provided that the board finds that the use is so designed, located and proposed to be operated that the public health, safety and welfare will be protected. The board shall determine from its review that adequate public facilities are available to accommodate the proposed use, and that approval of the permit will not adversely affect other property in the area to the extent that it will impair the reasonable long-term use of those properties. The board may request a report from the metropolitan planning commission regarding long-range plans for land use development.
- D. Design and Architectural Compatibility. The operational and physical characteristics of the special exception shall not adversely impact abutting properties, including those located across street frontages. Site design and architectural features which contribute to compatibility include, but are not limited to, landscaping, drainage, access and circulation, building style and height, bulk, scale, setbacks, open areas, roof slopes, building orientation, overhangs, porches, ornamental features, exterior materials and colors.
- E. Natural Features. Special exception uses in residential zone districts must comply with the nonresidential tree protection regulations and other natural site features shall be preserved to the greatest extent possible so as to minimize the intrusion of nonresidential structures and parking areas.
- F. Historic Preservation. Features of historical significance shall not be adversely affected by the granting of any special exception. The metropolitan historic zoning commission shall be consulted regarding those features essential to preserve the historical integrity of a building or site of historical significance.

17.16.230 - Other special exception uses.

(Refer to zoning district land use table)

A. Commercial Community Garden.

1. Landscape Buffer Yard. The board of zoning appeals shall have the authority to require landscape buffering for properties abutting a residentially zoned property;
2. Lighting. All lighting shall be shielded so that substantially all directly emitted light falls within the property. No illumination in excess of one-half foot candle shall be permitted across the boundary of any residential property or a public street or alley; and
3. On-Site Storage and Use of Compost and Organic Matter. All compost and/or organic matter on the site:
 - a. Shall not cover more than ten percent (10%) of the total area of the property;
 - b. Compost piles abutting adjacent properties must not be visible from adjacent property (shielded from view by shrubbery or an enclosure).
 - c. Shall be managed to prevent the harborage of rodents and pests.
 - d. Shall be maintained to prevent odors.
 - e. Shall be located to prevent leachate (the water that has come in contact with the compost) from flowing onto adjacent property or into natural or human-made storm channels.
4. Drainage. The site shall be designed and maintained to prevent water from irrigation and/or other activities and/or fertilizer from draining onto adjacent property;
5. Refuse Storage and Disposal. Trash areas shall be provided and screened on at least three (3) sides from public view by an opaque impact-resistant fence of sufficient height to screen the dumpster(s).
6. Parking. Where the minimum parking space standard requires additional parking area to be constructed, such area shall comply with the perimeter parking lot landscaping according to Chapter 17.24 of this Code. In urban

AG, AR2a	500 feet	1000 feet
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6. Residential Encroachment. The issuance of a building permit for construction or use of any residential structure, after the zoning administrator has ruled that the proposed perimeter of operation complies with the above minimum setbacks from a residential structure, and where placement or conversion of the structure for residential purpose will be within the minimum setback of five hundred feet or one thousand feet, such construction or use shall not make the mineral extraction activity nonconforming.
7. Landscape Buffer Yard. The required setback area established in subdivision (5) of this subsection shall be an undisturbed open area, unobstructed from the ground to the sky, where natural vegetation is preserved and enhanced with other natural and artificial screening materials to buffer the use of the property. This area may be used for agricultural purposes.
 - a. Where the site abuts a residential zone district or district permitting residential use, screening in the form of landscape buffer yard Standard D shall be applied continuously within the setback area where the best opportunity exists to screen the operation, placed either on the property boundary, along the perimeter of operation, or both. This screening shall consist of six feet in height densely planted shrubs and/or trees which are of an evergreen type that provide year-round screening, or an opaque wall or barrier of six feet in height. An earthen berm may supplement this screening. All screening shall be maintained in good condition at all times. Areas of hazardous equipment and quarry pits shall be completely enclosed by fencing.
 - b. To the greatest extent possible in the AG and AR2a zone districts, the perimeter of operation shall be screened from the view of motorists and abutting property owners by earthen berms, walls,

- a. Prior to commencement of operations, the proposed blasting schedule shall be conveyed to every resident living within one-half mile of the proposed blasting site by certified mail and such proof of notification shall be made available for public inspection. Any subsequent change in blasting schedule shall be preceded by a similar notification to the residents and to the zoning administrator;
- b. A record of blasting shall be maintained for three years and made available for public inspection. The log shall detail the location of blasts, seismograph readings for each blast, pattern and depth of the drill holes, the amount of explosives used per hole, and the order and length of delay in the blasts;
- c. The minimum standards for ground vibration and, airblast overpressure set forth below shall not be exceeded at any time.
 - i. Ground vibration: .50 inches per second peak particle velocity for frequencies below forty Hertz and 2.0 inches per second peak particle velocity for frequencies greater than 40 hz; the charge weight delay shall be adjusted accordingly to insure compliance with this standard.
 - ii. Airblast overpressure: 129 peak dBL (linear)-0. 1 hz high-pass system; 128 peak dBL (linear)-2.0 hz high-pass system; 124 peak dBL (linear)-5 or 6 hz high-pass system.
- d. All blasts shall be monitored by an independent geotechnical expert in the field of seismology using best available current technology in measurement instrumentation. Such devices shall be placed one each at all four points of the compass surrounding the excavation area. Such monitoring devices shall produce a hard copy record in graph form or equivalent suitable for filing with the department of codes administration as a permanent record. Blasting shall only occur between seven a.m. and seven p.m. Monday through Saturday and may be further restricted to minimize disturbance to surrounding properties.

11.

5. The following types of ponds/lakes shall be exempt from the provisions of this section:
 - a. Landscape or ornamental ponds less than one thousand square feet in area and less than three feet in depth;
 - b. Ponds/lakes used for irrigation or water treatment of a golf course;
 - c. Farm ponds constructed on a working farm;
 - d. Detention and/or water quality ponds required by the stormwater division of the department of water and sewerage services;
 - e. Wildlife ponds and wetlands required by or constructed with the assistance of the Tennessee Department of Environment and Conservation; and
 - f. Ponds/lakes on property owned by the metropolitan government.

(Ord. BL2009-479 § 3, 2009; Amdt. 1 with Ord. BL2004-220 § 1 (part), 2004; Amdt. 1 with Ord. 98-1268 § 1 (part), 1998; § 1 (10) of Amdt. 1 with Ord. 96-555 § 4.3(I), 1997)



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December 17, 2018

HAND DELIVERED

Board of Zoning Appeals
Metro Office Building, 3rd Floor
800 Second Avenue South
Nashville, TN 37210

Re: Special Exception Application for the Rogers Group - Mineral Extraction
Case No. 2018-715

Dear Members of the Board:

As outside land-use counsel to the Rogers Group, a family-owned local quarrying company that has been in business for over 110 years and has operated several quarries in Davidson County and already has other successful underground operations in Davidson County, our firm is providing this letter which summarizes our client's compliance with the provisions in Section 17.16.150, the general standards for special exceptions and Section 17.16.230 (B), the specific standards for mineral extraction. Our client's request for this special exception can and should be specifically limited to the underground mineral extraction activities. All activities aboveground will be limited to those uses already allowed under the zoning code for IR zoning.

There are seven general standards in the Zoning Code "code" for special exceptions. Our client's expert reports, affidavits, and exhibits meet the standards outlined below, and we have provided a summary of how those standards have been satisfied for your reference.

- **Ordinance Compliance.** The use of mineral extraction must comply with all of the applicable regulations in the code. To address this condition, our client submitted an affidavit from the Area Vice President for Middle Tennessee affirming that the use can and will comply with all provisions in the code. See **Exhibit 2**.
- **Integrity of Adjacent Areas.** The special exception use shall be designed, located and proposed so that the use can be operated in a way that protects the public health, safety and welfare. Underground quarrying, which is what this special exception request is limited to, is much less impactful than an open-pit quarry. Furthermore, the use is being proposed in an industrial area that is removed from residential



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properties. By placing the use underground the primary impacts from a quarry, which are noise, dust and vibration, are drastically reduced and mitigated. In support of this position we have supplied expert affidavits from David Jackson, a geologist and hydrologist, who attests to the fact that the underground mine can be operated safely and will not adversely impact the flow or water-quality of Richland Creek. See **Exhibit 4**. We also included an affidavit from Bryan Ledford detailing the measures that Rogers Group will follow to limit the dust on the site, to regulate the blasting that occurs, and to manage the stormwater. See **Exhibit 3**. Likewise, we have included a blasting report for your consideration and a geologist's report, both of which explain that this use can occur safely on site. Finally, we spoke to the Planning Department and we reviewed their long-range plans for this site and the surrounding area. Consistent with those plans we have included a land-use letter that addresses the "industrial" nature of this site and the surrounding area. See **Exhibit 8**.

- **Design and Architectural Compatibility.** The operational and physical characteristics of the use shall not adversely impact adjacent properties. Pursuant to the site plan included herein, mining operations will occur below ground and not on the surface, so the mining use will not be visible to the neighbors and the impacts, by placing the mining underground, will be significantly mitigated. These facts are documented in the second detailed affidavit provided by Bryan Ledford, Area Vice President for the Rogers Group, and in the site plan and affidavit provided by Kevin Gangaware, a professional engineer for Civil Site Design. See **Exhibit 12** for the site plan. Additionally, the site plan and PowerPoint presentation provided by Rogers Group indicate that the frontage on the road will also be improved by providing a 250 foot bermed buffer with landscaping and by removing the current prison facilities which are not visually attractive.
- **Natural Features.** This provision applies to uses in residential districts. Since the project falls in an IR district this provision is inapplicable.
- **Historic Preservation.** Features of historical significance shall not be adversely affected. David Jackson, a geologist and hydrologist, who works with the National Historic Preservation Act on a regular basis, and who is well versed in performing impact analyses for federal permitting requirements indicates in his affidavit, **Exhibit 4**, that the databases do not establish any structure or feature of historical significance on this site so there will be no adverse impact on historic structures or historic sites.
- **Traffic Impact.** The applicant must demonstrate that the use will not adversely affect the safety and convenience of vehicular circulation. Beth Ostrowski, a professional traffic engineer for KCI, clearly stated this in her affidavit and it is supported by the Traffic Study that KCI performed. See **Exhibit 5**. The property in



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question sits $\frac{3}{4}$ of a mile from Briley Parkway in an industrial area, adjacent to an arterial boulevard, and it is supported by industrial roads that have the capacity to accommodate this truck traffic. Access to the road, from the proposed property, has the appropriate site distances and the roadways do not have sidewalks or any plans to accommodate pedestrian circulation., so there will be no risk to pedestrians.

- **Hazard Protection.** The code indicates that the use shall reasonably protect persons and property from erosion, flooding, fire, noise, glare and similar hazards. Bryan Ledford's second affidavit, which is **Exhibit 3** in the packet, addresses how Rogers Group will protect the surrounding properties from these hazards particularly fire, noise and erosion. The affidavit indicates the detailed fire training protocol that Rogers Group employs as well as the process and procedures they follow to limit noise associated with the quarry.

In addition to the "general standards," there are also specific standards that apply to mineral extraction. These standards are found in Section 17.16.230 (B) and we have briefly outlined them below along with a summary of how each of these standards has been satisfied.

- **Lot size of 100 acres.** The site plan and affidavit by Kevin Gangaware indicate the lot is 115 acres. See **Exhibit 12**.
- **Street Standard of LOS D with access to a roadway designated at a minimum as a nonresidential collector.** All of the streets leading to Briley Parkway are designated as LOS D or greater, and the site flows directly onto an arterial boulevard satisfying these conditions as indicated in Beth Ostrowski's affidavit and associated traffic study.
- **Location. In the AG and AR2A districts the uses shall not be allowed in the USD.** Pursuant to Kevin Gangaware's affidavit, the site is zoned IR and therefore this provision is inapplicable. See **Exhibit 12**.
- **Separation. In the AG and AR2a districts there shall be at least a one mile radius to the next mineral extraction activity.** Pursuant to Kevin Gangaware's affidavit, the site is zoned IR and therefore this provision is inapplicable.
- **Setback of 250 feet from the perimeter of the operation.** Pursuant to Kevin Gangaware's affidavit and the prepared site plan, the special exception use is limited to underground quarrying and a 250 foot below ground setback for this use is provided, with the understanding that Rogers Group will consolidate its Reostone quarry with this parcel so the buffer will not apply to that portion of the property.



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- **Residential Encroachment.** This provision applies to future residential development that might occur, it requires no action item by the Rogers Group, and it is inapplicable at this time.
- **Landscape Buffer Yard.** The code requires the setback to be an undisturbed area. The underground buffer area will be undisturbed per the site plan and Rogers Group will also provide an aboveground landscaped buffer yard of 250 feet along the street to shield its activities from the road and to improve the visual appearance of the site.
- **Performance Standards.** The operation must minimize disturbances and adverse impacts on surrounding land by using best available technology and complying with the applicable federal, state, and local laws. Included in Bryan Ledford's second detailed affidavit, found in **Exhibit 3**, is a description of the methodology and approach Rogers Group will use to address the handling of explosive materials, the stormwater requirements, and compliance with the air pollution control standards, including a description of the new dust suppression technology that will be employed. Bryan Ledford's original affidavit on compliance also addresses the Company's commitment to complying with all components of the Metropolitan Code. (See paragraphs 7-13 and 22-25). Finally, the affidavit from Dan Goethel sets out the standards and approach that will be followed by the company relative to blasting and Compliance with the Blasting Standards Act.
- **Pre-Blast Survey.** The Codes department has determined this provision is preempted by the State's Blasting Standards Act and is inapplicable.
- **Blasting.** The operator of the mining activity shall comply with a set of standards concerning the allowable blast pressure, notification of blast schedules, and the maintenance of blasting records. Dan Goethel's affidavit, included as **Exhibit 13** assures the Board that all of these requirements will be followed if this special exception is approved.
- **Reclamation/Closure Plan.** The operator shall include plans for the final contours of the site and its reclamation. In this case the use is underground, not aboveground, and there are no environmental requirements concerning the reclamation of an underground quarry since the aboveground grade will not be impacted. Nevertheless, in the second more detailed affidavit provided by Bryan Ledford, **Exhibit 3** paragraph 14, the possibility for repurposing the site into a storage facility or another use is addressed and a brief closure plan is provided. There are many underground quarries in the country that have been repurposed into records storage areas, private or government business and administrative facilities and warehousing. On this site, in addition to the repurposing of the below ground mine, the surface uses that will be present, which are allowed under the IR zoning, will be

waller

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removed, and topsoil or the equivalent will be spread over the graded site and vegetation will be re-established.

Pursuant to the information provided above, we believe the documentation that we have given to the Board carries the burden placed on the applicant, Rogers Group. Each of the above requirements has been satisfied with expert reports and expert affidavits, constituting material evidence in the record that is before this Board. As such we respectfully request the issuance of this special exception request for mineral extraction, limiting the use to strictly underground mining. We stand ready to answer any additional questions this Board has on the 20th before the BZA. Thank you for your consideration.

Sincerely,



Erica Garrison

EKG

**AFFIDAVIT OF BRYAN LEDFORD
ROGERS GROUP VICE PRESIDENT FOR NORTHERN MIDDLE TENNESSEE
CONCERNING ORDINANCE COMPLIANCE**

STATE OF TENNESSEE)
COUNTY OF DAVIDSON)

I, **Bryan Ledford**, having been duly sworn, do hereby affirm the following:

1. I am over the age of 18 years and competent to testify to the matters herein.
2. I am an employee of the Rogers Group and I currently serve as the Area Vice President for Northern Middle Tennessee. In this position I will oversee and manage this underground quarry operation on Cockrill Bend.
3. Rogers Group currently has other quarries in Davidson County that I manage and we operate other underground quarry operations in Davidson County.
4. Rogers Group has an entire team of professionals who regularly deal with permitting and ordinance compliance issues in Davidson County and elsewhere in Tennessee. That team consists of the following individuals:
 - i. Dan Goethel, VP Operations Support Services - Rogers Group employee since 2011. Prior 34 years of mining experience. Prior management positions with Lafarge and Martin Marietta Materials. University of Wisconsin, Bachelor of Science Degree in Mining Engineering.
 - ii. Tommy Thurman, Aggregate Production Manager - Rogers Group employee since March 2006. Prior 18 years with Vulcan Materials as Plant Foreman and Assistant Manager at a location in Huntsville, Alabama.
 - iii. Van Medlock, Director of Environmental Services - Rogers Group employee since 2000. Prior experience - 11 years as an environmental engineer in the Water Pollution Control Division of the State of Tennessee. Tennessee Technological University, Bachelor of Science in Civil Engineering.

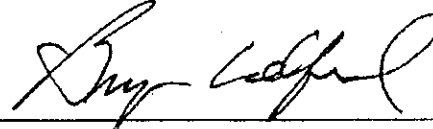
- iv. Dan Rose, VP and General Counsel - Rogers Group employee since 2008. Prior experience Vice President – Law with aggregate producer, Oglebay Norton Company (2002 – 2008). Ohio State University, Juris Doctorate and Bachelor of Science in Mechanical Engineering.
 - v. Marty Tubbs – Director of Safety - Rogers Group employee since April 2016. Prior 20 years in safety, health and human resources with Vulcan Materials. Bachelor's degree in occupational safety and health and a master's degree in industrial hygiene, both from Murray State University.
5. Given Rogers Group's presence in Davidson County, our team is knowledgeable of and complies with the applicable and relevant federal, state and local laws applicable to mineral extraction and our business in general and we plan to continue to comply with all local, state and federal ordinances applicable to our operations if this special exception is granted.

FURTHER AFFIANT SAITH NOT.

[Signature page follows.]

IN WITNESS WHEREOF, the undersigned has executed this instrument this 15TH day of December, 2018.

ROGERS GROUP



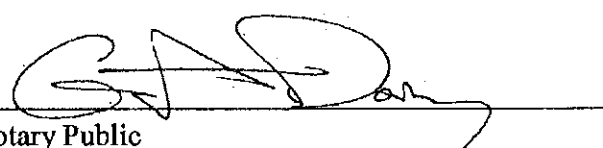
Bryan Ledford
Vice President for Northern Middle Tennessee

STATE OF TENNESSEE)

COUNTY OF DAVIDSON)

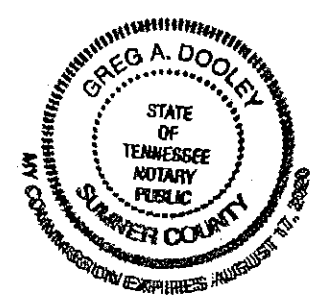
Before me, the undersigned, a Notary Public in and for the County and State aforesaid, personally appeared Bryan Ledford, with whom I am personally acquainted (or proved to me on the basis of satisfactory evidence), and who upon oath acknowledged himself to be the Vice President for Northern Middle Tennessee of Rogers Group, and that as such, being authorized so to do, executed the foregoing instrument for the purposes therein contained.

Witness my hand and seal, at office in Gallatin, TN, this the 15th day of December, 2018.



Notary Public

My Commission Expires: 8-17-2020



**AFFIDAVIT OF BRYAN LEDFORD
ROGERS GROUP VICE PRESIDENT FOR NORTHERN MIDDLE TENNESSEE
CONCERNING THE INTEGRITY OF ADJACENT AREAS, DESIGN AND
ARCHITECTURAL COMPATIBILITY AND HAZARD PROTECTION**

STATE OF TENNESSEE)
COUNTY OF DAVIDSON)

I, Bryan Ledford, having been duly sworn, do hereby affirm the following:

1. I am over the age of 18 years and competent to testify to the matters herein.
2. I am an employee of the Rogers Group and I currently serve as the Vice President, Strategic Market Area Manager, Northern Middle Tennessee. In this position I will oversee and manage Rogers' existing Reostone surface quarry operations and will manage the underground quarry operation proposed for Cockrill Bend Blvd.
3. Rogers Group currently has other quarries in Davidson County that I manage, including an underground quarry operation in Whites Creek in Davidson County.
4. Rogers Group has an entire team of professionals who regularly deal with permitting and ordinance compliance issues in Davidson County and elsewhere in Tennessee. That team consists of the following individuals:
 - a. Dan Goethel, VP Operations Support Services - Rogers Group employee since 2011. Prior 34 years of mining experience. Prior management positions with Lafarge and Martin Marietta Materials. University of Wisconsin, Bachelor of Science Degree in Mining Engineering.
 - b. Tommy Thurman, Aggregate Production Manager Rogers Group employee since March 2006. Prior 18 years with Vulcan Materials as Plant Foreman and Assistant Manager at a location in Huntsville, Alabama.
 - c. Van Medlock, Director of Environmental Services Rogers Group employee since 2000. Prior experience - 11 years as an environmental engineer in the Water Pollution Control Division of

the State of Tennessee. Tennessee Technological University, Bachelor of Science in Civil Engineering.

- d. Dan Rose, VP and General Counsel - Rogers Group employee since 2008. Prior experience Vice President – Law with aggregate producer, Oglebay Norton Company (2002 – 2008). Ohio State University - Juris Doctorate and Bachelor of Science in Mechanical Engineering.
- e. Marty Tubbs – Director of Safety - Rogers Group employee since April 2016. Prior 20 years in safety, health and human resources with Vulcan Materials. Bachelor's degree in occupational safety and health and a master's degree in industrial hygiene, both from Murray State University.

Integrity of Adjacent Areas (Noise)

- 5. Rogers Group adheres to all federal, state and local noise ordinances and regulations concerning noise and monitors noise levels on a periodic basis to ensure compliance. The current Reostone aggregate processing equipment operates below 65 dBA as measured from Annex Avenue on June 14, 2018. Current surface related processing operations will relocate to the proposed new location on industrially zoned property over 2,000ft. further away from the residential neighborhoods on Annex and Robertson Avenues. The existing processing equipment will be replaced with new, enclosed, state of the art equipment that will further reduce existing production noise levels.
- 6. Mining at the proposed underground location will be limited to blasting underground at a fraction of the magnitude of current open-pit blasts. The air over pressure effect typically encountered with surface blasting will be substantially reduced by 89% due to the confined space in which significantly smaller underground blasts will replace existing surface blasts. Further, the ground vibration component from smaller underground blasts will be also substantially reduced on average by 56.90%. Reostone currently conducts surface blasting at a pound per delay charge equal to 2,082 pounds. Rogers anticipates that underground blasting at the proposed Reostone site will be the same as that currently conducted

at Rogers White's Creek facility, which is 80 pounds – a 95.3 percent reduction. (See - *Technical Evaluation of Blasting Operation for Cockrill Bend Location Proposed Underground Mining Operation prepared and submitted by VCE*).

Integrity of Adjacent Areas (Air Quality & Dust) - Performance Standards: (a)
Federal New Source Performance Standards.

7. Rogers Group is subject to the oversight and jurisdiction of The Nashville Metro Public Health Department. Any permit issued in accordance with Section 10.56.040, Operating permit of Chapter 10.56, "Air Pollution Control" of the Metropolitan Code of Laws (MCL) will delineate air standards applicable to the proposed relocated operations. Rogers Group has restricted its emissions at the existing Reostone operation and is currently designated as a Synthetic Minor Source. Rogers intends to continue this designation at the new proposed location.
8. Rogers is subject to periodic regulatory source compliance inspections. Rogers' area personnel receive opacity training in addition to training on Rogers dust control equipment and permit requirements.
9. Rogers Group adheres to all federal, state and local regulations pertaining to dust emissions by employing wet suppression water spray systems at crushing, screening and aggregate material transfer points. Rogers also utilizes water trucks for managing other fugitive dust sources related to roads and parking areas. All systems require periodic maintenance or replacement and are subject to monthly inspections and evaluations for effectiveness with implementation of necessary corrective measures. All new surface processing elements installed on this property will new, enclosed and employ state of the art dust suppression systems consistent with Rogers' compliance policy.
10. Underground mining generates less fugitive dust than open pit mining as dust is contained within a subsurface operating area. Pursuant to Rogers' proposal, current surface extraction operations will be transitioned underground, further from the existing open pit. As a result, the adjacent residential neighbors will see a significant net decrease in dust associated with blasting, loading and hauling.

11. A new paved industrial access road will also be constructed by Rogers Group and this road will connect to Cockrill Bend Boulevard, diverting all heavy truck traffic away from residential areas and allowing ingress/egress on an industrial corridor. A new state of the art wheel wash will be installed on Rogers' property for all trucks entering or exiting the property to remove dust before exiting onto Cockrill Bend Boulevard.

Integrity of Adjacent Areas (Process & Stormwater) -

Performance Standards: (b) National Pollutant Discharge Elimination System

12. The Tennessee Department of Environment & Conservation - Division of Water Pollution Control is responsible for administration of the Tennessee Water Quality Control Act of 1977 (T.C.A. 69-3-101). Rogers is currently and will continue to be subject to TDEQ permitting requirements and routine TDEQ inspections. Permitted discharge outfalls are required to be sampled two times per month. Quarterly reports are submitted to TDEQ. Rogers Group currently maintains permitted discharge points from the existing Reostone operation to Richland Creek pursuant to a National Pollutant Discharge Elimination System (NPDES) permit (TN0057657) with a five-year term that expires on October 31, 2021. Rogers will pursue any required modifications to the current permit to provide for the proposed relocated operations if approved.
13. Rogers utilizes ponds, check dams, and sediment traps to remove sediment from process and storm water runoff. All ponds and discharge water are monitored twice a month to maintain compliance with applicable permits and to determine when ponds require routine maintenance. TDEQ water quality standards require monitoring for pH and total suspended solids in order to protect and maintain the classified use of the receiving stream for fish and aquatic life. Rogers currently maintains a Storm Water Pollution Prevention Plan (SWPPP) implementing best management practices that will continue in order to ensure compliance with NPDES permit requirements.

Integrity of Adjacent Areas (Property Development).

14. The proposed quarry operations will all be underground so there will be no pit visible from Cockrill Bend Boulevard. When underground operations are discontinued, reclamation will be completed in compliance with federal, state and local requirements, and the underground site can be repurposed for a number of uses. Many quarries have been converted to warehousing, record storage and private or government business and administrative facilities - all of which would be appropriate uses consistent with the surrounding industrial character. (See attached data sheets for illustrative examples.). Surface structures will be removed, and concrete footers will be either buried or removed. Once structures are removed, topsoil or equivalent will be spread over the graded site and vegetation will be re-established.
15. The existing open-pit quarry has been in operation for over 50 years. The surrounding neighborhoods have experienced rapid growth over the last several decades and now include property adjacent to quarry operations. Quarries throughout Tennessee are successfully operated in industrial areas. The proposed relocation will align an industrial use with industrially zoned property, further away from existing residential property, substantially diminishing the industrial impact related to dust, noise, blasting and heavy truck traffic to the surrounding residential communities.

Design and Architectural Compatibility

16. The proposed mineral extraction operation will all be underground and will not be visually or operationally incompatible with the surrounding uses.
17. Existing surface operations include aggregate crushing, screening, conveying, stockpiling and truck loading and weighing. These activities will eventually be relocated to the proposed adjacent location, further away from residential areas to industrial property and will be conducted using new, enclosed, state of the art equipment. Relocated surface operations will be visibly buffered from Cockrill Bend Blvd by a 250-foot undisturbed buffer and a 20ft. high landscaped berm which will improve the aesthetics compared to the existing unbuffered abandoned Bass Correctional Facility prison structures.

18. With the development of an underground operation, Rogers Group will construct and pay for a new access road and bridge that will redirect to Cockrill Bend Road existing heavy industrial traffic generated by industrial operations on Robertson Road, including Rogers Group, Pine Bluff Sand & Gravel, IMI and Quikrete. Cockrill Bend Boulevard is currently designated as an Arterial Boulevard in the Nashville Major and Collector Street Plan servicing an industrial area far better suited for existing truck traffic than Robertson Road. On busy days, Rogers Group and other industrial operations at the end of Robertson Road can generate 500 trucks coming and going for a total of 1,000 truck trips daily. This traffic will be redirected from Robertson Road to Cockrill Bend, representing a significant benefit for the residential homeowners in the area.

Hazard Protection (Fire)

19. Fire hazards at quarries are usually associated with equipment failures. Rogers maintains an efficient and effective maintenance program as well as pre-shift inspection processes performed on all equipment at the beginning of each shift.
20. The Mine Safety and Health Administration also imposes regulations on quarries relative to safety, operations, blasting and explosives, and regularly inspects the underground quarries four times a year.

Hazard Protection (Erosion).

21. Rogers Group develops site-specific plans for erosion control at each of its locations. Depending on the level of anticipated runoff, appropriate sediment control structures are placed to ensure that storm water and process water discharges comply with permitted levels of total suspended solids. Best Management Practices typically consist of check dams, sediment traps, sediment basins, and silt fences to control runoff. Berms can also be constructed to direct smaller flows to concentrated points of discharge. Rogers Group also maintains Storm Water Pollution Prevention Plans and a Spill Prevention Control and Countermeasure (SPCC) plans for all mining facilities.

Performance Standards: (c) Quarrying & Mining Operations (Metropolitan code of Laws, chapter 10.52).

22. Rogers Group has been in the limestone quarrying business for 110 years and remains 100% owned by family members that are community leaders and live in the communities in which we operate. Rogers' core Vision and Values Statement includes pillars focused not only on Employees, Customers, and Operational Excellence, but also Communities. The success of Rogers Group is critically dependent upon serving our communities and understanding our impact as a responsible industrial neighbor.

Performance Standards: (d) Explosive materials Code (NFPA 495; Metropolitan Code of Laws, chapter 10.64) & (e) Tennessee Blasting Standards (Tennessee Code Annotated 68-105).

23. Rogers' employees receive detailed training in fire prevention inspection processes and all blasters who handle explosives must pass an exam administered by the Tennessee Fire Marshal and receive Tennessee State certification. Rogers' blasting employees must also register with the Bureau of Alcohol, Tobacco, Firearms and Explosives and undergo a criminal background check. All blasters must be an explosives handler for a minimum of one year before taking the TN State Blasting Certification test. (See attached *Tennessee Fire Marshall Explosives Users Test Study Guide*). During that year, each handler learns rules and procedures that govern safety, operation of blasting equipment, loading and priming a shot, placing delays, using boosters, handling misfires, performing inventory reconciliation, and all other responsibilities of a blaster. Rogers Group currently has three licensed Tennessee Blasters.
24. All of Rogers Groups' explosives are stored separately from detonators and both explosive and detonator storage is insulated with non-sparking material to protect against accidental ignition. On a daily basis, Rogers' blasters prepare a shot report and summary of magazine transactions. The shot report includes all information relevant to an individual shot, including: date, name of handler and people involved loading the shot, location of the detonation/shot, explosives used (starting inventory, quantities removed from and returned to inventory, ending inventory),

blaster's signature and ID number, time of shot detonation and any relevant notes. A daily summary of magazine transactions report includes the date, manufacturer of explosives, date code, beginning quantity, ending quantity, balance, and name of the report author. These reports are kept on site for inspection. At the end of each shift, all keys to the blasting rig, magazine, and bulk explosives materials are locked in a safe.

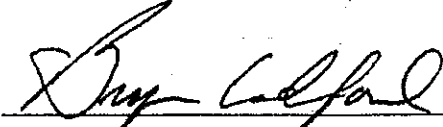
25. The effects of each blast are recorded by seismographs located on the perimeter of Rogers' property as required by applicable ordinances. Seismographs record ground movement and air over pressure of each blast. These records are filed with the fire marshal and are also maintained on site in accordance with applicable law.

FURTHER AFFIANT SAITH NOT.

[Signature page follows.]

IN WITNESS WHEREOF, the undersigned has executed this instrument this 15TH day of December, 2018.

ROGERS GROUP



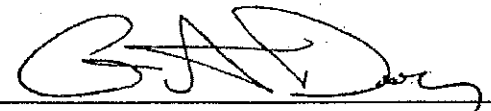
Bryan Ledford
Vice President for Northern Middle Tennessee

STATE OF TENNESSEE)

COUNTY OF DAVIDSON)

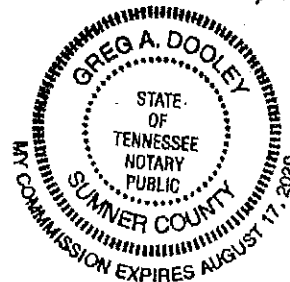
Before me, the undersigned, a Notary Public in and for the County and State aforesaid, personally appeared Bryan Ledford, with whom I am personally acquainted (or proved to me on the basis of satisfactory evidence), and who upon oath acknowledged himself to be the Vice President for Northern Middle Tennessee of Rogers Group, and that as such, being authorized so to do, executed the foregoing instrument for the purposes therein contained.

Witness my hand and seal, at office in Gallatin, TN, this the 15th day of December, 2018.



Notary Public

My Commission Expires: 8-17-2020



**AFFIDAVIT OF DAVID JACKSON
BDY ENVIRONMENTAL
CONCERNING THE INTEGRITY OF THE ADJACENT AREA AS WELL AS THE
IMPACT ON HISTORIC FEATURES OR STRUCTURES**

STATE OF TENNESSEE)
COUNTY OF DAVIDSON)

I, **David Jackson**, having been duly sworn, do hereby affirm the following:

1. I am over the age of 18 years and competent to testify to the matters herein.
2. I am a professional geologist and hydrologist with BDY Environmental.
3. I have worked in this area for 35 years with extensive experience concerning the National Historic Preservation Act and federal and state environmental permitting schemes for wetlands and waterways.
4. I have a B.A. in geology and an M.S. in geology with formal training in geologic prospecting, formation evaluation, geophysics, hydrogeology, geochemistry, surface and groundwater hydrology, environmental permitting, water quality regulations, and stream and wetland jurisdictional determinations.
5. In my capacity as a geologist and hydrologist I studied this proposed underground mining project and its relationship and impact to Richland Creek as well as the Company's ability to underground mine with the current rock formations and I reviewed the site for any historical structures.

Integrity of the Adjacent Area

6. I have concluded that Richland Creek will not be adversely affected by the planned transition from surface mining to underground mining. Extensive coring data and quarry pit observations have been evaluated to ensure sufficient rock thickness and integrity exists between the underground operations and the elevation of Richland Creek.
7. In addition to the excellent exposures of the subsurface formations provided by the Rogers Group Reostone quarry's highwalls, extensive coring has been conducted to characterize the lithology and structure of the formations that overlie the mine as well as those that will be subject to mining. The formations of interest are

IN WITNESS WHEREOF, the undersigned has executed this instrument this 15th day of December, 2018.

BDY ENVIRONMENTAL



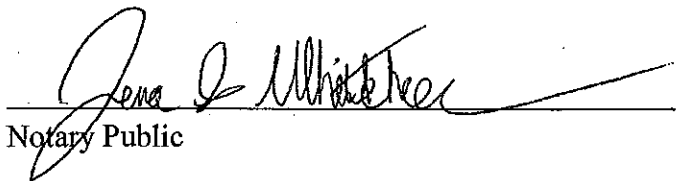
David Jackson, PG, PH
Chief Manager, Principal

STATE OF TENNESSEE)

COUNTY OF DAVIDSON)

Before me, the undersigned, a Notary Public in and for the County and State aforesaid, personally appeared David Jackson, with whom I am personally acquainted (or proved to me on the basis of satisfactory evidence), and who upon oath acknowledged himself to be the Chief Manager, Principal of BDY Environmental, and that as such, being authorized so to do, executed the foregoing instrument for the purposes therein contained.

Witness my hand and seal, at office in Brentwood, this the 15th day of December, 2018.


Notary Public

My Commission Expires: Jan 30, 2022



BDY NATURAL SCIENCES CONSULTANTS

December 13, 2018

via electronic mail

Mr. Dan Rose
Rogers Group, Inc.
421 Great Circle Road
Nashville, Tennessee 37228

Re: Report of Findings
Evaluation of Shallow Geology, Groundwater Hydrology and Effects to Water Quality
Richland Creek, Proposed REOSTONE Quarry Modifications
Nashville, Davidson County, Tennessee

Dear Mr. Rose:

At your request, we have evaluated the shallow geology and groundwater hydrology in the immediate vicinity of Richland Creek adjacent to the REOSTONE quarry in West Nashville. The purpose of our evaluation was to determine the potential for the proposed transition from open-pit to underground mining to adversely affect water quality in reaches of Richland Creek. To undertake our evaluation, we reviewed published technical literature and databases, proprietary geologic data and design plans provided to us by Rogers Group, and our observations during field visits to the site.

SCOPE OF EVALUATION

We were engaged by Rogers Group, Inc., through their outside counsel, Waller, Lansden, Dortch & Davis, LLP, to evaluate potential adverse effects to water quality in Richland Creek that likely would result from REOSTONE's proposed transition from open-pit to underground mining, particularly with regard for the proposed opening of two mine access portals under Richland Creek. To conduct our evaluation, we: (1) obtained and reviewed publically-available databases, maps, publications, and aerial photographs; (2) researched published scientific literature pertaining to the geological context of the REOSTONE locality; (3) conversed with Rogers Group personnel regarding historic site observations of surface water and groundwater hydrology; and (4) conducted site visits to observe the REOSTONE quarry high-walls and proposed portal locations. Pertinent information from these inquiries and sources is cited throughout this document and presented in the accompanying figure.

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DATA SOURCES AND OBSERVATIONS

To inform our opinions, we reviewed various sources bearing on the general site geology, formation lithology, occurrence of groundwater, and elevation data.^{1,2,3,4,5,6,7} Additionally, we reviewed proprietary geologic reports provided by Rogers Group, including core descriptions from nearby boreholes, geologic cross sections, and schematic mine plan drawings.

Additionally, on June 13, 2018 we visited the quarry pit and observed the lithology, structural characteristics, and hydrogeology of the exposed geologic section, as well as portions of Richland Creek. On August 14, 2018 we again visited the quarry pit and observed the stratigraphic section exposed near the proposed locations of the portals. During our visits we discussed with REOSTONE personnel stormflow, groundwater, and plant-related water removals from, and discharges to, the quarry pit.

FINDINGS

Background

Limestone production and processing for use as construction aggregate products has proceeded at multiple open-pit quarry locations for many decades near the confluence of Richland Creek and the Cumberland River (Cheatham Reservoir). Rock has been quarried and processed at the location of Rogers Group's REOSTONE facility adjacent to Richland Creek for over 50 years. The REOSTONE quarry pit now extends to a depth over 200 feet below ground surface (bgs). Rogers is proposing to conclude its open-pit operations at REOSTONE and extend its

¹ Wilson, Jr., C.W., "Geologic Map of the Scottsboro Quadrangle, Tennessee", Tennessee Department of Conservation, Division of Geology, 1979.

² Wilson, Jr., C.W. "Pre-Chattanooga Stratigraphy in Central Tennessee", Bulletin 56, Department of Conservation, Division of Geology, Second Edition, 1990.

³ Rima, D.R. and Goddard, P.L., "Ground-water Resources in the Metropolitan Region of Nashville, Tennessee", U.S. Geological Survey, 1979.

⁴ Newcome, Jr., R., "Groundwater in the Central Basin of Tennessee: A Progress Report", Report of Investigations No. 4, Tennessee Department of Conservation, Division of Geology, 1958.

⁶ Brahana, J.V. and Bradley, M.W., "Preliminary Delineation and Description of the Regional Aquifers of Tennessee- The Central Basin Aquifer System", Water-Resources Investigations Report 82-4002, U.S. Geological Survey, 1986.

⁷ Wilson, Jr., C.W., "Geologic Map of the Nashville West Quadrangle, Tennessee"; Tennessee Department of Conservation, Division of Geology, 1966.

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recovery of rock reserves to an underground mining area that will be located on property adjacent to the current quarry. Portions of the proposed underground mining area adjoin Richland Creek as well as the Cumberland River.

The proposed underground mine will be accessed from within the existing quarry pit via two subsurface portals to be opened on the western quarry high-wall and that will extend under Richland Creek (**Figure 1**). Richland Creek is a multi-order tributary to the Cumberland River and drains nearly 18,000 acres of Davidson County. The Richland Creek watershed is predominantly urbanized, with land-uses that have resulted in impairment of the stream's support of its designated uses.⁸ Causes and the attributed sources of impairment are listed by the Tennessee Department of Environment & Conservation (TDEC) as (1) phosphorous from sanitary sewer overflows (collection system failures); (2) nitrate/nitrite from Municipal Separate Storm Sewer Systems (MS4); (3) sedimentation/siltation from MS4; (4) "other anthropogenic substrate alterations" from municipal sources ("Urbanized High Density Area"); and (5) *Escherichia coli* from sanitary sewer overflows (collection system failures).⁹

The Cumberland River is impounded by Cheatham Dam downstream of the project site, forming Cheatham Reservoir, the waters of which are located less than 2,000 feet from the REOSTONE quarry pit. Water quality in this reach of the Cumberland River fully supports the river's designated uses.¹⁰

Regional Hydrology

The Cumberland River and Richland Creek are regionally and locally-significant hydrologic features located adjacent to the proposed project site. Richland Creek at its mouth drains nearly 28 square miles; the watershed of the Cumberland River at the mouth of Richland Creek extends over 12,960 square miles.¹¹ Accordingly, the channels of these streams are fed by base flow from extensive groundwater recharge areas. Situated in a regionally-prominent groundwater discharge area, Richland Creek's base flow near its mouth is sustained from ample groundwater availability, even under low-flow conditions: the U.S. Geological Survey (USGS)

⁸ Richland Creek's designated uses are Fish & Aquatic Life, Recreation, Livestock Watering & Wildlife, and Irrigation, TDEC Rule 0400-40-04-.12.

⁹ TDEC Division of Water Resources, <http://tdeconline.tn.gov/dwr/>; accessed August 18, 2018.

¹⁰ The Cumberland River at the project location has been designated for the uses of Domestic Water Supply, Industrial Water Supply, Fish & Aquatic Life, Recreation, Livestock Watering & Wildlife, Irrigation, and Navigation, TDEC Rule 0400-40-04-.12.

¹¹ USGS StreamStats, <https://streamstats.usgs.gov/ss/> accessed August 17, 2018

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estimates the 7-day 10-year low flow (7Q10) for Richland Creek to be 0.227 cubic feet per second (cfs) (~100 gallons per minute [gpm]).¹²

Downstream impoundment of the Cumberland River to create Cheatham Reservoir is a major hydrostatic control on the hydrologic functions of base flow discharge, bank storage, and potentiometric variation in the shallow aquifer adjacent to the river and the lowermost reaches of Richland Creek. The normal pool elevation of Cheatham Reservoir, at 385 feet above mean sea level (amsl), inundates the mouth of Richland Creek and artificially raises water levels in the creek's lowermost reaches. This control dampens extremes in base flow discharge to the creek in these lower reaches and provides a margin of safety to the water-quality effects of low-flow conditions.

Geology and Groundwater Hydrology

The REOSTONE quarry and adjacent proposed underground mining area are located within the Central Basin Physiographic Province and are underlain by Ordovician-age carbonate rocks. In the Central Basin, groundwater occurrence in these rocks is preponderantly restricted to bedding planes, joints (i.e., vertical or semi-vertical fractures), and faults; in certain formations, these features may have been enlarged into cavities or voids by naturally mildly-acidic water percolating vertically and laterally from the surface.¹³ The openings of these cavities and voids range in size from millimeters to feet, with most water-bearing zones being too small or too poorly connected to provide meaningful storage or hydraulic conductivity to support water production from wells or springs. Because fracture and bedding plane porosity and size decrease with depth as a function of higher overburden pressure and restricted groundwater circulation, the predominance of water-bearing openings in the Central Basin are limited to less than 100 feet in depth.¹⁴

At the REOSTONE location, the Bigby-Cannon formation is mapped as the uppermost geologic formation.¹⁵ The Bigby-Cannon extends under Richland Creek and onto the proposed mining area under a veneer of alluvium. The Bigby facies in the site vicinity is described as medium-to-thick-bedded, coarse-grained, and bioclastic.

Immediately underlying the Bigby-Cannon is the Hermitage Formation. At locations adjacent to (and possibly including) the REOSTONE quarry, the uppermost Hermitage comprises a thin (less than 10 feet thick) member, designated as the *Dalmanella* coquina facies, immediately

¹² *Ibid.*

¹³ *Supra*, Newcome, Jr., R. (1958) p. 7.

¹⁴ *Ibid.*

¹⁵ *Supra*. Wilson, 1979.

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underlying the Bigby-Cannon contact.^{16,17} Core descriptions from borings adjacent to the REOSTONE quarry pit indicate that the *Dalmanella coquina* is coarsely-crystalline, bioclastic limestone comprising mechanically-fragmented fossil brachiopods and crinoids.

Generally, lithology composed of reduced silt and clay fractions and an enhanced percentage of carbonate fragments, such as the Bigby-Cannon and *Dalmanella coquina* compositions at the site -- particularly when the latter comprise sand-sized particles and/or fossil fragments -- are more commonly correlated with karst terranes, in contrast to argillaceous rocks that comprise more siliceous silts and clays that are less prone to solution weathering.¹⁸ Accordingly, the characteristics of the Bigby and *Dalmanella* lithology impart a general susceptibility to karst weathering, which is associated with moderate-to-rapid hydraulic conductivity, and would be expected to provide the predominance of aquifer discharge as base flow to Richland Creek.

However, although karst development in the coarse-grained Bigby interval and the immediately underlying *Dalmanella* facies of the Hermitage may be present locally as a function of these formations' lithology, no large cavities or conduits were noted in core descriptions. During our site visits, "cutters" and slots were observed in the Bigby, but were limited to only the uppermost quarry high-walls (and among displaced overburden rubble along the quarry rim and upper bench). Along the western quarry high-wall, we saw little evidence of perched or groundwater movement through the Bigby or upper Hermitage intervals. At the REOSTONE quarry and proposed adjacent mining area, these horizons are limited generally to the upper 60-to-80 feet of the stratigraphic sections and are above the elevation of the proposed location of the underground mining area access portals.

Deeper strata in the Hermitage formation, immediately underlying the *Dalmanella coquina* are comprised by the Laminated argillaceous limestone facies, which coring data at the site show to extend down another 100 feet or so beyond the bottom of the coquina. The Laminated argillaceous facies of the Hermitage is described from core obtained on the site as alternating bands of fine-to-medium fossiliferous limestone and finely-crystalline argillaceous limestone, some of the latter grading into shale.

Generally, the Hermitage is considered to have low hydraulic conductivity and makes a poor source of groundwater; all or most of its thickness in many locations comprises silty, shaly, clay-rich beds that "restrict vertical flow" and constitute a hydrologic confining unit.¹⁹ Consequently, groundwater occurrence in the Hermitage, though not uncommon, is insufficient

¹⁶ *Supra*, Wilson, 1979.

¹⁷ *Supra*, Wilson, 1990, p.95 -97

¹⁸ *Supra*, Newcome, Jr., R., 1958, p. 7.

¹⁹ *Supra*, Brahana and Bradley, 1986, p. 21.

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for the formation to be considered a significant source of groundwater supply in the Nashville Metropolitan area.²⁰

The limited groundwater transmissivity in the Laminated argillaceous member was observed in the REOSTONE quarry's western high-wall to occur along vertically-oriented joint and fracture surfaces, or along bedding planes as horizontal "sheetlike openings" which commonly may be less than ½-inch in vertical dimension.²¹ This mode of groundwater occurrence was noted in the western quarry high-wall at consistent elevations along a defined interval in the middle to lower Hermitage. Within this interval, discharging groundwater was observed to be dripping (but not streaming) from discrete bedding planes. The seasonal persistence of these bedding-plane seep locations was indicated by algal as well as macrophytic plant growth. However, the volume of groundwater seepage at this western high-wall location was not sufficient to create a continuous surface conveyance to the bottom of the quarry pit.

Occurring immediately below the Hermitage formation is the Carters formation. The Carters comprises two members, upper and lower, that are separated by the T-3 bentonite bed, a thin, but regionally persistent stratigraphic marker comprising volcanic ash. Both members of the Carters comprise micritic-to-finely-crystalline limestone. The upper member is generally described as thin-bedded with thin shale partings, ranging in thickness up to 10 feet.²² Below the T-3 bentonite, the lower member of the Carters, ranging up to approximately 70 feet in thickness, comprises medium-to-thick-bedded cryptocrystalline-to-very-fine-grained limestone that may contain more coarsely-crystalline beds.²³ Development of porosity and the presence of groundwater in the Carters formation exposed at the quarry site is highly restricted.

Proposed Portals

The proposed portals accessing the prospective underground mining area on the west side of Richland Creek are planned to be 40-feet wide and 25-feet high and will be situated side-by-side, about 125-feet apart. The portals will be advanced westerly into the existing western high-wall into the proposed mining area along the T-3 bentonite horizon at an estimated elevation between approximately 240 feet amsl and 250 feet amsl; the exact elevation will be determined pending bedding-plane and rock-face attributes encountered as initial penetration of the western high wall proceeds. Bathymetric survey data indicate that the elevation of the Richland Creek substrate is approximately 370 to 375 feet amsl at the proposed alignment of the portals. Consequently, a vertical geologic buffer thickness of approximately 120 to 135 feet will remain between the Richland Creek substrate and the top of the proposed portals. The portals will be advanced below the Bigby-Cannon and Hermitage formations, as well as below the dense,

²⁰ *Supra*, Rima and Goddard, 1979, p.16.

²¹ *Ibid.*, pp.11 and 13.

²² *Supra*, Wilson, Jr., 1966.

²³

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crystalline limestone upper member of the Carters. Our observations of the proposed portal entrance locations into the existing western high-wall indicate that these locations have been selected to avoid the more transmissive bedding-plane seeps observed elsewhere along the high-wall and will take advantage of the structural integrity provided by the Carter's crystalline lithology.

Although incidental leakage into the portals may occur, current conditions observed in the quarry indicate that the volume of leakage will be *de minimis*, if any, will not deprive the creek of sustaining flows, and will not result in measurable degradation of water quality conditions in Richland Creek.

Proposed Underground Mining Area

Removal of rock in the proposed underground mining area will be conducted by the room-and-pillar method on successive vertical levels connected by access and haul ramps. Mining will be limited to horizons below the Bigby-Cannon and Hermitage formations. Mining will take place initially within Carters formation, which in site cores exhibits low porosity and the absence of vugs, conduits, cavities, or other karst features. As mining proceeds, reserves from successively deeper horizons will be extracted, corresponding to those currently exposed in the adjoining quarry pit, and deeper. Consequently, underground mining will be deeper than horizons containing significantly efficient hydraulic connections to the Cumberland River or Richland Creek.

Conclusions

Based on our review, we conclude that the REOSTONE's proposed transition from open-pit to underground mining, including the construction of portals under Richland Creek, will not measurably diminish flow or water-quality conditions in Richland Creek. Supporting this conclusion are:

- (1) the existence of a large, regionally-significant groundwater recharge area that supplies base flow to Richland Creek and the nearby Cumberland River near the REOSTONE site;
- (2) ample availability of groundwater in the project area that discharges from the recharge area to Richland Creek and the Cumberland River, and which will not be diminished by the proposed transition;
- (3) hydrostatic support provided by the regulated pool elevations of Cheatham Reservoir to surface water in Richland Creek's lowermost reaches and the nearby potentiometric surface, and;

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- (4) historic quarrying operations at the REOSTONE site, and at other sites in the vicinity, that have proceeded for decades within and below geologic materials connected to Richland Creek without adverse effects to the nearby hydrologic system.

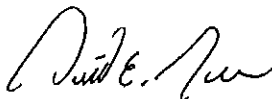
SUMMARY

A review of site geology and groundwater hydrology indicates that the lower reaches of Richland Creek adjacent to the REOSTONE quarry pit, and those of the Cumberland River that are near the pit and adjacent to a proposed underground mining area, receive base flow from large groundwater recharges areas. Surface elevations and base flow at the mouth and lowermost reaches of Richland Creek are controlled primarily by the variations in pool elevation in Cheatham Reservoir. Multiple historic and current quarrying operations near the mouth of Richland Creek have not resulted in interdiction of groundwater flow to Richland Creek or to the Cumberland River at volumes sufficient to cause adverse water quality effects.

Proposed underground mining and construction of sub-surface portals under Richland Creek from REOSTONE's current pit to the prospective underground mining area will be conducted in geologic formations and at depths that will avoid horizons with efficient aquifer connections to Richland Creek and the Cumberland River. Consequently, the proposed transition from open-pit to underground mining at REOSTONE will not result in measurable degradation to water quality in Richland Creek.

We appreciate your request for this evaluation. We will be pleased to review and discuss our findings further at your convenience. Please let us know if you require further information.

Very truly yours,
BDY Environmental LLC



David E. Jackson, PG, PH (AIH# 10-HGW-2006)
Principal Geologist





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December 17, 2018

HAND DELIVERED

Board of Zoning Appeals
Metro Office Building, 3rd Floor
800 Second Avenue South
Nashville, TN 37210

Re: Special Exception Application for the Rogers Group - Mineral Extraction
Case No. 2018-715

Dear Members of the Board:

As outside land-use counsel to the Rogers Group, our firm is providing this supplemental filing for consideration in Case No. 2018-715, a special exception request to allow underground mineral extraction filed pursuant to Section 17.40.280 of the Metropolitan Code.

According to the standards in the Zoning Code, our client must satisfy the provisions in Section 17.16.150 (general standards applicable to all special exceptions)¹ and Section 17.16.230 (B) (specific standards applicable to mineral extraction) in order for you, the Board, to approve the special exception.

The packet of information attached hereto indicates, via expert affidavits and expert reports, that the standards have been satisfied. As a brief summary of this information we have outlined the exhibits that are provided and what they will establish below:

- **Exhibit 1- Letter prepared by Waller Lansden**, local counsel for the Rogers Group, summarizing the standards for the special exception and how they have been specifically satisfied.
- **Exhibit 2- Affidavit by Bryan Ledford**, Rogers Group Area Vice President for Middle Tennessee establishing ordinance compliance. This is the first "general" requirement for mineral extraction found in Metropolitan Code Section 17.16.150 (B). Bryan oversees the quarries in Middle Tennessee, some of which are already in Davidson County, and he certifies that they will comply with all applicable ordinances, rules and regulations.

¹ There are 7 general special exception standards. The standards include ordinance compliance, integrity of the adjacent areas, design and architectural compatibility, natural features which is inapplicable to this matter since it is in a residential zone, historic preservation, traffic impact and hazard protection. An excerpt of this code provision is included behind this letter for your reference.



Board of Zoning Appeal

December 17, 2018

Page 3

- **Exhibit 7- Geological Study** performed by Appalachian Mining and Engineering Inc. This study indicates that the rock formations can safely accommodate an underground mine and the associated portals required to access the site.
- **Exhibit 8- Land use letter** provided by Waller Lansden addressing design and land use compatibility with the adjacent areas.
- **Exhibit 9- PowerPoint** presentation prepared by Rogers Group describing the underground mining plans for this property and addressing the reduction in blasting, noise and vibration that will occur.
- **Exhibit 10- Letter of support** from the Councilperson, Mary Carolyn Roberts.
- **Exhibit 11- Summary of the outreach efforts** in the community provided by the Calvert Street Group.
 - Letter of Support from the James Robertson Neighborhood Association
 - Petitions of Support from surrounding properties

In addition to the “general standards,” there are also specific standards that apply to mineral extraction. These standards are found in Section 17.16.230 (B), and we have included an excerpt of these standards for your reference. The following exhibits establish compliance with these standards.

- **Exhibit 12- Affidavit by Kevin Gangaware**, a professional engineer for Civil Site Design Group. He clearly indicates that the site satisfies subparts 1, 3, 4, 5 and 7 of the special exception “specific” standards. Mr. Gangaware establishes that the site exceeds the minimum acreage requirement of 100 acres, that it is in an IR district and not in an agricultural or residential district, therefore subparts (3) and (4) are inapplicable. Mr. Gangaware also indicates in his affidavit that the site plan includes the necessary 250 foot setback and landscape buffer yard as required in subparts (5) and (7). Behind Mr. Gangaware’s affidavit we have included a detailed site plan for the project which clearly establishes the acreage, the setbacks applicable to the underground mineral extraction activities, and also provides an aboveground site plan with an additional 250 foot aboveground roadway setback to shield the property from view.

17.16.150 - General provisions.

- A. **Burden of Proof.** A special exception permit shall not be considered an entitlement, and shall be granted by the board of zoning appeals only after the applicant has demonstrated to the satisfaction of the board that all of the required standards are met.
- B. **Ordinance Compliance.** The proposed use shall comply with all applicable regulations, including any specific standards for the proposed use set forth in this title, unless circumstances qualify the special exception for a variance in accordance with Chapter 17.40, Article VIII. Any accessory use to a special exception must receive express authorization from the board of zoning appeals.
- C. **Integrity of Adjacent Areas.** A special exception use permit shall be granted provided that the board finds that the use is so designed, located and proposed to be operated that the public health, safety and welfare will be protected. The board shall determine from its review that adequate public facilities are available to accommodate the proposed use, and that approval of the permit will not adversely affect other property in the area to the extent that it will impair the reasonable long-term use of those properties. The board may request a report from the metropolitan planning commission regarding long-range plans for land use development.
- D. **Design and Architectural Compatibility.** The operational and physical characteristics of the special exception shall not adversely impact abutting properties, including those located across street frontages. Site design and architectural features which contribute to compatibility include, but are not limited to, landscaping, drainage, access and circulation, building style and height, bulk, scale, setbacks, open areas, roof slopes, building orientation, overhangs, porches, ornamental features, exterior materials and colors.
- E. **Natural Features.** Special exception uses in residential zone districts must comply with the nonresidential tree protection regulations and other natural site features shall be preserved to the greatest extent possible so as to minimize the intrusion of nonresidential structures and parking areas.
- F. **Historic Preservation.** Features of historical significance shall not be adversely affected by the granting of any special exception. The metropolitan historic zoning commission shall be consulted regarding those features essential to preserve the historical integrity of a building or site of historical significance.

17.16.230 - Other special exception uses.

(Refer to zoning district land use table)

A. Commercial Community Garden.

1. Landscape Buffer Yard. The board of zoning appeals shall have the authority to require landscape buffering for properties abutting a residentially zoned property;
2. Lighting. All lighting shall be shielded so that substantially all directly emitted light falls within the property. No illumination in excess of one-half foot candle shall be permitted across the boundary of any residential property or a public street or alley; and
3. On-Site Storage and Use of Compost and Organic Matter. All compost and/or organic matter on the site:
 - a. Shall not cover more than ten percent (10%) of the total area of the property;
 - b. Compost piles abutting adjacent properties must not be visible from adjacent property (shielded from view by shrubbery or an enclosure).
 - c. Shall be managed to prevent the harborage of rodents and pests.
 - d. Shall be maintained to prevent odors.
 - e. Shall be located to prevent leachate (the water that has come in contact with the compost) from flowing onto adjacent property or into natural or human-made storm channels.
4. Drainage. The site shall be designed and maintained to prevent water from irrigation and/or other activities and/or fertilizer from draining onto adjacent property.
5. Refuse Storage and Disposal. Trash areas shall be provided and screened on at least three (3) sides from public view by an opaque impact-resistant fence of sufficient height to screen the dumpster(s).
6. Parking. Where the minimum parking space standard requires additional parking area to be constructed, such area shall comply with the perimeter parking lot landscaping according to Chapter 17.24 of this Code. In urban

AG, AR2a	500 feet	1000 feet
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6. Residential Encroachment. The issuance of a building permit for construction or use of any residential structure, after the zoning administrator has ruled that the proposed perimeter of operation complies with the above minimum setbacks from a residential structure, and where placement or conversion of the structure for residential purpose will be within the minimum setback of five hundred feet or one thousand feet, such construction or use shall not make the mineral extraction activity nonconforming.
7. Landscape Buffer Yard. The required setback area established in subdivision (5) of this subsection shall be an undisturbed open area, unobstructed from the ground to the sky, where natural vegetation is preserved and enhanced with other natural and artificial screening materials to buffer the use of the property. This area may be used for agricultural purposes.
 - a. Where the site abuts a residential zone district or district permitting residential use, screening in the form of landscape buffer yard Standard D shall be applied continuously within the setback area where the best opportunity exists to screen the operation, placed either on the property boundary, along the perimeter of operation, or both. This screening shall consist of six feet in height densely planted shrubs and/or trees which are of an evergreen type that provide year-round screening, or an opaque wall or barrier of six feet in height. An earthen berm may supplement this screening. All screening shall be maintained in good condition at all times. Areas of hazardous equipment and quarry pits shall be completely enclosed by fencing.
 - b. To the greatest extent possible in the AG and AR2a zone districts, the perimeter of operation shall be screened from the view of motorists and abutting property owners by earthen berms, walls,

- a. Prior to commencement of operations, the proposed blasting schedule shall be conveyed to every resident living within one-half mile of the proposed blasting site by certified mail and such proof of notification shall be made available for public inspection. Any subsequent change in blasting schedule shall be preceded by a similar notification to the residents and to the zoning administrator;
- b. A record of blasting shall be maintained for three years and made available for public inspection. The log shall detail the location of blasts, seismograph readings for each blast, pattern and depth of the drill holes, the amount of explosives used per hole, and the order and length of delay in the blasts;
- c. The minimum standards for ground vibration and; airblast overpressure set forth below shall not be exceeded at any time.
 - i. Ground vibration: .50 inches per second peak particle velocity for frequencies below forty Hertz and 2.0 inches per second peak particle velocity for frequencies greater than 40 hz; the charge weight delay shall be adjusted accordingly to insure compliance with this standard.
 - ii. Airblast overpressure: 129 peak dBL (linear)-0.1 hz high-pass system; 128 peak dBL (linear)-2.0 hz high-pass system; 124 peak dBL (linear)-5 or 6 hz high-pass system.
- d. All blasts shall be monitored by an independent geotechnical expert in the field of seismology using best available current technology in measurement instrumentation. Such devices shall be placed one each at all four points of the compass surrounding the excavation area. Such monitoring devices shall produce a hard copy record in graph form or equivalent suitable for filing with the department of codes administration as a permanent record. Blasting shall only occur between seven a.m. and seven p.m. Monday through Saturday and may be further restricted to minimize disturbance to surrounding properties.

11.

5. The following types of ponds/lakes shall be exempt from the provisions of this section:

- a. Landscape or ornamental ponds less than one thousand square feet in area and less than three feet in depth;
- b. Ponds/lakes used for irrigation or water treatment of a golf course;
- c. Farm ponds constructed on a working farm;
- d. Detention and/or water quality ponds required by the stormwater division of the department of water and sewerage services;
- e. Wildlife ponds and wetlands required by or constructed with the assistance of the Tennessee Department of Environment and Conservation; and
- f. Ponds/lakes on property owned by the metropolitan government.

(Ord. BL2009-479 § 3, 2009; Amdt. 1 with Ord. BL2004-220 § 1 (part), 2004; Amdt. 1 with Ord. 98-1268 § 1 (part), 1998; § 1 (10) of Amdt. 1 with Ord. 96-555 § 4.3(l), 1997)

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December 17, 2018

HAND DELIVERED

Board of Zoning Appeals
Metro Office Building, 3rd Floor
800 Second Avenue South
Nashville, TN 37210

Re: Special Exception Application for the Rogers Group - Mineral Extraction
Case No. 2018-715

Dear Members of the Board:

As outside land-use counsel to the Rogers Group, a family-owned local quarrying company that has been in business for over 110 years and has operated several quarries in Davidson County and already has other successful underground operations in Davidson County, our firm is providing this letter which summarizes our client's compliance with the provisions in Section 17.16.150, the general standards for special exceptions and Section 17.16.230 (B), the specific standards for mineral extraction. Our client's request for this special exception can and should be specifically limited to the underground mineral extraction activities. All activities aboveground will be limited to those uses already allowed under the zoning code for IR zoning.

There are seven general standards in the Zoning Code "code" for special exceptions. Our client's expert reports, affidavits, and exhibits meet the standards outlined below, and we have provided a summary of how those standards have been satisfied for your reference.

- **Ordinance Compliance.** The use of mineral extraction must comply with all of the applicable regulations in the code. To address this condition, our client submitted an affidavit from the Area Vice President for Middle Tennessee affirming that the use can and will comply with all provisions in the code. See **Exhibit 2**.
- **Integrity of Adjacent Areas.** The special exception use shall be designed, located and proposed so that the use can be operated in a way that protects the public health, safety and welfare. Underground quarrying, which is what this special exception request is limited to, is much less impactful than an open-pit quarry. Furthermore, the use is being proposed in an industrial area that is removed from residential



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properties. By placing the use underground the primary impacts from a quarry, which are noise, dust and vibration, are drastically reduced and mitigated. In support of this position we have supplied expert affidavits from David Jackson, a geologist and hydrologist, who attests to the fact that the underground mine can be operated safely and will not adversely impact the flow or water-quality of Richland Creek. See **Exhibit 4**. We also included an affidavit from Bryan Ledford detailing the measures that Rogers Group will follow to limit the dust on the site, to regulate the blasting that occurs, and to manage the stormwater. See **Exhibit 3**. Likewise, we have included a blasting report for your consideration and a geologist's report, both of which explain that this use can occur safely on site. Finally, we spoke to the Planning Department and we reviewed their long-range plans for this site and the surrounding area. Consistent with those plans we have included a land-use letter that addresses the "industrial" nature of this site and the surrounding area. See **Exhibit 8**.

- **Design and Architectural Compatibility.** The operational and physical characteristics of the use shall not adversely impact adjacent properties. Pursuant to the site plan included herein, mining operations will occur below ground and not on the surface, so the mining use will not be visible to the neighbors and the impacts, by placing the mining underground, will be significantly mitigated. These facts are documented in the second detailed affidavit provided by Bryan Ledford, Area Vice President for the Rogers Group, and in the site plan and affidavit provided by Kevin Gangaware, a professional engineer for Civil Site Design. See **Exhibit 12** for the site plan. Additionally, the site plan and PowerPoint presentation provided by Rogers Group indicate that the frontage on the road will also be improved by providing a 250 foot bermed buffer with landscaping and by removing the current prison facilities which are not visually attractive.
- **Natural Features.** This provision applies to uses in residential districts. Since the project falls in an IR district this provision is inapplicable.
- **Historic Preservation.** Features of historical significance shall not be adversely affected. David Jackson, a geologist and hydrologist, who works with the National Historic Preservation Act on a regular basis, and who is well versed in performing impact analyses for federal permitting requirements indicates in his affidavit, **Exhibit 4**, that the databases do not establish any structure or feature of historical significance on this site so there will be no adverse impact on historic structures or historic sites.
- **Traffic Impact.** The applicant must demonstrate that the use will not adversely affect the safety and convenience of vehicular circulation. Beth Ostrowski, a professional traffic engineer for KCI, clearly stated this in her affidavit and it is supported by the Traffic Study that KCI performed. See **Exhibit 5**. The property in



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question sits $\frac{3}{4}$ of a mile from Briley Parkway in an industrial area, adjacent to an arterial boulevard, and it is supported by industrial roads that have the capacity to accommodate this truck traffic. Access to the road, from the proposed property, has the appropriate site distances and the roadways do not have sidewalks or any plans to accommodate pedestrian circulation., so there will be no risk to pedestrians.

- **Hazard Protection.** The code indicates that the use shall reasonably protect persons and property from erosion, flooding, fire, noise, glare and similar hazards. Bryan Ledford's second affidavit, which is **Exhibit 3** in the packet, addresses how Rogers Group will protect the surrounding properties from these hazards particularly fire, noise and erosion. The affidavit indicates the detailed fire training protocol that Rogers Group employs as well as the process and procedures they follow to limit noise associated with the quarry.

In addition to the "general standards," there are also specific standards that apply to mineral extraction. These standards are found in Section 17.16.230 (B) and we have briefly outlined them below along with a summary of how each of these standards has been satisfied.

- **Lot size of 100 acres.** The site plan and affidavit by Kevin Gangaware indicate the lot is 115 acres. See **Exhibit 12**.
- **Street Standard of LOS D with access to a roadway designated at a minimum as a nonresidential collector.** All of the streets leading to Briley Parkway are designated as LOS D or greater, and the site flows directly onto an arterial boulevard satisfying these conditions as indicated in Beth Ostrowski's affidavit and associated traffic study.
- **Location. In the AG and AR2A districts the uses shall not be allowed in the USD.** Pursuant to Kevin Gangaware's affidavit, the site is zoned IR and therefore this provision is inapplicable. See **Exhibit 12**.
- **Separation. In the AG and AR2a districts there shall be at least a one mile radius to the next mineral extraction activity.** Pursuant to Kevin Gangaware's affidavit, the site is zoned IR and therefore this provision is inapplicable.
- **Setback of 250 feet from the perimeter of the operation.** Pursuant to Kevin Gangaware's affidavit and the prepared site plan, the special exception use is limited to underground quarrying and a 250 foot below ground setback for this use is provided, with the understanding that Rogers Group will consolidate its Reostone quarry with this parcel so the buffer will not apply to that portion of the property.



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- **Residential Encroachment.** This provision applies to future residential development that might occur, it requires no action item by the Rogers Group, and it is inapplicable at this time.
- **Landscape Buffer Yard.** The code requires the setback to be an undisturbed area. The underground buffer area will be undisturbed per the site plan and Rogers Group will also provide an aboveground landscaped buffer yard of 250 feet along the street to shield its activities from the road and to improve the visual appearance of the site.
- **Performance Standards.** The operation must minimize disturbances and adverse impacts on surrounding land by using best available technology and complying with the applicable federal, state, and local laws. Included in Bryan Ledford's second detailed affidavit, found in **Exhibit 3**, is a description of the methodology and approach Rogers Group will use to address the handling of explosive materials, the stormwater requirements, and compliance with the air pollution control standards, including a description of the new dust suppression technology that will be employed. Bryan Ledford's original affidavit on compliance also addresses the Company's commitment to complying with all components of the Metropolitan Code. (See paragraphs 7-13 and 22-25). Finally, the affidavit from Dan Goethel sets out the standards and approach that will be followed by the company relative to blasting and Compliance with the Blasting Standards Act.
- **Pre-Blast Survey.** The Codes department has determined this provision is preempted by the State's Blasting Standards Act and is inapplicable.
- **Blasting.** The operator of the mining activity shall comply with a set of standards concerning the allowable blast pressure, notification of blast schedules, and the maintenance of blasting records. Dan Goethel's affidavit, included as **Exhibit 13** assures the Board that all of these requirements will be followed if this special exception is approved.
- **Reclamation/Closure Plan.** The operator shall include plans for the final contours of the site and its reclamation. In this case the use is underground, not aboveground, and there are no environmental requirements concerning the reclamation of an underground quarry since the aboveground grade will not be impacted. Nevertheless, in the second more detailed affidavit provided by Bryan Ledford, **Exhibit 3** paragraph 14, the possibility for repurposing the site into a storage facility or another use is addressed and a brief closure plan is provided. There are many underground quarries in the country that have been repurposed into records storage areas, private or government business and administrative facilities and warehousing. On this site, in addition to the repurposing of the below ground mine, the surface uses that will be present, which are allowed under the IR zoning, will be

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removed, and topsoil or the equivalent will be spread over the graded site and vegetation will be re-established.

Pursuant to the information provided above, we believe the documentation that we have given to the Board carries the burden placed on the applicant, Rogers Group. Each of the above requirements has been satisfied with expert reports and expert affidavits, constituting material evidence in the record that is before this Board. As such we respectfully request the issuance of this special exception request for mineral extraction, limiting the use to strictly underground mining. We stand ready to answer any additional questions this Board has on the 20th before the BZA. Thank you for your consideration.

Sincerely,



Erica Garrison

EKG

**AFFIDAVIT OF BRYAN LEDFORD
ROGERS GROUP VICE PRESIDENT FOR NORTHERN MIDDLE TENNESSEE
CONCERNING ORDINANCE COMPLIANCE**

STATE OF TENNESSEE)
COUNTY OF DAVIDSON)

I, **Bryan Ledford**, having been duly sworn, do hereby affirm the following:

1. I am over the age of 18 years and competent to testify to the matters herein.
2. I am an employee of the Rogers Group and I currently serve as the Area Vice President for Northern Middle Tennessee. In this position I will oversee and manage this underground quarry operation on Cockrill Bend.
3. Rogers Group currently has other quarries in Davidson County that I manage and we operate other underground quarry operations in Davidson County.
4. Rogers Group has an entire team of professionals who regularly deal with permitting and ordinance compliance issues in Davidson County and elsewhere in Tennessee. That team consists of the following individuals:
 - i. Dan Goethel, VP Operations Support Services - Rogers Group employee since 2011. Prior 34 years of mining experience. Prior management positions with Lafarge and Martin Marietta Materials. University of Wisconsin, Bachelor of Science Degree in Mining Engineering.
 - ii. Tommy Thurman, Aggregate Production Manager - Rogers Group employee since March 2006. Prior 18 years with Vulcan Materials as Plant Foreman and Assistant Manager at a location in Huntsville, Alabama.
 - iii. Van Medlock, Director of Environmental Services - Rogers Group employee since 2000. Prior experience - 11 years as an environmental engineer in the Water Pollution Control Division of the State of Tennessee. Tennessee Technological University, Bachelor of Science in Civil Engineering.

- iv. Dan Rose, VP and General Counsel - Rogers Group employee since 2008. Prior experience Vice President – Law with aggregate producer, Oglebay Norton Company (2002 – 2008). Ohio State University, Juris Doctorate and Bachelor of Science in Mechanical Engineering.
- v. Marty Tubbs – Director of Safety - Rogers Group employee since April 2016. Prior 20 years in safety, health and human resources with Vulcan Materials. Bachelor's degree in occupational safety and health and a master's degree in industrial hygiene, both from Murray State University.

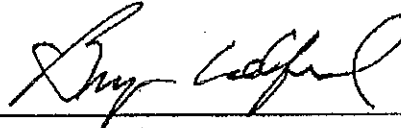
5. Given Rogers Group's presence in Davidson County, our team is knowledgeable of and complies with the applicable and relevant federal, state and local laws applicable to mineral extraction and our business in general and we plan to continue to comply with all local, state and federal ordinances applicable to our operations if this special exception is granted.

FURTHER AFFIANT SAITH NOT.

[Signature page follows.]

IN WITNESS WHEREOF, the undersigned has executed this instrument this 15TH day of December, 2018.

ROGERS GROUP



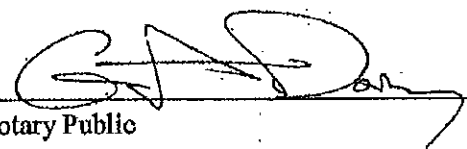
Bryan Ledford
Vice President for Northern Middle Tennessee

STATE OF TENNESSEE)

COUNTY OF DAVIDSON .)

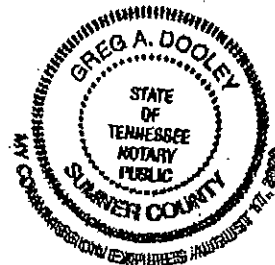
Before me, the undersigned, a Notary Public in and for the County and State aforesaid, personally appeared Bryan Ledford, with whom I am personally acquainted (or proved to me on the basis of satisfactory evidence), and who upon oath acknowledged himself to be the Vice President for Northern Middle Tennessee of Rogers Group, and that as such, being authorized so to do, executed the foregoing instrument for the purposes therein contained.

Witness my hand and seal, at office in Gallatin, TN, this the 15th day of December, 2018.



Notary Public

My Commission Expires: 8-17-2020



**AFFIDAVIT OF BRYAN LEDFORD
ROGERS GROUP VICE PRESIDENT FOR NORTHERN MIDDLE TENNESSEE
CONCERNING THE INTEGRITY OF ADJACENT AREAS, DESIGN AND
ARCHITECTURAL COMPATIBILITY AND HAZARD PROTECTION**

STATE OF TENNESSEE)
COUNTY OF DAVIDSON)

I, Bryan Ledford, having been duly sworn, do hereby affirm the following:

1. I am over the age of 18 years and competent to testify to the matters herein.
2. I am an employee of the Rogers Group and I currently serve as the Vice President, Strategic Market Area Manager, Northern Middle Tennessee. In this position I will oversee and manage Rogers' existing Reostone surface quarry operations and will manage the underground quarry operation proposed for Cockrill Bend Blvd.
3. Rogers Group currently has other quarries in Davidson County that I manage, including an underground quarry operation in Whites Creek in Davidson County.
4. Rogers Group has an entire team of professionals who regularly deal with permitting and ordinance compliance issues in Davidson County and elsewhere in Tennessee. That team consists of the following individuals:
 - a. Dan Goethel, VP Operations Support Services - Rogers Group employee since 2011. Prior 34 years of mining experience, Prior management positions with Lafarge and Martin Marietta Materials. University of Wisconsin, Bachelor of Science Degree in Mining Engineering.
 - b. Tommy Thurman, Aggregate Production Manager Rogers Group employee since March 2006. Prior 18 years with Vulcan Materials as Plant Foreman and Assistant Manager at a location in Huntsville, Alabama.
 - c. Van Medlock, Director of Environmental Services Rogers Group employee since 2000. Prior experience - 11 years as an environmental engineer in the Water Pollution Control Division of

the State of Tennessee, Tennessee Technological University, Bachelor of Science in Civil Engineering.

- d. Dan Rose, VP and General Counsel - Rogers Group employee since 2008. Prior experience Vice President – Law with aggregate producer, Oglebay Norton Company (2002 – 2008), Ohio State University - Juris Doctorate and Bachelor of Science in Mechanical Engineering.
- e. Marty Tubbs – Director of Safety - Rogers Group employee since April 2016. Prior 20 years in safety, health and human resources with Vulcan Materials. Bachelor's degree in occupational safety and health and a master's degree in industrial hygiene, both from Murray State University.

Integrity of Adjacent Areas (Noise)

5. Rogers Group adheres to all federal, state and local noise ordinances and regulations concerning noise and monitors noise levels on a periodic basis to ensure compliance. The current Reostone aggregate processing equipment operates below 65 dBA as measured from Annex Avenue on June 14, 2018. Current surface related processing operations will relocate to the proposed new location on industrially zoned property over 2,000ft. further away from the residential neighborhoods on Annex and Robertson Avenues. The existing processing equipment will be replaced with new, enclosed, state of the art equipment that will further reduce existing production noise levels.
6. Mining at the proposed underground location will be limited to blasting underground at a fraction of the magnitude of current open-pit blasts. The air over pressure effect typically encountered with surface blasting will be substantially reduced by 89% due to the confined space in which significantly smaller underground blasts will replace existing surface blasts. Further, the ground vibration component from smaller underground blasts will be also substantially reduced on average by 56.90%. Reostone currently conducts surface blasting at a pound per delay charge equal to 2,082 pounds. Rogers anticipates that underground blasting at the proposed Reostone site will be the same as that currently conducted

at Rogers White's Creek facility, which is 80 pounds – a 95.3 percent reduction. (See - *Technical Evaluation of Blasting Operation for Cockrill Bend Location Proposed Underground Mining Operation prepared and submitted by VCE*).

Integrity of Adjacent Areas (Air Quality & Dust) - Performance Standards: (a)
Federal New Source Performance Standards.

7. Rogers Group is subject to the oversight and jurisdiction of The Nashville Metro Public Health Department. Any permit issued in accordance with Section 10.56.040, Operating permit of Chapter 10.56, "Air Pollution Control" of the Metropolitan Code of Laws (MCL) will delineate air standards applicable to the proposed relocated operations. Rogers Group has restricted its emissions at the existing Reostone operation and is currently designated as a Synthetic Minor Source. Rogers intends to continue this designation at the new proposed location.
8. Rogers is subject to periodic regulatory source compliance inspections. Rogers' area personnel receive opacity training in addition to training on Rogers dust control equipment and permit requirements.
9. Rogers Group adheres to all federal, state and local regulations pertaining to dust emissions by employing wet suppression water spray systems at crushing, screening and aggregate material transfer points. Rogers also utilizes water trucks for managing other fugitive dust sources related to roads and parking areas. All systems require periodic maintenance or replacement and are subject to monthly inspections and evaluations for effectiveness with implementation of necessary corrective measures. All new surface processing elements installed on this property will be new, enclosed and employ state of the art dust suppression systems consistent with Rogers' compliance policy.
10. Underground mining generates less fugitive dust than open pit mining as dust is contained within a subsurface operating area. Pursuant to Rogers' proposal, current surface extraction operations will be transitioned underground, further from the existing open pit. As a result, the adjacent residential neighbors will see a significant net decrease in dust associated with blasting, loading and hauling.

11. A new paved industrial access road will also be constructed by Rogers Group and this road will connect to Cockrill Bend Boulevard, diverting all heavy truck traffic away from residential areas and allowing ingress/egress on an industrial corridor. A new state of the art wheel wash will be installed on Rogers' property for all trucks entering or exiting the property to remove dust before exiting onto Cockrill Bend Boulevard.

Integrity of Adjacent Areas (Process & Stormwater) -

Performance Standards: (b) National Pollutant Discharge Elimination System

12. The Tennessee Department of Environment & Conservation - Division of Water Pollution Control is responsible for administration of the Tennessee Water Quality Control Act of 1977 (T.C.A. 69-3-101). Rogers is currently and will continue to be subject to TDEQ permitting requirements and routine TDEQ inspections. Permitted discharge outfalls are required to be sampled two times per month. Quarterly reports are submitted to TDEQ. Rogers Group currently maintains permitted discharge points from the existing Reostone operation to Richland Creek pursuant to a National Pollutant Discharge Elimination System (NPDES) permit (TN0057657) with a five-year term that expires on October 31, 2021. Rogers will pursue any required modifications to the current permit to provide for the proposed relocated operations if approved.
13. Rogers utilizes ponds, check dams, and sediment traps to remove sediment from process and storm water runoff. All ponds and discharge water are monitored twice a month to maintain compliance with applicable permits and to determine when ponds require routine maintenance. TDEQ water quality standards require monitoring for pH and total suspended solids in order to protect and maintain the classified use of the receiving stream for fish and aquatic life. Rogers currently maintains a Storm Water Pollution Prevention Plan (SWPPP) implementing best management practices that will continue in order to ensure compliance with NPDES permit requirements.

Integrity of Adjacent Areas (Property Development).

14. The proposed quarry operations will all be underground so there will be no pit visible from Cockrill Bend Boulevard. When underground operations are discontinued, reclamation will be completed in compliance with federal, state and local requirements, and the underground site can be repurposed for a number of uses. Many quarries have been converted to warehousing, record storage and private or government business and administrative facilities - all of which would be appropriate uses consistent with the surrounding industrial character. (See attached data sheets for illustrative examples.). Surface structures will be removed, and concrete footers will be either buried or removed. Once structures are removed, topsoil or equivalent will be spread over the graded site and vegetation will be re-established.
15. The existing open-pit quarry has been in operation for over 50 years. The surrounding neighborhoods have experienced rapid growth over the last several decades and now include property adjacent to quarry operations. Quarries throughout Tennessee are successfully operated in industrial areas. The proposed relocation will align an industrial use with industrially zoned property, further away from existing residential property, substantially diminishing the industrial impact related to dust, noise, blasting and heavy truck traffic to the surrounding residential communities.

Design and Architectural Compatibility

16. The proposed mineral extraction operation will all be underground and will not be visually or operationally incompatible with the surrounding uses.
17. Existing surface operations include aggregate crushing, screening, conveying, stockpiling and truck loading and weighing. These activities will eventually be relocated to the proposed adjacent location, further away from residential areas to industrial property and will be conducted using new, enclosed, state of the art equipment. Relocated surface operations will be visibly buffered from Cockrill Bend Blvd by a 250-foot undisturbed buffer and a 20ft. high landscaped berm which will improve the aesthetics compared to the existing unbuffered abandoned Bass Correctional Facility prison structures.

18. With the development of an underground operation, Rogers Group will construct and pay for a new access road and bridge that will redirect to Cockrill Bend Road existing heavy industrial traffic generated by industrial operations on Robertson Road, including Rogers Group, Pine Bluff Sand & Gravel, IMI and Quikrete. Cockrill Bend Boulevard is currently designated as an Arterial Boulevard in the Nashville Major and Collector Street Plan servicing an industrial area far better suited for existing truck traffic than Robertson Road. On busy days, Rogers Group and other industrial operations at the end of Robertson Road can generate 500 trucks coming and going for a total of 1,000 truck trips daily. This traffic will be redirected from Robertson Road to Cockrill Bend, representing a significant benefit for the residential homeowners in the area.

Hazard Protection (Fire)

19. Fire hazards at quarries are usually associated with equipment failures. Rogers maintains an efficient and effective maintenance program as well as pre-shift inspection processes performed on all equipment at the beginning of each shift.
20. The Mine Safety and Health Administration also imposes regulations on quarries relative to safety, operations, blasting and explosives, and regularly inspects the underground quarries four times a year.

Hazard Protection (Erosion).

21. Rogers Group develops site-specific plans for erosion control at each of its locations. Depending on the level of anticipated runoff, appropriate sediment control structures are placed to ensure that storm water and process water discharges comply with permitted levels of total suspended solids. Best Management Practices typically consist of check dams, sediment traps, sediment basins, and silt fences to control runoff. Berms can also be constructed to direct smaller flows to concentrated points of discharge. Rogers Group also maintains Storm Water Pollution Prevention Plans and a Spill Prevention Control and Countermeasure (SPCC) plans for all mining facilities.

Performance Standards: (c) Quarrying & Mining Operations (Metropolitan code of Laws, chapter 10.52).

22. Rogers Group has been in the limestone quarrying business for 110 years and remains 100% owned by family members that are community leaders and live in the communities in which we operate. Rogers' core Vision and Values Statement includes pillars focused not only on Employees, Customers, and Operational Excellence, but also Communities. The success of Rogers Group is critically dependent upon serving our communities and understanding our impact as a responsible industrial neighbor.

Performance Standards: (d) Explosive materials Code (NFPA 495; Metropolitan Code of Laws, chapter 10.64) & (e) Tennessee Blasting Standards (Tennessee Code Annotated 68-105).

23. Rogers' employees receive detailed training in fire prevention inspection processes and all blasters who handle explosives must pass an exam administered by the Tennessee Fire Marshal and receive Tennessee State certification. Rogers' blasting employees must also register with the Bureau of Alcohol, Tobacco, Firearms and Explosives and undergo a criminal background check. All blasters must be an explosives handler for a minimum of one year before taking the TN State Blasting Certification test. (See attached *Tennessee Fire Marshall Explosives Users Test Study Guide*). During that year, each handler learns rules and procedures that govern safety, operation of blasting equipment, loading and priming a shot, placing delays, using boosters, handling misfires, performing inventory reconciliation, and all other responsibilities of a blaster. Rogers Group currently has three licensed Tennessee Blasters.
24. All of Rogers Groups' explosives are stored separately from detonators and both explosive and detonator storage is insulated with non-sparking material to protect against accidental ignition. On a daily basis, Rogers' blasters prepare a shot report and summary of magazine transactions. The shot report includes all information relevant to an individual shot, including: date, name of handler and people involved loading the shot, location of the detonation/shot, explosives used (starting inventory, quantities removed from and returned to inventory, ending inventory),

blaster's signature and ID number, time of shot detonation and any relevant notes. A daily summary of magazine transactions report includes the date, manufacturer of explosives, date code, beginning quantity, ending quantity, balance, and name of the report author. These reports are kept on site for inspection. At the end of each shift, all keys to the blasting rig, magazine, and bulk explosives materials are locked in a safe.

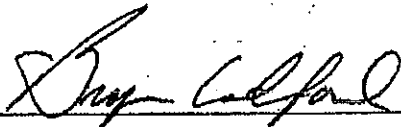
25. The effects of each blast are recorded by seismographs located on the perimeter of Rogers' property as required by applicable ordinances. Seismographs record ground movement and air over pressure of each blast. These records are filed with the fire marshal and are also maintained on site in accordance with applicable law.

FURTHER AFFIANT SAITH NOT.

[Signature page follows.]

IN WITNESS WHEREOF, the undersigned has executed this instrument this 15th day of December, 2018.

ROGERS GROUP



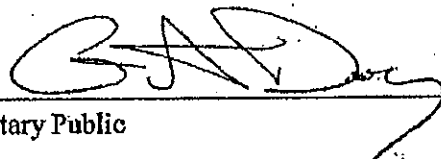
Bryan Ledford
Vice President for Northern Middle Tennessee

STATE OF TENNESSEE)

COUNTY OF DAVIDSON)

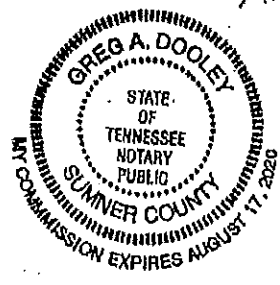
Before me, the undersigned, a Notary Public in and for the County and State aforesaid, personally appeared Bryan Ledford, with whom I am personally acquainted (or proved to me on the basis of satisfactory evidence), and who upon oath acknowledged himself to be the Vice President for Northern Middle Tennessee of Rogers Group, and that as such, being authorized so to do, executed the foregoing instrument for the purposes therein contained.

Witness my hand and seal, at office in Gallatin, TN, this the 15th day of December, 2018.



Notary Public

My Commission Expires: 8-17-2020



**AFFIDAVIT OF DAVID JACKSON
BDY ENVIRONMENTAL
CONCERNING THE INTEGRITY OF THE ADJACENT AREA AS WELL AS THE
IMPACT ON HISTORIC FEATURES OR STRUCTURES**

STATE OF TENNESSEE)
COUNTY OF DAVIDSON)

I, **David Jackson**, having been duly sworn, do hereby affirm the following:

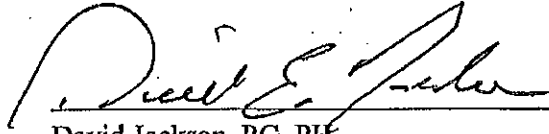
1. I am over the age of 18 years and competent to testify to the matters herein.
2. I am a professional geologist and hydrologist with BDY Environmental.
3. I have worked in this area for 35 years with extensive experience concerning the National Historic Preservation Act and federal and state environmental permitting schemes for wetlands and waterways.
4. I have a B.A. in geology and an M.S. in geology with formal training in geologic prospecting, formation evaluation, geophysics, hydrogeology, geochemistry, surface and groundwater hydrology, environmental permitting, water quality regulations, and stream and wetland jurisdictional determinations.
5. In my capacity as a geologist and hydrologist I studied this proposed underground mining project and its relationship and impact to Richland Creek as well as the Company's ability to underground mine with the current rock formations and I reviewed the site for any historical structures.

Integrity of the Adjacent Area

6. I have concluded that Richland Creek will not be adversely affected by the planned transition from surface mining to underground mining. Extensive coring data and quarry pit observations have been evaluated to ensure sufficient rock thickness and integrity exists between the underground operations and the elevation of Richland Creek.
7. In addition to the excellent exposures of the subsurface formations provided by the Rogers Group Reostone quarry's highwalls, extensive coring has been conducted to characterize the lithology and structure of the formations that overlie the mine as well as those that will be subject to mining. The formations of interest are

IN WITNESS WHEREOF, the undersigned has executed this instrument this 15th day of December, 2018.

BDY ENVIRONMENTAL



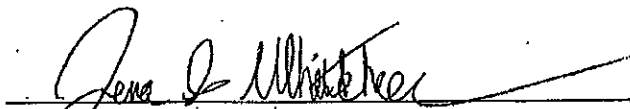
David Jackson, PG, PH
Chief Manager, Principal

STATE OF TENNESSEE)

COUNTY OF DAVIDSON)

Before me, the undersigned, a Notary Public in and for the County and State aforesaid, personally appeared David Jackson, with whom I am personally acquainted (or proved to me on the basis of satisfactory evidence), and who upon oath acknowledged himself to be the Chief Manager, Principal of BDY Environmental, and that as such, being authorized so to do, executed the foregoing instrument for the purposes therein contained.

Witness my hand and seal, at office in Brentwood, this the 15th day of December, 2018.


Notary Public

My Commission Expires: Jan 30, 2022



BDY NATURAL SCIENCES CONSULTANTS

December 13, 2018

via electronic mail

Mr. Dan Rose
Rogers Group, Inc.
421 Great Circle Road
Nashville, Tennessee 37228

Re: Report of Findings
Evaluation of Shallow Geology, Groundwater Hydrology and Effects to Water Quality
Richland Creek, Proposed REOSTONE Quarry Modifications
Nashville, Davidson County, Tennessee

Dear Mr. Rose:

At your request, we have evaluated the shallow geology and groundwater hydrology in the immediate vicinity of Richland Creek adjacent to the REOSTONE quarry in West Nashville. The purpose of our evaluation was to determine the potential for the proposed transition from open-pit to underground mining to adversely affect water quality in reaches of Richland Creek. To undertake our evaluation, we reviewed published technical literature and databases, proprietary geologic data and design plans provided to us by Rogers Group, and our observations during field visits to the site.

SCOPE OF EVALUATION

We were engaged by Rogers Group, Inc., through their outside counsel, Waller, Lansden, Dortch & Davis, LLP, to evaluate potential adverse effects to water quality in Richland Creek that likely would result from REOSTONE's proposed transition from open-pit to underground mining, particularly with regard for the proposed opening of two mine access portals under Richland Creek. To conduct our evaluation, we: (1) obtained and reviewed publically-available databases, maps, publications, and aerial photographs; (2) researched published scientific literature pertaining to the geological context of the REOSTONE locality; (3) conversed with Rogers Group personnel regarding historic site observations of surface water and groundwater hydrology; and (4) conducted site visits to observe the REOSTONE quarry high-walls and proposed portal locations. Pertinent information from these inquiries and sources is cited throughout this document and presented in the accompanying figure.

Mr. Dan Rose
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DATA SOURCES AND OBSERVATIONS

To inform our opinions, we reviewed various sources bearing on the general site geology, formation lithology, occurrence of groundwater, and elevation data.^{1,2,3,4,5,6,7} Additionally, we reviewed proprietary geologic reports provided by Rogers Group, including core descriptions from nearby boreholes, geologic cross sections, and schematic mine plan drawings.

Additionally, on June 13, 2018 we visited the quarry pit and observed the lithology, structural characteristics, and hydrogeology of the exposed geologic section, as well as portions of Richland Creek. On August 14, 2018 we again visited the quarry pit and observed the stratigraphic section exposed near the proposed locations of the portals. During our visits we discussed with REOSTONE personnel stormflow, groundwater, and plant-related water removals from, and discharges to, the quarry pit.

FINDINGS

Background

Limestone production and processing for use as construction aggregate products has proceeded at multiple open-pit quarry locations for many decades near the confluence of Richland Creek and the Cumberland River (Cheatham Reservoir). Rock has been quarried and processed at the location of Rogers Group's REOSTONE facility adjacent to Richland Creek for over 50 years. The REOSTONE quarry pit now extends to a depth over 200 feet below ground surface (bgs). Rogers is proposing to conclude its open-pit operations at REOSTONE and extend its

¹ Wilson, Jr., C.W., "Geologic Map of the Scottsboro Quadrangle, Tennessee", Tennessee Department of Conservation, Division of Geology, 1979.

² Wilson, Jr., C.W. "Pre-Chattanooga Stratigraphy in Central Tennessee", Bulletin 56, Department of Conservation, Division of Geology, Second Edition, 1990.

³ Rima, D.R. and Goddard, P.L., "Ground-water Resources in the Metropolitan Region of Nashville, Tennessee", U.S. Geological Survey, 1979.

⁴ Newcome, Jr., R., "Groundwater in the Central Basin of Tennessee: A Progress Report", Report of Investigations No. 4, Tennessee Department of Conservation, Division of Geology, 1958.

⁶ Brahana, J.V. and Bradley, M.W., "Preliminary Delineation and Description of the Regional Aquifers of Tennessee- The Central Basin Aquifer System", Water-Resources Investigations Report 82-4002, U.S. Geological Survey, 1986.

⁷ Wilson, Jr., C.W., "Geologic Map of the Nashville West Quadrangle, Tennessee"; Tennessee Department of Conservation, Division of Geology, 1966.

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recovery of rock reserves to an underground mining area that will be located on property adjacent to the current quarry. Portions of the proposed underground mining area adjoin Richland Creek as well as the Cumberland River.

The proposed underground mine will be accessed from within the existing quarry pit via two subsurface portals to be opened on the western quarry high-wall and that will extend under Richland Creek (**Figure 1**). Richland Creek is a multi-order tributary to the Cumberland River and drains nearly 18,000 acres of Davidson County. The Richland Creek watershed is predominantly urbanized, with land-uses that have resulted in impairment of the stream's support of its designated uses.⁸ Causes and the attributed sources of impairment are listed by the Tennessee Department of Environment & Conservation (TDEC) as (1) phosphorous from sanitary sewer overflows (collection system failures); (2) nitrate/nitrite from Municipal Separate Storm Sewer Systems (MS4); (3) sedimentation/siltation from MS4; (4) "other anthropogenic substrate alterations" from municipal sources ("Urbanized High Density Area"); and (5) *Escherichia coli* from sanitary sewer overflows (collection system failures).⁹

The Cumberland River is impounded by Cheatham Dam downstream of the project site, forming Cheatham Reservoir, the waters of which are located less than 2,000 feet from the REOSTONE quarry pit. Water quality in this reach of the Cumberland River fully supports the river's designated uses.¹⁰

Regional Hydrology

The Cumberland River and Richland Creek are regionally and locally-significant hydrologic features located adjacent to the proposed project site. Richland Creek at its mouth drains nearly 28 square miles; the watershed of the Cumberland River at the mouth of Richland Creek extends over 12,960 square miles.¹¹ Accordingly, the channels of these streams are fed by base flow from extensive groundwater recharge areas. Situated in a regionally-prominent groundwater discharge area, Richland Creek's base flow near its mouth is sustained from ample groundwater availability, even under low-flow conditions: the U.S. Geological Survey (USGS)

⁸ Richland Creek's designated uses are Fish & Aquatic Life, Recreation, Livestock Watering & Wildlife, and Irrigation, TDEC Rule 0400-40-04-.12.

⁹ TDEC Division of Water Resources, <http://tdeconline.in.gov/dwr/>; accessed August 18, 2018.

¹⁰ The Cumberland River at the project location has been designated for the uses of Domestic Water Supply, Industrial Water Supply, Fish & Aquatic Life, Recreation, Livestock Watering & Wildlife, Irrigation, and Navigation, TDEC Rule 0400-40-04-.12.

¹¹ USGS StreamStats, <https://streamstats.usgs.gov/ss/> accessed August 17, 2018

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estimates the 7-day 10-year low flow (7Q10) for Richland Creek to be 0.227 cubic feet per second (cfs) (~100 gallons per minute [gpm]).¹²

Downstream impoundment of the Cumberland River to create Cheatham Reservoir is a major hydrostatic control on the hydrologic functions of base flow discharge, bank storage, and potentiometric variation in the shallow aquifer adjacent to the river and the lowermost reaches of Richland Creek. The normal pool elevation of Cheatham Reservoir, at 385 feet above mean sea level (amsl), inundates the mouth of Richland Creek and artificially raises water levels in the creek's lowermost reaches. This control dampens extremes in base flow discharge to the creek in these lower reaches and provides a margin of safety to the water-quality effects of low-flow conditions.

Geology and Groundwater Hydrology

The REOSTONE quarry and adjacent proposed underground mining area are located within the Central Basin Physiographic Province and are underlain by Ordovician-age carbonate rocks. In the Central Basin, groundwater occurrence in these rocks is preponderantly restricted to bedding planes, joints (i.e., vertical or semi-vertical fractures), and faults; in certain formations, these features may have been enlarged into cavities or voids by naturally mildly-acidic water percolating vertically and laterally from the surface.¹³ The openings of these cavities and voids range in size from millimeters to feet, with most water-bearing zones being too small or too poorly connected to provide meaningful storage or hydraulic conductivity to support water production from wells or springs. Because fracture and bedding plane porosity and size decrease with depth as a function of higher overburden pressure and restricted groundwater circulation, the predominance of water-bearing openings in the Central Basin are limited to less than 100 feet in depth.¹⁴

At the REOSTONE location, the Bigby-Cannon formation is mapped as the uppermost geologic formation.¹⁵ The Bigby-Cannon extends under Richland Creek and onto the proposed mining area under a veneer of alluvium. The Bigby facies in the site vicinity is described as medium-to-thick-bedded, coarse-grained, and bioclastic.

Immediately underlying the Bigby-Cannon is the Hermitage Formation. At locations adjacent to (and possibly including) the REOSTONE quarry, the uppermost Hermitage comprises a thin (less than 10 feet thick) member, designated as the *Dalmanella coquina* facies, immediately

¹² *Ibid.*

¹³ *Supra*, Newcome, Jr., R. (1958) p. 7.

¹⁴ *Ibid.*

¹⁵ *Supra*. Wilson, 1979.

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underlying the Bigby-Cannon contact.^{16,17} Core descriptions from borings adjacent to the REOSTONE quarry pit indicate that the *Dalmanella coquina* is coarsely-crystalline, bioclastic limestone comprising mechanically-fragmented fossil brachiopods and crinoids.

Generally, lithology composed of reduced silt and clay fractions and an enhanced percentage of carbonate fragments, such as the Bigby-Cannon and *Dalmanella coquina* compositions at the site -- particularly when the latter comprise sand-sized particles and/or fossil fragments -- are more commonly correlated with karst terranes, in contrast to argillaceous rocks that comprise more siliceous silts and clays that are less prone to solution weathering.¹⁸ Accordingly, the characteristics of the Bigby and *Dalmanella* lithology impart a general susceptibility to karst weathering, which is associated with moderate-to-rapid hydraulic conductivity, and would be expected to provide the predominance of aquifer discharge as base flow to Richland Creek.

However, although karst development in the coarse-grained Bigby interval and the immediately underlying *Dalmanella* facies of the Hermitage may be present locally as a function of these formations' lithology, no large cavities or conduits were noted in core descriptions. During our site visits, "cutters" and slots were observed in the Bigby, but were limited to only the uppermost quarry high-walls (and among displaced overburden rubble along the quarry rim and upper bench). Along the western quarry high-wall, we saw little evidence of perched or groundwater movement through the Bigby or upper Hermitage intervals. At the REOSTONE quarry and proposed adjacent mining area, these horizons are limited generally to the upper 60-to-80 feet of the stratigraphic sections and are above the elevation of the proposed location of the underground mining area access portals.

Deeper strata in the Hermitage formation, immediately underlying the *Dalmanella coquina* are comprised by the Laminated argillaceous limestone facies, which coring data at the site show to extend down another 100 feet or so beyond the bottom of the coquina. The Laminated argillaceous facies of the Hermitage is described from core obtained on the site as alternating bands of fine-to-medium fossiliferous limestone and finely-crystalline argillaceous limestone, some of the latter grading into shale.

Generally, the Hermitage is considered to have low hydraulic conductivity and makes a poor source of groundwater; all or most of its thickness in many locations comprises silty, shaly, clay-rich beds that "restrict vertical flow" and constitute a hydrologic confining unit.¹⁹ Consequently, groundwater occurrence in the Hermitage, though not uncommon, is insufficient

¹⁶ *Supra*, Wilson, 1979.

¹⁷ *Supra*, Wilson, 1990, p.95 -97

¹⁸ *Supra*, Newcome, Jr., R., 1958, p. 7.

¹⁹ *Supra*, Brahana and Bradley, 1986, p. 21.

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for the formation to be considered a significant source of groundwater supply in the Nashville Metropolitan area.²⁰

The limited groundwater transmissivity in the Laminated argillaceous member was observed in the REOSTONE quarry's western high-wall to occur along vertically-oriented joint and fracture surfaces, or along bedding planes as horizontal "sheetlike openings" which commonly may be less than ½-inch in vertical dimension.²¹ This mode of groundwater occurrence was noted in the western quarry high-wall at consistent elevations along a defined interval in the middle to lower Hermitage. Within this interval, discharging groundwater was observed to be dripping (but not streaming) from discrete bedding planes. The seasonal persistence of these bedding-plane seep locations was indicated by algal as well as macrophytic plant growth. However, the volume of groundwater seepage at this western high-wall location was not sufficient to create a continuous surface conveyance to the bottom of the quarry pit.

Occurring immediately below the Hermitage formation is the Carters formation. The Carters comprises two members, upper and lower, that are separated by the T-3 bentonite bed, a thin, but regionally persistent stratigraphic marker comprising volcanic ash. Both members of the Carters comprise micritic-to-finely-crystalline limestone. The upper member is generally described as thin-bedded with thin shale partings, ranging in thickness up to 10 feet.²² Below the T-3 bentonite, the lower member of the Carters, ranging up to approximately 70 feet in thickness, comprises medium-to-thick-bedded cryptocrystalline-to-very-fine-grained limestone that may contain more coarsely-crystalline beds.²³ Development of porosity and the presence of groundwater in the Carters formation exposed at the quarry site is highly restricted.

Proposed Portals

The proposed portals accessing the prospective underground mining area on the west side of Richland Creek are planned to be 40-foot wide and 25-foot high and will be situated side-by-side, about 125-feet apart. The portals will be advanced westerly into the existing western high-wall into the proposed mining area along the T-3 bentonite horizon at an estimated elevation between approximately 240 feet amsl and 250 feet amsl; the exact elevation will be determined pending bedding-plane and rock-face attributes encountered as initial penetration of the western high wall proceeds. Bathymetric survey data indicate that the elevation of the Richland Creek substrate is approximately 370 to 375 feet amsl at the proposed alignment of the portals. Consequently, a vertical geologic buffer thickness of approximately 120 to 135 feet will remain between the Richland Creek substrate and the top of the proposed portals. The portals will be advanced below the Bigby-Cannon and Hermitage formations, as well as below the dense,

²⁰ *Supra*, Rima and Goddard, 1979, p.16.

²¹ *Ibid.*, pp.11 and 13.

²² *Supra*, Wilson, Jr., 1966.

²³

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crystalline limestone upper member of the Carters. Our observations of the proposed portal entrance locations into the existing western high-wall indicate that these locations have been selected to avoid the more transmissive bedding-plane seeps observed elsewhere along the high-wall and will take advantage of the structural integrity provided by the Carter's crystalline lithology.

Although incidental leakage into the portals may occur, current conditions observed in the quarry indicate that the volume of leakage will be *de minimis*, if any, will not deprive the creek of sustaining flows, and will not result in measurable degradation of water quality conditions in Richland Creek.

Proposed Underground Mining Area

Removal of rock in the proposed underground mining area will be conducted by the room-and-pillar method on successive vertical levels connected by access and haul ramps. Mining will be limited to horizons below the Bigby-Cannon and Hermitage formations. Mining will take place initially within Carters formation, which in site cores exhibits low porosity and the absence of vugs, conduits, cavities, or other karst features. As mining proceeds, reserves from successively deeper horizons will be extracted, corresponding to those currently exposed in the adjoining quarry pit, and deeper. Consequently, underground mining will be deeper than horizons containing significantly efficient hydraulic connections to the Cumberland River or Richland Creek.

Conclusions

Based on our review, we conclude that the REOSTONE's proposed transition from open-pit to underground mining, including the construction of portals under Richland Creek, will not measurably diminish flow or water-quality conditions in Richland Creek. Supporting this conclusion are:

- (1) the existence of a large, regionally-significant groundwater recharge area that supplies base flow to Richland Creek and the nearby Cumberland River near the REOSTONE site;
- (2) ample availability of groundwater in the project area that discharges from the recharge area to Richland Creek and the Cumberland River, and which will not be diminished by the proposed transition;
- (3) hydrostatic support provided by the regulated pool elevations of Cheatham Reservoir to surface water in Richland Creek's lowermost reaches and the nearby potentiometric surface, and;

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- (4) historic quarrying operations at the REOSTONE site, and at other sites in the vicinity, that have proceeded for decades within and below geologic materials connected to Richland Creek without adverse effects to the nearby hydrologic system.

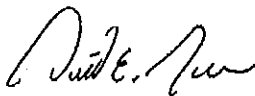
SUMMARY

A review of site geology and groundwater hydrology indicates that the lower reaches of Richland Creek adjacent to the REOSTONE quarry pit, and those of the Cumberland River that are near the pit and adjacent to a proposed underground mining area, receive base flow from large groundwater recharges areas. Surface elevations and base flow at the mouth and lowermost reaches of Richland Creek are controlled primarily by the variations in pool elevation in Cheatham Reservoir. Multiple historic and current quarrying operations near the mouth of Richland Creek have not resulted in interdiction of groundwater flow to Richland Creek or to the Cumberland River at volumes sufficient to cause adverse water quality effects.

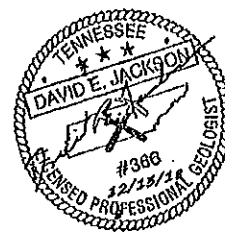
Proposed underground mining and construction of sub-surface portals under Richland Creek from REOSTONE's current pit to the prospective underground mining area will be conducted in geologic formations and at depths that will avoid horizons with efficient aquifer connections to Richland Creek and the Cumberland River. Consequently, the proposed transition from open-pit to underground mining at REOSTONE will not result in measurable degradation to water quality in Richland Creek.

We appreciate your request for this evaluation. We will be pleased to review and discuss our findings further at your convenience. Please let us know if you require further information.

Very truly yours,
BDY Environmental LLC



David E. Jackson, PG, PH (AIH# 10-HGW-2006)
Principal Geologist



**AFFIDAVIT OF BETH OSTROWSKI
KCI
CONCERNING TRAFFIC AND THE INTEGRITY OF ADJACENT AREAS AS WELL
AS SEVERAL SPECIFIC REQUIREMENTS FOR THE MINERAL EXTRACTION
SPECIAL EXCEPTION**

STATE OF TENNESSEE)
COUNTY OF DAVIDSON)

I, **Beth Ostrowski**, having been duly sworn, do hereby affirm the following:

1. I am over the age of 18 years and competent to testify to the matters herein.
2. I am a professional engineer and an employee of KCI.
3. I have worked as an engineer in training and a professional engineer for over 10 years and I currently serve as Senior Project Manager.
4. I graduated from Marquette University with a Bachelor of Civil Engineering and I became a professional engineer in Tennessee in 2011.
5. KCI conducted a traffic study for this site in July of 2018 and specifically looked at the impact of this use on the vehicular and pedestrian safety and circulation.
6. The traffic study analyzed the traffic impacts of this proposed use and determined the recommendations presented in the study will provide safe and efficient traffic operations with the study area.
7. The study determined that the change in site access to Cockrill Bend will be beneficial in moving traffic from a residential collector street, Robertson Avenue, to an arterial street that is more appropriate for commercial truck traffic.
8. The study determined that Cockrill Bend Boulevard, which is the road this site abuts, is designated as a D-1-AB2 road as required by Section 17.16.230 (B)(2) of the Code for a mineral extraction special exception and that the roadway has more than enough capacity to accommodate the traffic from the site at an acceptable level of service and all of the intersections in the study are expected to continue to operate at the same level of service for the projected conditions operating at a LOS C or better during the AM and PM peak hours.

9. The study confirmed that all streets that will be used function at or better than a level of service D as required by Section 17.16.230 (B)(2) of the Code for a mineral extraction special exception.
10. The study concluded that there is more than adequate intersection site distance available for making a left and right turn out of the site.
11. Based on my analysis of the project, the construction of a new industrial private road for Rogers Group and adjacent industrial users to access, which will move approximately 86 AM peak hour and 30 PM peak hour industrial trips off of Robertson Road, is much preferred. Cockrill Bend Boulevard is designated on Metro Nashville's Major and Collector Street Plan as an arterial boulevard and as such it is intended to accommodate high traffic volumes as well as commercial and truck traffic. Finally, Cockrill Bend has direct access to Briley Parkway interchange located approximately ¾ mile east of the quarry site. The change in access will result in more appropriate access for the quarry while reducing negative impacts to the existing residential areas in the vicinity of the quarry.
12. Cockrill Bend Blvd. does not have sidewalks and is not designated for additional pedestrian activity so the use will not impact the pedestrian safety in any detrimental way.

FURTHER AFFIANT SAITH NOT.

[Signature page follows.]

IN WITNESS WHEREOF, the undersigned has executed this instrument this 17th day of December, 2018.

KCI

Beth Ostrowski

Beth Ostrowski
Senior Project Manager

STATE OF TENNESSEE)

COUNTY OF DAVIDSON)

Before me, the undersigned, a Notary Public in and for the County and State aforesaid, personally appeared Beth Ostrowski, with whom I am personally acquainted (or proved to me on the basis of satisfactory evidence), and who upon oath acknowledged herself to be the Senior Project Manager of KCI, and that as such, being authorized so to do, executed the foregoing instrument for the purposes therein contained.

Witness my hand and seal, at office in Nashville, this the 17th day of December, 2018.

Pamela Priest Pitts
Notary Public

My Commission Expires: September 6, 2022



JULY 2018

TRAFFIC IMPACT STUDY

ROGERS GROUP QUARRY
NASHVILLE, TENNESSEE

PREPARED FOR:
ROGERS GROUP, INC.



1101 17TH AVENUE SOUTH
NASHVILLE, TENNESSEE 37212

**TRAFFIC IMPACT STUDY
ROGERS GROUP QUARRY
NASHVILLE, TENNESSEE**

PREPARED FOR:
ROGERS GROUP, INC.

PREPARED BY:
KCI TECHNOLOGIES, INC
1101 17th Avenue South
Nashville, TN 37212
615.370.8410 office 615.370.8455 fax
www.kci.com

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EXECUTIVE SUMMARY

Project Description

The Rogers Group Quarry is located on Robertson Avenue, north of the intersection with Basswood Avenue in Nashville, Tennessee. According to the information provided by the Rogers Group, Inc., the proposed development will relocate operations for much of the Rogers Group Quarry north of Richland Creek. As part of the proposed development, a bridge will be built across Richland Creek and will connect to Cockrill Bend Boulevard. Upon completion of the development, the quarry and the adjacent industrial land uses will access their sites via Centennial Boulevard/Cockrill Bend Boulevard rather than Robertson Avenue. No additional density will be added. These specific recommendations will provide safe and efficient traffic operations within the study area following the completion of the proposed project. The purpose of this study is to analyze the access plan and the traffic impacts associated with the proposed development.

Data Collection

In order to provide data for the traffic impact analysis, manual traffic counts were conducted at the following locations:

- Robertson Avenue and Basswood Avenue (unsignalized intersection)
- Robertson Avenue and Annex Avenue (unsignalized intersection)
- Robertson Avenue and Westboro Drive/James Avenue (unsignalized intersection)
- Robertson Avenue/Urbandale Avenue and Briley Parkway/White Bridge Pike (signalized intersection)
- Cockrill Bend Boulevard, adjacent to Charles Bass Correctional Complex (24-hour tube count)
- Cockrill Bend Boulevard and Centennial Boulevard (signalized intersection)
- Centennial Boulevard and Briley Parkway Southbound Ramps (signalized intersection)
- Centennial Boulevard and Briley Parkway Northbound Ramps (unsignalized intersection)

Specifically, KCI Technologies, Inc. conducted the traffic counts from 7:00 – 9:00 AM and 4:00 – 6:00 PM on a typical weekday in July 2018. From the counts, it was determined that the peak hours of traffic flow occurred from 7:00 – 8:00 AM and 4:15 – 5:15 PM.

Projection of Future Traffic Volumes

In order to account for the traffic growth prior to the completion of the proposed project, background traffic volumes were established. These volumes include a background growth rate to account for general traffic growth within the study area based on TDOT count station data. Then, the existing traffic associated with the Rogers Group Quarry and adjacent industrial businesses were reassigned and added to the background peak hour traffic volumes in order to obtain the total projected peak hour traffic volumes for the study area intersections.

Conclusions and Recommendations

The analyses presented in this study indicate that the impacts of the proposed project on the existing street network will be manageable by providing the recommendations below. These specific recommendations will provide safe and efficient traffic operations within the study area following the completion of the proposed project. The recommendations are as follows:

Robertson Avenue

- Due to the predominantly residential neighborhood characteristic of Robertson Avenue, it is recommended to explore additional truck restrictions along Robertson Avenue in conjunction with Metro Nashville Public Works. The completion of the proposed project will divert heavy trucks currently utilizing Robertson Avenue.

Cockrill Bend Boulevard and New Site Access Road

- The northbound approach of the new site access road at Cockrill Bend Boulevard should be designed to include sufficient width for a minimum of one entering lane and one exiting lane. A stop bar and R1-1 'Stop' sign should be installed on the egress approach.
- As part of the construction of the project, the site access connection at Cockrill Bend Boulevard should be designed such that the departure sight triangles, as specified by AASHTO, will be clear of all sight obstructions, including landscaping, existing vegetation, monument signs/walls, fences, etc.
- The results of a left-turn lane analysis indicate that a left-turn lane is not warranted in the AM or PM peak hour. However, a westbound left-turn lane is recommended in order to separate the high volume of left-turning heavy vehicles from through volumes on Cockrill Bend Boulevard. The left-turn lane should include approximately 75 feet of storage and 180 feet of taper.

In summary, based on the analyses conducted, no further recommendations are presented for the proposed Rogers Group Quarry development. However, additional recommendations may be developed based on feedback from Metro Public Works during the required traffic study scoping meeting.

1. INTRODUCTION

The purpose of this study is to analyze the traffic related impacts and access plan associated with the redevelopment of the Rogers Group Quarry located in Nashville, Tennessee. According to the information provided by the Rogers Group, the proposed development will relocate operations for much of the Rogers Group Quarry north of Richland Creek. As part of the proposed development, a bridge will be built across Richland Creek and will connect to Cockrill Bend Boulevard. Upon completion of the development, the quarry and the adjacent industrial land uses will access their sites via Centennial Boulevard/Cockrill Bend Boulevard rather than Robertson Avenue. No additional density will be added. The current concept plan for the Rogers Group Quarry expansion is shown in Appendix A.

As shown in Figure 1, the project site is located on Robertson Avenue, north of the intersection with Basswood Avenue. The project site is within an area that is characterized by a mix medium-density industrial and residential land uses. The property is bounded on the south by Robertson Avenue, on the west by an industrial property, on the north by Richland Creek, and on the east by Spencer Avenue and single-family homes.

In this study, the current operating characteristics of the adjacent roadways and intersections in the vicinity of the project site are evaluated. The trips generated by the development are determined and redistributed to the roadway network. The adjacent roadways and intersections are then re-evaluated to determine the anticipated traffic impacts of the project. Finally, recommendations are presented, including roadway improvements and/or traffic control improvements that are needed to accommodate the expected traffic.



Location of the Project Site
(Not to Scale)

Figure 1.

2. EXISTING CONDITIONS

2.1 Existing Roadway Network

Local access to the site is provided by Robertson Avenue, Basswood Avenue, Annex Avenue, James Avenue, Westboro Drive, White Bridge Pike, Cockrill Bend Boulevard, Centennial Boulevard, and Briley Parkway. A description of these roadways within the project vicinity is as follows:

Robertson Avenue is a two-way roadway that generally travels in an east-west direction with one travel lane in each direction. Robertson Avenue provides connection between White Bridge Pike/Briley Parkway to the east and the project site and other industrial properties to the west. According to the *Metro Nashville Major and Collector Street Plan*, Robertson Avenue is categorized as a collector avenue (T4-R-CA2) east of Annex Avenue and as a local street west of Annex Avenue. The posted speed limit on Robertson Avenue is 35 mph. Sidewalk is provided on the north side of Robertson Avenue to the east of Annex Avenue. No transit service or bicycle facilities are provided on Robertson Avenue near the project site.



*Robertson Avenue looking west,
east of the project site*

Basswood Avenue is a two-way roadway that generally travels in a north-south direction with one travel lane in each direction. Basswood Avenue provides connection between Robertson Avenue to the north and a residential neighborhood to the south. According to the *Metro Nashville Major and Collector Street Plan*, Basswood Avenue is categorized as a local street. The posted speed limit on the roadway is 30 mph. Signage is posted near Robertson Avenue restricting all



*Basswood Avenue looking south,
south of the project site*

southbound truck traffic on Basswood Avenue. No sidewalks, bicycle facilities, or transit services are provided on Basswood Avenue.

Annex Avenue is a two-way roadway that generally travels in a north-south direction with one travel lane in each direction. Annex Avenue provides connection between Robertson Avenue and a residential neighborhood to the north and Charlotte Pike to the south. According to the Metro Nashville *Major and Collector Street Plan*, Annex Avenue is categorized as a collector-avenue (T3/T4-R-CA2) south of Robertson Avenue and as a local street north of Robertson Avenue. The posted speed limit on the roadway is 30 mph.



*Annex Avenue looking north,
east of the project site*

Sidewalk is provided on the east side of Annex Avenue south of Robertson Avenue. Signage is posted near Robertson Avenue restricting southbound truck traffic over 5,000 pounds on Annex Avenue. No transit service or bicycle facilities are provided on Annex Avenue near the project site.

James Avenue is a two-way roadway that generally travels in a north-south direction with one travel lane in each direction. James Avenue provides connection between Robertson Avenue to the south and the Urbandale Nations neighborhood to the north. According to the Metro Nashville *Major and Collector Street Plan*, James Avenue is categorized as a collector avenue (T4-R-CA2). The posted speed limit on the roadway is 30 mph. Signage is posted near Robertson Avenue restricting northbound truck traffic over 5,000 pounds on James Avenue. No sidewalks, on-street parking, transit service, or bicycle facilities are provided on James Avenue.



*James Avenue looking north,
east of the project site*

Westboro Drive is a two-way roadway that generally travels in a north-south direction with one travel lane in each direction. Westboro Drive provides connection between Robertson Avenue to the north and Charlotte Pike to the south. According to the Metro Nashville *Major and Collector Street Plan*, Westboro Drive is categorized as a collector avenue (T3/T4-R-CA2). The posted speed limit on the roadway is 30 mph. Signage is posted near Robertson Avenue restricting southbound truck traffic over 5,000 pounds on Westboro Drive. No sidewalks, on-street parking, transit service, or bicycle facilities are provided on Westboro Drive.



*Westboro Drive looking south,
east of the project site*

White Bridge Pike is a two-way roadway that generally travels in a north-south direction. Near the project site, White Bridge Pike includes two travel lanes in the northbound direction and three travel lanes in the southbound direction. White Bridge Pike provides connection between West End Avenue/Harding Pike to the south and Briley Parkway to the north. According to the Metro Nashville *Major and Collector Street Plan*, White Bridge Pike is categorized as an arterial boulevard (T4-M-AB5). The posted speed limit on the roadway is 40 mph.



*White Bridge Pike looking south,
east of the project site*

Sidewalks are provided on both sides of White Bridge Pike. Nashville MTA route #3 (White Bridge) has multiple stops along White Bridge Pike with 10-15 minutes service on weekdays and 20 minute service on weekends. No bike facilities or on-street parking are present on the roadway in the vicinity of the project site. According to the *Metro Nashville Major and Collector Street Plan*, protected bicycle lanes are planned on White Bridge Pike near the project site.

Cockrill Bend Boulevard is a two-way roadway that generally travels in an east-west direction near the project site with one travel lane in each direction. Cockrill Bend Boulevard provides connection between industrial and correctional properties to the west and Centennial Boulevard to the east. According to the Metro Nashville *Major and Collector Street Plan*, Cockrill Bend Boulevard is categorized as an arterial boulevard (D-I-AB2). The posted speed limit on the roadway is 30 mph. No sidewalks, bicycle facilities, transit services, or on-street parking are provided on Cockrill Bend Boulevard.



*Cockrill Bend Boulevard looking west,
north of the project site*

Centennial Boulevard is a two-way roadway that generally travels in an east-west direction east of the intersection with Cockrill Bend Boulevard with two travel lanes in each direction. North of the intersection with Cockrill Bend Boulevard, Centennial Boulevard generally travels in a north-south direction with one travel lane in each direction. Centennial Boulevard provides connection between Briley Parkway to the east and Cockrill Bend Boulevard and an industrial area to the west and north. According to the Metro Nashville *Major and Collector Street Plan*, Centennial Boulevard is categorized as an arterial boulevard (D-I-AB4) east of Cockrill Bend Boulevard and as a collector-avenue (D-I-CA3) north of Cockrill Bend Boulevard. The posted speed limit on the roadway is 40 mph. No sidewalks, bicycle facilities, transit services, or on-street parking are provided on Centennial Boulevard in the vicinity of the project site.



*Centennial Boulevard looking east,
north of the project site*

Briley Parkway (State Route 155) is a two-way roadway that generally travels in a north-south direction with two travel lanes in each direction separated by a median concrete barrier. Briley Parkway provides connection between Ashland City Highway (State Route 12) to the north and I-40 and White Bridge Pike to the south. According to the Metro Nashville *Major and Collector Street Plan*, Briley Parkway is categorized as an expressway (T3/4-E4). The posted speed limit on the roadway is 55 mph. No sidewalks, bicycle facilities, transit services, or on-street parking are provided on Briley Parkway.



*Briley Parkway looking north,
east of the project site*

The study area includes seven existing intersections described as follows:

Robertson Avenue and Basswood Avenue is an unsignalized intersection with four approaches. The northbound approach of Basswood Avenue is stop-controlled and includes one shared lane for all movements. The southbound approach of the Rogers Group Quarry driveway is stop-controlled, unstriped, and provides adequate width for one entering lane and one exiting lane, a shared lane for all movements. The eastbound and westbound approaches of Robertson Avenue are stop-controlled and include one shared lane for all movements. No pedestrian facilities are provided at the intersection.



*Looking northbound on Basswood Avenue
at Robertson Avenue*

Robertson Avenue and Annex Avenue is an unsignalized intersection with four approaches. The northbound and southbound approaches of Annex Avenue are stop-controlled and include one shared lane for all movements. The eastbound and westbound approaches of Robertson Avenue are uncontrolled and include one shared lane for all movements. Sidewalk is provided on the east side of the northbound approach of Annex Avenue and the north side of the westbound approach of Robertson Avenue.



*Looking southbound on Annex Avenue
at Robertson Avenue*

Robertson Avenue and James Avenue/Westboro Drive is an unsignalized intersection with four approaches. The northbound approach of Westboro Drive is stop-controlled and includes one shared lane for all movements. The southbound approach of James Avenue is stop-controlled and includes one shared lane for all movements. The eastbound and westbound approaches of Robertson Avenue are uncontrolled and include one shared lane for all movements. Sidewalk is provided on the north side of Robertson Avenue on the eastbound and westbound approaches.



*Looking southbound on James Avenue
at Robertson Avenue*

Robertson Avenue/Urbandale Avenue and White Bridge Pike/Briley Parkway is a signalized intersection with four approaches. The eastbound approach of Robertson Avenue includes one right-turn lane with approximately 160 feet of storage, one through lane, and one left-turn lane with approximately 150 feet of storage. The westbound approach of Urbandale Avenue includes one left-turn lane with approximately 145 feet of storage, one through lane, and one shared through/right-turn lane with approximately 200 feet of storage. The northbound approach of White Bridge Pike includes two left-turn lanes with approximately 100 feet of storage each, one through lane and one shared through/right-turn lane. The southbound approach of Briley Parkway includes one right-turn lane with approximately 160 feet of storage, two through lanes, and one left-turn lane with approximately 170 feet of storage. Protected-permissive left-turn signal phasing is provided on all approaches. Right-turn overlap signal phasing is provided for the eastbound approach of Robertson Avenue. Sidewalks, pedestrian crosswalks, and pedestrian signals with countdown timers are provided across all approaches to the intersection.



*Looking eastbound on Urbandale Avenue
at White Bridge Pike/Briley Parkway*

Cockrill Bend Boulevard and Centennial Boulevard/Private Driveway is a signalized intersection with four approaches. The eastbound approach of Cockrill Bend Boulevard includes one left-turn lane with approximately 120 feet of storage, one through lane, and one shared through/right-turn lane. The westbound approach of Centennial Boulevard includes one left-turn lane with approximately 240 feet of storage, two through lanes, and one channelized right-turn lane with approximately 450 feet of storage. The northbound approach of the private driveway includes one left-turn lane with approximately 80 feet of storage and one shared through/right-turn lane with a channelized right-turn movement. The southbound approach of Centennial Boulevard includes one shared through/right-turn lane and two left-turn lanes. The outside left-turn lane includes approximately 290 feet of storage before transitioning to a two-way left-turn lane. Permissive left-turn signal phasing is provided for the eastbound approach of Cockrill Bend Boulevard. Protected-permissive left-turn signal phasing is provided for the westbound approach of Centennial Boulevard and the northbound approach of the private driveway. Protected left-turn signal phasing is provided for the southbound approach of Centennial Boulevard. No pedestrian facilities are provided at this intersection.

The eastbound approach of Cockrill Bend Boulevard includes one left-turn lane with approximately 120 feet of storage, one through lane, and one shared through/right-turn lane. The westbound approach of Centennial Boulevard includes one left-turn lane with approximately 240 feet of storage, two through lanes, and one channelized right-turn lane with approximately 450 feet of storage. The northbound approach of the private driveway includes one left-turn lane with approximately 80 feet of storage and one shared through/right-turn lane with a channelized right-turn movement. The southbound approach of Centennial Boulevard includes one shared through/right-turn lane and two left-turn lanes. The outside left-turn lane includes approximately 290 feet of storage before transitioning to a two-way left-turn lane. Permissive left-turn signal phasing is provided for the eastbound approach of Cockrill Bend Boulevard. Protected-permissive left-turn signal phasing is provided for the westbound approach of Centennial Boulevard and the northbound approach of the private driveway. Protected left-turn signal phasing is provided for the southbound approach of Centennial Boulevard. No pedestrian facilities are provided at this intersection.



Looking eastbound on Cockrill Bend Boulevard at Centennial Boulevard

The northbound approach of the private driveway includes one left-turn lane with approximately 80 feet of storage and one shared through/right-turn lane with a channelized right-turn movement. The southbound approach of Centennial Boulevard includes one shared through/right-turn lane and two left-turn lanes. The outside left-turn lane includes approximately 290 feet of storage before transitioning to a two-way left-turn lane. Permissive left-turn signal phasing is provided for the eastbound approach of Cockrill Bend Boulevard. Protected-permissive left-turn signal phasing is provided for the westbound approach of Centennial Boulevard and the northbound approach of the private driveway. Protected left-turn signal phasing is provided for the southbound approach of Centennial Boulevard. No pedestrian facilities are provided at this intersection.

Centennial Boulevard and Briley Parkway Southbound Ramps is a signalized intersection with three approaches. The eastbound approach of Centennial Boulevard includes two through lanes and one channelized right-turn lane with approximately 170 feet of storage. The westbound approach of Centennial Boulevard includes one left-turn lane with approximately 170 feet of storage and two through lanes. The southbound approach of the Briley Parkway southbound off-ramp includes one

The eastbound approach of Centennial Boulevard includes two through lanes and one channelized right-turn lane with approximately 170 feet of storage. The westbound approach of Centennial Boulevard includes one left-turn lane with approximately 170 feet of storage and two through lanes. The southbound approach of the Briley Parkway southbound off-ramp includes one



Looking westbound on Centennial Boulevard at Briley Parkway Southbound Ramps

channelized right-turn lane with approximately 240 feet of dedicated storage and one left-turn lane. A total of approximately 750 feet of combined storage is provided on the off-ramp. Protected-permissive left-turn signal phasing is provided for the westbound approach of Centennial Boulevard. No pedestrian facilities are provided at this intersection.

Centennial Boulevard and Briley Parkway Northbound Ramps is an unsignalized intersection with four approaches. The eastbound approach of Centennial Boulevard includes one through lane and one right-turn lane, a loop ramp onto northbound Briley Parkway. The westbound approach of Centennial Boulevard includes one through lane and one shared through/right turn lane. The northbound approach of the Briley Parkway northbound off-ramp merges with eastbound Centennial Boulevard with approximately 190 feet of weaving distance. The southbound approach of the Briley Parkway northbound off-ramp merges with westbound Centennial Boulevard with approximately 300 feet of weaving distance.

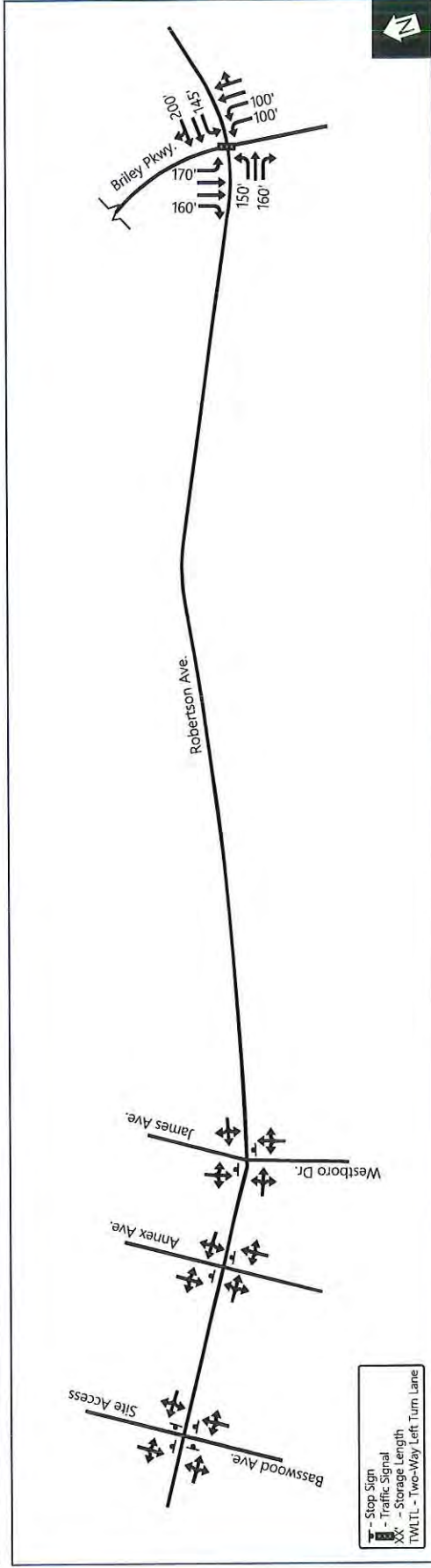
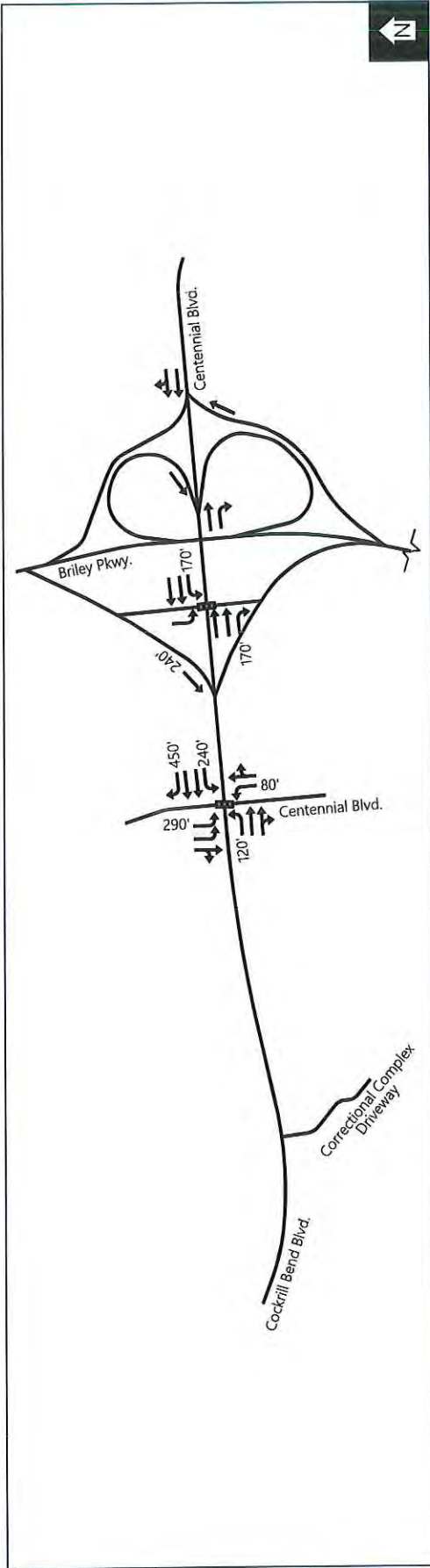


Looking westbound on Centennial Boulevard at Briley Parkway Northbound Ramps

The existing laneage at the study intersections is illustrated in Figure 2.

July 2018

Rogers Group Quarry - Traffic Impact Study



Existing Laneage
(Not to Scale)

Figure 2.

2.2 Existing Traffic Volumes

In order to provide data for the traffic impact analysis, manual traffic counts were conducted at the following locations:

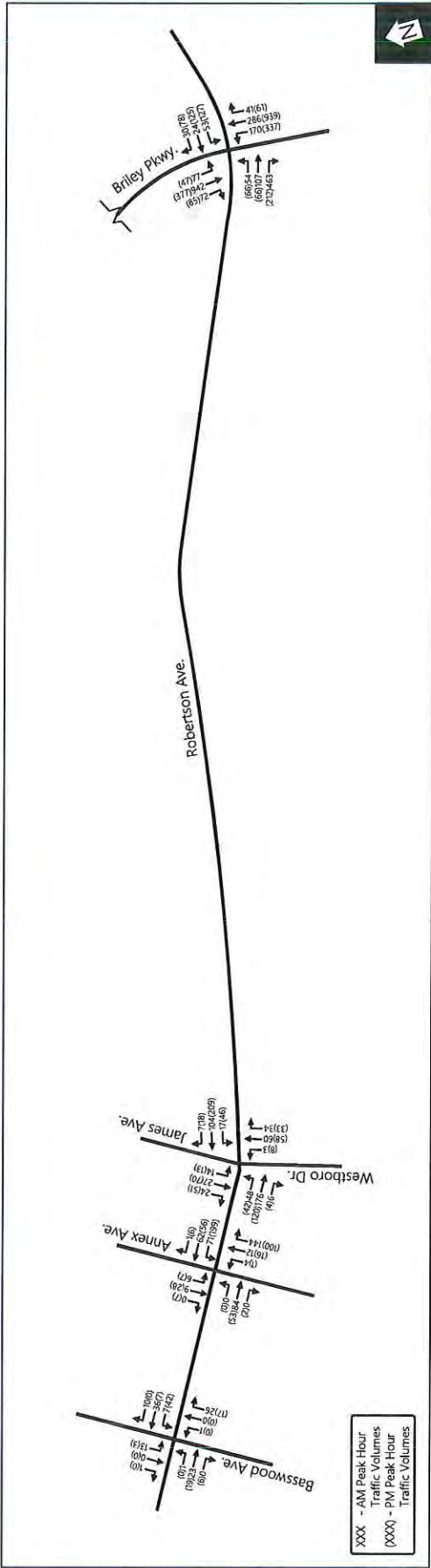
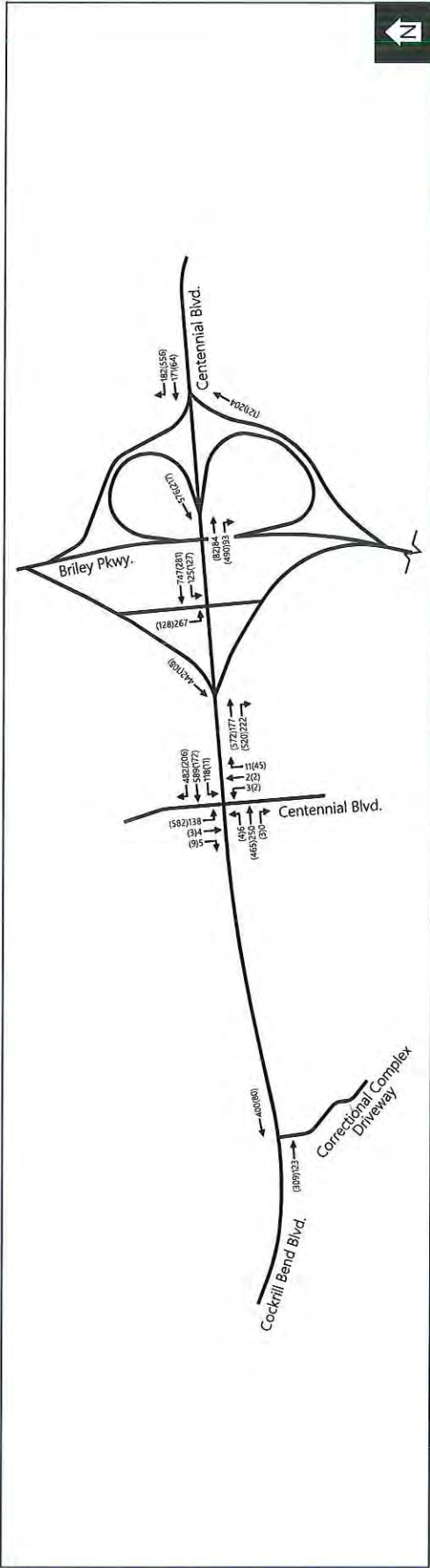
- Robertson Avenue and Basswood Avenue (unsignalized intersection)
- Robertson Avenue and Annex Avenue (unsignalized intersection)
- Robertson Avenue and Westboro Drive/James Avenue (unsignalized intersection)
- Robertson Avenue/Urbandale Avenue and Briley Parkway/White Bridge Pike (signalized intersection)
- Cockrill Bend Boulevard, adjacent to Charles Bass Correctional Complex (24-hour tube count)
- Cockrill Bend Boulevard and Centennial Boulevard (signalized intersection)
- Centennial Boulevard and Briley Parkway Southbound Ramps (signalized intersection)
- Centennial Boulevard and Briley Parkway Northbound Ramps (unsignalized intersection)

Specifically, KCI Technologies, Inc. conducted the traffic counts from 7:00 – 9:00 AM and 4:00 – 6:00 PM on a typical weekday in July 2018. From the counts, it was determined that the peak hours of traffic flow occurred from 7:00 – 8:00 AM and 4:15 – 5:15 PM. The existing peak hour volumes are presented in Figure 3. Traffic volumes were balanced between the intersections on Centennial Boulevard with Cockrill Bend Boulevard and the Briley Parkway southbound and northbound ramps. Traffic volumes were not balanced between other study intersections due to the presence of intersecting streets or driveways. A detailed summary of the count data is included in Appendix B.

Average daily traffic volumes were also obtained from TDOT. Three TDOT count stations are located near the project site. The specific locations and 2016 average annual daily traffic (AADT) for each station are listed below in Table 1. Additional count station data is included in Appendix C

TABLE 1: TDOT COUNT STATION DATA

ROADWAY	LOCATION	2016 AADT (vpd)
Robertson Avenue	East of Westboro Drive/James Avenue	7,098
63 rd Avenue North	East of Vernon Avenue	4,465
Centennial Boulevard	East of Briley Parkway	7,137



Existing Peak Hour Traffic Volumes (Not to Scale) Figure 3.

2.3 Existing Traffic Operations

To determine the current operation of the study intersections, capacity analyses were performed for the AM and PM peak hours. The capacity calculations were performed according to the methods outlined in the *Highway Capacity Manual*, TRB 2010. The capacity analyses result in the determination of a Level of Service (LOS) for an intersection. The LOS is a concept used to describe how well an intersection or roadway operates. LOS A is the best, while LOS F is the worst. LOS D is typically considered as the minimum acceptable LOS for an intersection in an urbanized area. Table 2 presents the descriptions of LOS for unsignalized intersections. Table 3 presents the descriptions of LOS for signalized intersections.

TABLE 2: DESCRIPTIONS OF LEVEL OF SERVICE FOR UNSIGNALIZED INTERSECTIONS

LEVEL OF SERVICE	DESCRIPTION	CONTROL DELAY (sec/veh)
A	Little or no delay	≤ 10.0
B	Short traffic delay	>10 and ≤ 15
C	Average traffic delay	>15 and ≤ 25
D	Long traffic delay	>25 and ≤ 35
E	Very long traffic delay	>35 and ≤ 50
F	Extreme traffic delay	> 50.0

Source: *Highway Capacity Manual*, TRB 2010

TABLE 3: DESCRIPTIONS OF LEVEL OF SERVICE FOR SIGNALIZED INTERSECTIONS

LEVEL OF SERVICE	DESCRIPTION	CONTROL DELAY (sec/veh)
A	Operations with very low delay. This occurs when progression is extremely favorable. Most vehicles do not stop at all.	≤ 10
B	Operations with stable flows. This generally occurs with good progression and/or short cycle lengths. More vehicles stop than for LOS A, causing higher levels of average delay.	>10 and ≤ 20
C	Operations with stable flow. Occurs with fair progression and/or longer cycle lengths. The number of vehicles stopping is significant, although many still pass through the intersection without stopping.	>20 and ≤ 35
D	Approaching unstable flow. The influence of congestion becomes more noticeable. Longer delays may result from some combination of unfavorable progression, long cycle lengths, or high V/C ratios. Many vehicles stop.	>35 and ≤ 55
E	Unstable flow. This is considered to be the limit for acceptable delay. These high delays generally indicate poor progression, long cycle lengths, and high V/C ratios.	>55 and ≤ 80
F	Unacceptable delay. This condition often occurs with over saturation or with high V/C ratios. Poor progression and long cycle lengths may also cause such delay levels.	>80.0

Source: *Highway Capacity Manual*, TRB 2010

The signal timing and phasing plan for the signalized intersections in the study area were obtained from Metro Public Works and were utilized for the capacity analyses. The signal timing data is included in Appendix D.

The results of the capacity analyses for the existing conditions at the study intersections are presented in Tables 4A and 4B. As shown, all intersections and critical movements operate at LOS C or better in both the AM and PM peak hours with one exception. The intersection of Robertson Avenue/Urbandale Avenue and White Bridge Pike/Briley Parkway operates at LOS E in the AM peak hour. Capacity analyses worksheets are included in Appendix E.

TABLE 4A: EXISTING AM PEAK HOUR LEVELS OF SERVICE

INTERSECTION	TURNING MOVEMENT	LEVEL OF SERVICE (Average Approach Delay in sec/veh) AM Peak Hour
Robertson Avenue and Basswood Avenue/ Quarry Driveway	Northbound Approach	A (6.7)
	Eastbound Approach	A (7.2)
	Westbound Approach	A (7.2)
	Southbound Approach	A (7.4)
Robertson Avenue and Annex Avenue	Northbound Approach	A (9.9)
	Eastbound Left-Turn	A (0.0)
	Westbound Left-Turn	A (7.5)
	Southbound Approach	B (12.3)
Robertson Avenue and Westboro Drive/ James Avenue	Northbound Approach	B (12.9)
	Eastbound Left-Turn	A (7.5)
	Westbound Left-Turn	A (7.7)
	Southbound Approach	B (12.5)
Robertson Avenue/ Urbandalé Avenue and White Bridge Pike/ Briley Parkway	Overall Intersection	E (71.0)
Centennial Boulevard and Cockrill Bend Boulevard	Overall Intersection	B (14.1)
Centennial Boulevard and Briley Parkway Southbound Ramps	Overall Intersection	B (13.8)
<i>Note: For signalized intersections, an overall LOS is presented. For stop-controlled intersections, an LOS is presented for each critical turning movement.</i>		

TABLE 4B: EXISTING PM PEAK HOUR LEVELS OF SERVICE

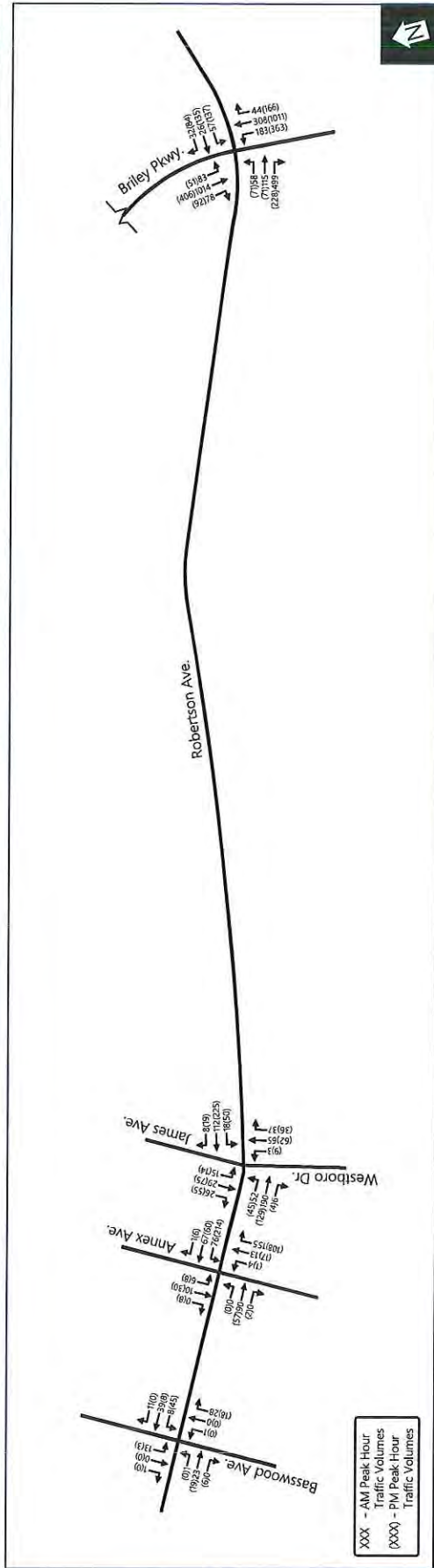
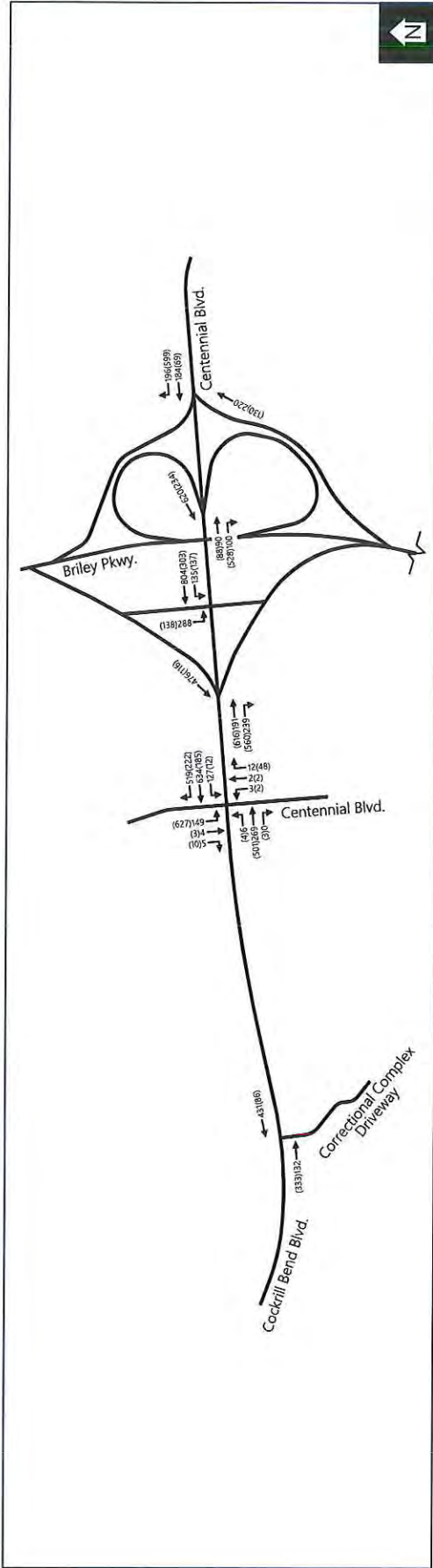
INTERSECTION	TURNING MOVEMENT	LEVEL OF SERVICE (Average Approach Delay in sec/veh) PM Peak Hour
Robertson Avenue and Basswood Avenue/ Quarry Driveway	Northbound Approach	A (6.6)
	Eastbound Approach	A (7.0)
	Westbound Approach	A (7.4)
	Southbound Approach	A (7.3)
Robertson Avenue and Annex Avenue	Northbound Approach	B (10.3)
	Eastbound Left-Turn	A (0.0)
	Westbound Left-Turn	A (7.7)
	Southbound Approach	C (15.1)
Robertson Avenue and Westboro Drive/ James Avenue	Northbound Approach	B (14.8)
	Eastbound Left-Turn	A (7.8)
	Westbound Left-Turn	A (7.6)
	Southbound Approach	C (15.7)
Robertson Avenue/ Urbandale Avenue and White Bridge Pike/ Briley Parkway	Overall Intersection	C (23.6)
Centennial Boulevard and Cockrill Bend Boulevard	Overall Intersection	C (30.0)
Centennial Boulevard and Briley Parkway Southbound Ramps	Overall Intersection	A (7.2)
<i>Note: For signalized intersections, an overall LOS is presented. For stop-controlled intersections, an LOS is presented for each critical turning movement.</i>		

3. BACKGROUND TRAFFIC VOLUMES

3.1 Establishing Background Volumes

In order to account for the traffic growth prior to the completion of the proposed project, background traffic volumes were established. For the purposes of this study, it was assumed that the relocation of the quarry operations and opening of the Richland Creek Bridge would be completed by 2021, which is a three-year horizon. The background traffic includes general traffic growth in the study area. Historical daily traffic volumes were obtained from the TDOT count stations located on Robertson Avenue, 63rd Avenue North, and Centennial Boulevard near the project site. Since 2012, the combined traffic at these TDOT count stations has increased by an average of 2.17% per year. The TDOT count station data is included in Appendix C.

A growth factor was applied to the existing peak hour traffic volumes to account for background growth for the future conditions. Conservatively, the existing peak hour traffic volumes at the study intersections were increased by 2.5% per year for three years to account for background traffic growth within the study area. Figure 4 presents the background peak hour traffic volumes for the proposed development. These volumes represent the peak hour traffic that is expected to be on the roadway in 2021 even if the proposed project is not completed.



Background Peak Hour Traffic Volumes
(Not to Scale)

Figure 4.

3.2 Background Traffic Operations

To determine the operation of the study area intersections under background conditions, capacity analyses were performed for the AM and PM peak hours. The analyses for the background conditions were based on the same lane configurations as the existing conditions.

As shown in Tables 5A and 5B, under background conditions the capacity analyses indicate that the operations of the study intersections are expected to continue to operate at the same levels of service in the AM and PM peak hours with one exception. The northbound approach of Westboro Drive at the intersection with Robertson Avenue drops from LOS B to LOS C in the PM peak hour. The change in level of service is the result of a change in delay of 1.1 seconds. Capacity analyses worksheets are included in Appendix E.

TABLE 5A: BACKGROUND AM PEAK HOUR LEVELS OF SERVICE

INTERSECTION	TURNING MOVEMENT	LEVEL OF SERVICE (Average Approach Delay in sec/veh)	
		EXISTING	BACKGROUND
		AM	AM
Robertson Avenue and Basswood Avenue/ Quarry Driveway	Northbound Approach	A (6.7)	A (6.7)
	Eastbound Approach	A (7.2)	A (7.2)
	Westbound Approach	A (7.2)	A (7.3)
	Southbound Approach	A (7.4)	A (7.4)
Robertson Avenue and Annex Avenue	Northbound Approach	A (9.9)	B (10.1)
	Eastbound Left-Turn	A (0.0)	A (0.0)
	Westbound Left-Turn	A (7.5)	A (7.5)
	Southbound Approach	B (12.3)	B (12.6)
Robertson Avenue and Westboro Drive/ James Avenue	Northbound Approach	B (12.9)	B (13.6)
	Eastbound Left-Turn	A (7.5)	A (7.6)
	Westbound Left-Turn	A (7.7)	A (7.7)
	Southbound Approach	B (12.5)	B (13.1)
Robertson Avenue/ Urbandale Avenue and White Bridge Pike/ Briley Parkway	Overall Intersection	E (71.0)	E (79.8)
Centennial Boulevard and Cockerill Bend Boulevard	Overall Intersection	B (14.1)	B (14.2)
Centennial Boulevard and Briley Parkway Southbound Ramps	Overall Intersection	B (13.8)	B (14.6)
<i>Note: For signalized intersections, an overall LOS is presented. For stop-controlled intersections, an LOS is presented for each critical turning movement.</i>			

TABLE 5B: BACKGROUND PM PEAK HOUR LEVELS OF SERVICE

INTERSECTION	TURNING MOVEMENT	LEVEL OF SERVICE (Average Approach Delay in sec/veh)	
		EXISTING	BACKGROUND
		PM	PM
Robertson Avenue and Basswood Avenue/ Quarry Driveway	Northbound Approach	A (6.6)	A (6.6)
	Eastbound Approach	A (7.0)	A (7.0)
	Westbound Approach	A (7.4)	A (7.5)
	Southbound Approach	A (7.3)	A (7.4)
Robertson Avenue and Annex Avenue	Northbound Approach	B (10.3)	B (10.5)
	Eastbound Left-Turn	A (0.0)	A (0.0)
	Westbound Left-Turn	A (7.7)	A (7.8)
	Southbound Approach	C (15.1)	C (16.0)
Robertson Avenue and Westboro Drive/ James Avenue	Northbound Approach	B (14.8)	C (15.9)
	Eastbound Left-Turn	A (7.8)	A (7.9)
	Westbound Left-Turn	A (7.6)	A (7.6)
	Southbound Approach	C (15.7)	C (17.0)
Robertson Avenue/ Urbandale Avenue and White Bridge Pike/ Briley Parkway	Overall Intersection	C (23.6)	C (24.8)
Centennial Boulevard and Cockrill Bend Boulevard	Overall Intersection	C (30.0)	C (30.9)
Centennial Boulevard and Briley Parkway Southbound Ramps	Overall Intersection	A (7.2)	A (7.2)
<i>Note: For signalized intersections, an overall LOS is presented. For stop-controlled intersections, an LOS is presented for each critical turning movement.</i>			

4. IMPACTS

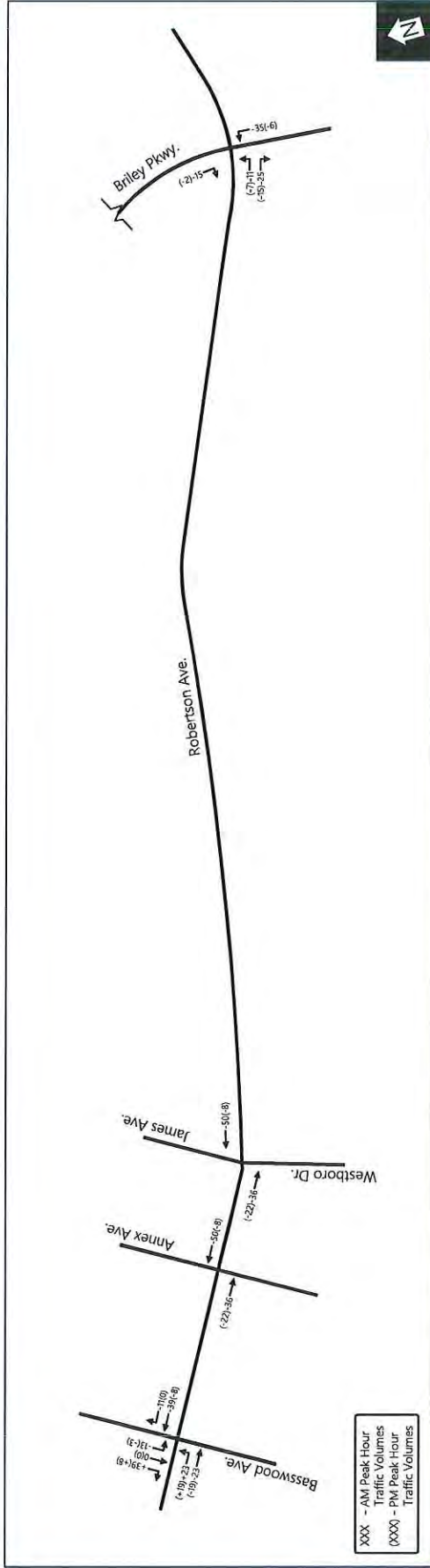
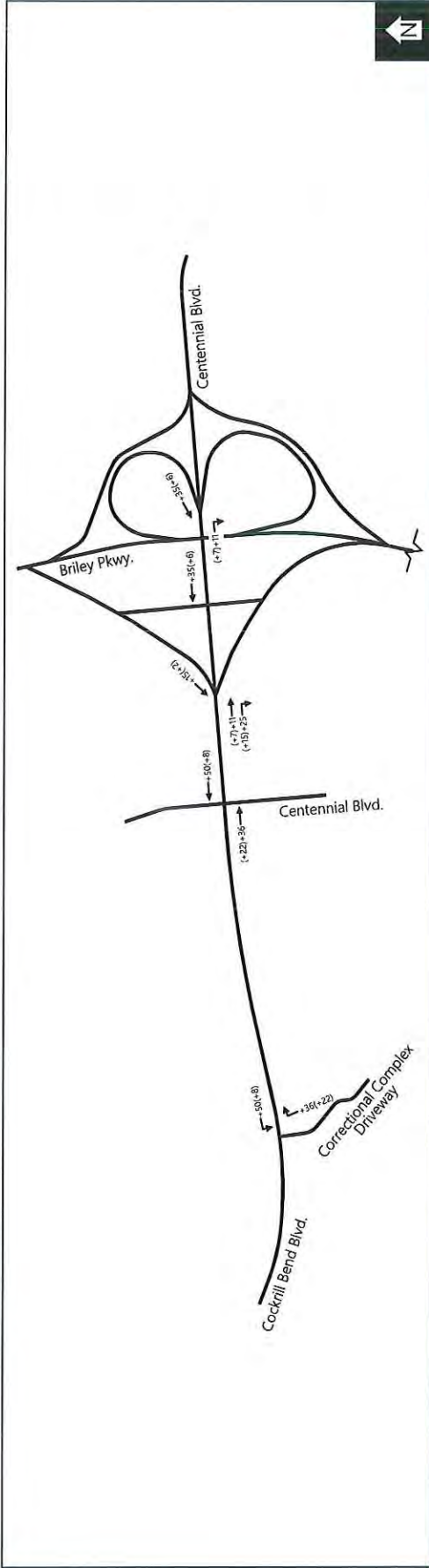
4.1 Redistribution of Background Traffic

As stated previously, the proposed development will relocate operations for much of the Rogers Group Quarry north of Richland Creek. As part of the proposed development, a bridge will be built across Richland Creek and will connect to Cockrill Bend Boulevard to the north. Upon completion of the development, the quarry and the adjacent industrial land uses will access their sites via Centennial Boulevard/Cockrill Bend Boulevard rather than Robertson Avenue. No additional density will be added.

As shown in the Figure 5, the background traffic volumes associated with the eastbound approach of Robertson Avenue and the southbound approach of the existing Rogers Group Quarry driveway were reassigned to reflect the new access scheme. It was assumed that 70% of the industrial traffic was oriented to the south on White Bridge Pike and 30% to the north on Briley Parkway.

July 2018

Rogers Group Quality - Traffic Impact Study



XXX - AM Peak Hour Traffic Volumes
 (XXX) - PM Peak Hour Traffic Volumes

Redistributed Background Peak Hour Traffic Volumes
 (Not to Scale)

Figure 5.

4.2 Capacity / Level of Service Analyses

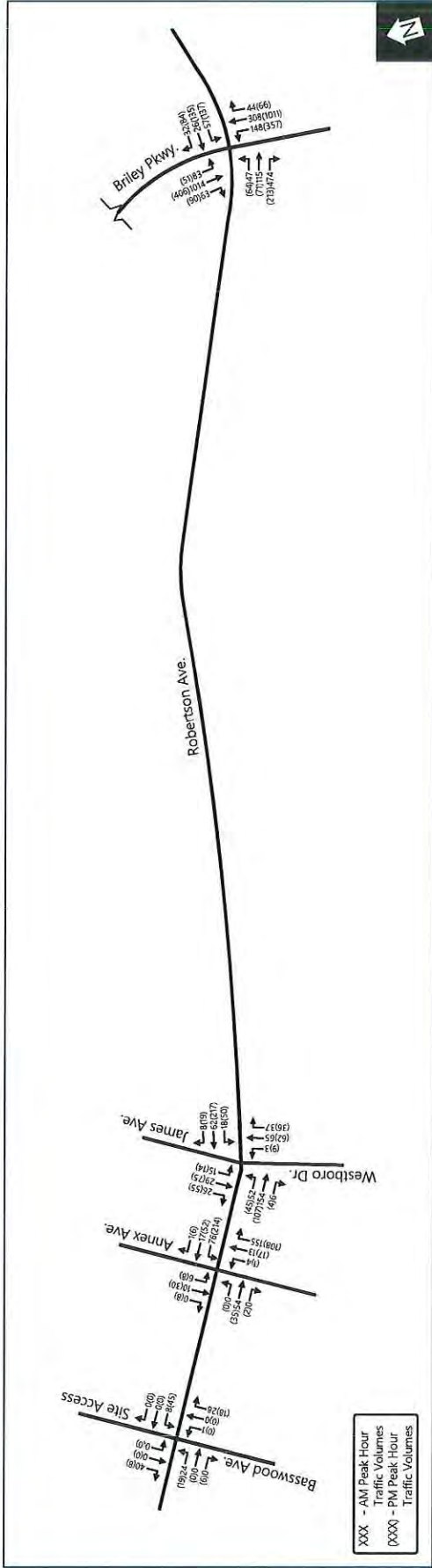
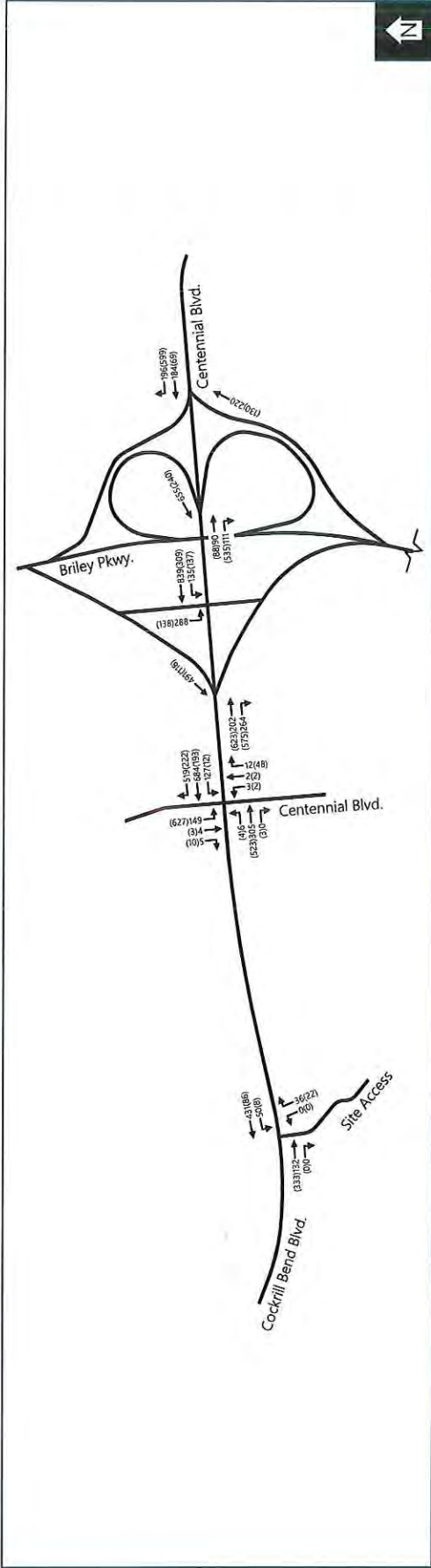
The redistributed traffic volumes associated with the Rogers Group Quarry and adjacent industrial properties were added to the background peak hour traffic volumes in order to obtain the total projected traffic volumes for the study intersections. Figure 6 presents the total projected AM and PM peak hour traffic volumes expected at the completion of the quarry expansion.

Capacity analyses were performed in order to determine the impact of the project on the study intersections. These capacity analyses were also used to evaluate the need for roadway and traffic control improvements at the intersections studied. The results of the capacity analyses for the projected conditions at the study area intersections are presented in Tables 6A and 6B. For the analyses, the intersection configurations were the same as the background conditions. The new access road on Cockrill Bend Boulevard was assumed to be stop-controlled and include one exiting lane and one entering lane.

As shown in Tables 6A and 6B, under projected conditions the capacity analyses indicate that the study intersections are expected to continue to operate at the same levels of service as under background conditions. Capacity analyses worksheets are included in Appendix E.

July 2018

Rogers Group Quarry - Traffic Impact Study



XXX - AM Peak Hour Traffic Volumes
 (XXX) - PM Peak Hour Traffic Volumes

Total Projected Peak Hour Traffic Volumes
 (Not to Scale)

Figure 6.

TABLE 6A: PROJECTED AM PEAK HOUR LEVELS OF SERVICE

INTERSECTION	TURNING MOVEMENT	LEVEL OF SERVICE (Average Approach Delay in sec/veh)		
		EXISTING	BACKGROUND	PROJECTED
		AM	AM	AM
Robertson Avenue and Basswood Avenue/ Quarry Driveway	Northbound Approach	A (6.7)	A (6.7)	A (6.6)
	Eastbound Approach	A (7.2)	A (7.2)	A (7.4)
	Westbound Approach	A (7.2)	A (7.3)	A (7.3)
	Southbound Approach	A (7.4)	A (7.4)	A (6.6)
Robertson Avenue and Annex Avenue	Northbound Approach	A (9.9)	B (10.1)	A (9.7)
	Eastbound Left-Turn	A (0.0)	A (0.0)	A (0.0)
	Westbound Left-Turn	A (7.5)	A (7.5)	A (7.5)
	Southbound Approach	B (12.3)	B (12.6)	B (11.6)
Robertson Avenue and Westboro Drive/ James Avenue	Northbound Approach	B (12.9)	B (13.6)	B (12.5)
	Eastbound Left-Turn	A (7.5)	A (7.6)	A (7.5)
	Westbound Left-Turn	A (7.7)	A (7.7)	A (7.6)
	Southbound Approach	B (12.5)	B (13.1)	B (12.0)
Robertson Avenue/ Urbandale Avenue and White Bridge Pike/ Briley Parkway	Overall Intersection	E (71.0)	E (79.8)	E (75.9)
Centennial Boulevard and Cockrill Bend Boulevard	Overall Intersection	B (14.1)	B (14.2)	B (12.4)
Centennial Boulevard and Briley Parkway Southbound Ramps	Overall Intersection	B (13.8)	B (14.6)	B (14.3)
Cockrill Bend Boulevard and New Quarry Access	Northbound Approach	--	--	A (9.2)
	Westbound Left-Turn	--	--	A (7.6)

Note: For signalized intersections, an overall LOS is presented. For stop-controlled intersections, an LOS is presented for each critical turning movement.

TABLE 6B: PROJECTED PM PEAK HOUR LEVELS OF SERVICE

INTERSECTION	TURNING MOVEMENT	LEVEL OF SERVICE (Average Approach Delay in sec/veh)		
		EXISTING	BACKGROUND	PROJECTED
		PM	PM	PM
Robertson Avenue and Basswood Avenue/ Quarry Driveway	Northbound Approach	A (6.6)	A (6.6)	A (6.6)
	Eastbound Approach	A (7.0)	A (7.0)	A (7.2)
	Westbound Approach	A (7.4)	A (7.5)	A (7.5)
	Southbound Approach	A (7.3)	A (7.4)	A (6.5)
Robertson Avenue and Annex Avenue	Northbound Approach	B (10.3)	B (10.5)	B (10.3)
	Eastbound Left-Turn	A (0.0)	A (0.0)	A (0.0)
	Westbound Left-Turn	A (7.7)	A (7.8)	A (7.7)
	Southbound Approach	C (15.1)	C (16.0)	C (15.5)
Robertson Avenue and Westboro Drive/ James Avenue	Northbound Approach	B (14.8)	C (15.9)	C (15.2)
	Eastbound Left-Turn	A (7.8)	A (7.9)	A (7.9)
	Westbound Left-Turn	A (7.6)	A (7.6)	A (7.5)
	Southbound Approach	C (15.7)	C (17.0)	C (16.3)
Robertson Avenue/ Urbandale Avenue and White Bridge Pike/ Briley Parkway	Overall Intersection	C (23.6)	C (24.8)	C (24.2)
Centennial Boulevard and Cockrill Bend Boulevard	Overall Intersection	C (30.0)	C (30.9)	C (30.8)
Centennial Boulevard and Briley Parkway Southbound Ramps	Overall Intersection	A (7.2)	A (7.2)	A (7.2)
Cockrill Bend Boulevard and New Quarry Access	Northbound Approach	--	--	A (0.0)
	Westbound Left-Turn	--	--	A (7.3)

Note: For signalized intersections, an overall LOS is presented. For stop-controlled intersections, an LOS is presented for each critical turning movement.

5. ANALYSIS OF SITE PLAN

5.1 Site Access Review

According to the information provided by the Rogers Group Inc., the proposed development will relocate operations for much of the Rogers Group Quarry north of Richland Creek. As part of the proposed development, a bridge will be built across Richland Creek and will connect to Cockrill Bend Boulevard. Upon completion of the development, the quarry and the adjacent industrial land uses will access their sites via Centennial Boulevard/Cockrill Bend Boulevard rather than Robertson Avenue. As a result of the projected conditions analysis, it is recommended that the new access road include one entering lane and one exiting lane at the intersection with Cockrill Bend Boulevard.

According to Metro Nashville's current *Code of Ordinances*, the traffic and parking commission may prohibit or restrict the operation of vehicles based on their gross vehicle weight. As previously discussed, truck traffic is currently restricted on Basswood Avenue, Annex Avenue south of Robertson Avenue, Westboro Drive, and Jones Avenue near the project site. Additional truck restrictions for Robertson Avenue may be explored in conjunction with Metro Nashville after the completion of the proposed project and resulting diversion of industrial traffic.

5.2 Sight Distance Analyses

Sight distance measurements were conducted at the location of the proposed connection on Cockrill Bend Boulevard to determine if adequate sight distance would be available for motorists making left or right turns from the proposed site accesses. For 30 mph, the speed limit on Cockrill Bend Boulevard, the guidelines from *A Policy on Geometric Design of Highways and Streets*, by the American Association of State Highway and Transportation Officials (AASHTO), calls for a minimum stopping sight distance of 200 feet as a design value. This is the distance required for a motorist to detect an object in the roadway necessitating a stop and be able to stop before reaching the object.

Subsequently, AASHTO also provides minimum design values for intersection sight distance. For example, for a speed of 30 miles per hour, the design value for the intersection sight distance for a motorist turning right from a stop is 290 feet. Therefore, it is desirable to provide a minimum of 290 feet of sight distance looking west from the new access road. For a speed of 30 miles per hour, the design value for the intersection sight distance for a motorist turning left from a stop is 335 feet.

Therefore, it is desirable to provide a minimum of 335 feet of sight distance looking east from the new access road.

According to field measurements, adequate intersection sight distance is available for turning left and right out the proposed site accesses. Over 500 feet of sight distance is available looking east and west from the location of the proposed new access road.

5.3 Queue Analyses

In addition to the capacity analyses at the study intersections, the 95th percentile queue lengths during the AM and PM peak hours were evaluated for all study intersections. Table 7 shows the queues for the critical movements at the signalized study intersections for the background and projected conditions. Queue analysis worksheets for all study intersections are included in Appendix E.

As shown, the queue lengths under the projected conditions remain the same or decrease compared to background conditions with one exception. The southbound right-turn of the Briley Parkway off-ramp at Centennial Boulevard increases by 40 feet and exceeds the available storage in the AM peak hour.

TABLE 7: PEAK HOUR QUEUES LENGTHS

INTERSECTION	TURNING MOVEMENT	AVAILABLE STORAGE	95 TH PERCENTILE QUEUE LENGTH			
			BACKGROUND		PROJECTED	
			AM	PM	AM	PM
Robertson Avenue/ Urbandale Avenue and Briley Parkway/ White Bridge Pike	Eastbound Left-Turn	150'	83'	70'	71'	65'
	Eastbound Right-Turn	160'	556'	52'	479'	51'
	Westbound Left-Turn	145'	82'	121'	82'	121'
	Northbound Left-Turn	100'	46'	70'	38'	69'
	Southbound Left-Turn	170'	48'	27'	48'	27'
	Southbound Right-Turn	160'	5'	0'	0'	0'

TABLE 7: PEAK HOUR QUEUES LENGTHS (CONTINUED)

INTERSECTION	TURNING MOVEMENT	AVAILABLE STORAGE	95 TH PERCENTILE QUEUE LENGTH			
			BACKGROUND		PROJECTED	
			AM	PM	AM	PM
Centennial Boulevard and Cockrill Bend Boulevard	Eastbound Left-Turn	120'	16'	10'	16'	10'
	Westbound Left-Turn	240'	104'	14'	103'	14'
	Westbound Right-Turn	450'	155'	16'	147'	16'
	Northbound Left-Turn	80'	6'	4'	6'	4'
	Southbound Left-Turn	290'	80'	261'	80'	261'
Centennial Boulevard and Briley Parkway Southbound Ramps	Eastbound Right-Turn	170'	197'	186'	162'	183'
	Westbound Left-Turn	170'	68'	48'	68'	48'
	Southbound Left-Turn	750' Combined	258'	147'	258'	147'
	Southbound Right-Turn		422'	48'	462'	49'

5.4 Turn Lane Warrant Analysis

The westbound approach of Cockrill Bend Boulevard at the intersection with the new site access road was evaluated for the need to provide a left-turn lane based on the projected traffic volumes. This analysis was based on the procedures outlined in M.D. Harmelink's *Volume Warrants for Left-Turn Storage Lanes at Unsignalized Intersections*. It should be noted that these analysis procedures do not account for the presence of heavy vehicles. The results on the analysis indicate that a left-turn lane is not warranted in the AM or PM peak hour. However, a westbound left-turn lane is recommended in order to separate the high volume of left-turning heavy vehicles from through volumes on Cockrill Bend Boulevard. The left-turn lane analyses are included in Appendix H.

5.4 Pedestrian Analysis

Sidewalk is provided along the existing truck route; specifically, sidewalk is found along portions of the north side of Robertson Avenue. No sidewalk or pedestrian infrastructure is provided along Cockrill Bend Boulevard, which will carry additional

truck traffic once the project is complete. The project is not likely to impact pedestrians, but may provide a minor benefit to pedestrians on Robertson Avenue, as the Robertson Avenue corridor will experience a slight volume reduction and carry less heavy vehicles.

6. CONCLUSIONS AND RECOMMENDATIONS

The Rogers Group Quarry is located on Robertson Avenue, north of the intersection with Basswood Avenue in Nashville, Tennessee. According to the information provided by the Rogers Group Inc., the proposed development will relocate operations for much of the Rogers Group Quarry north of Richland Creek. As part of the proposed development, a bridge will be built across Richland Creek and will connect to Cockrill Bend Boulevard. Upon completion of the development, the quarry and the adjacent industrial land uses will access their sites via Centennial Boulevard/Cockrill Bend Boulevard rather than Robertson Avenue. No additional density will be added. These specific recommendations will provide safe and efficient traffic operations within the study area following the completion of the proposed project. The recommendations are as follows:

Robertson Avenue

- Due to the predominantly residential neighborhood characteristic of Robertson Avenue, it is recommended to explore additional truck restrictions along Robertson Avenue in conjunction with Metro Nashville Public Works. The completion of the proposed project will divert a high volume of heavy trucks currently utilizing Robertson Avenue.

Cockrill Bend Boulevard and New Site Access Road

- The northbound approach of the new site access road at Cockrill Bend Boulevard should be designed to include sufficient width for a minimum of one entering lane and one exiting lane. A stop bar and R1-1 'Stop' sign should be installed on the egress approach.
- As part of the construction of the project, the site access connection at Cockrill Bend Boulevard should be designed such that the departure sight triangles, as specified by AASHTO, will be clear of all sight obstructions, including landscaping, existing vegetation, monument signs/walls, fences, etc.
- The results of a left-turn lane analysis indicate that a left-turn lane is not warranted in the AM or PM peak hour. However, a westbound left-turn lane is recommended in order to separate the high volume of left-turning heavy vehicles from through volumes on Cockrill Bend Boulevard. The left-turn lane should include approximately 75 feet of storage and 180 feet of taper.

In summary, based on the analyses conducted, no further recommendations are presented for the proposed Rogers Group Quarry development. However, additional recommendations may be developed based on feedback from Metro Public Works during the required traffic study scoping meeting.

APPENDICES

**APPENDIX A
PRELIMINARY SITE PLAN**

**APPENDIX B
DETAILED KCI TRAFFIC COUNTS**

**APPENDIX C
TDOT COUNT DATA**

**APPENDIX D
METRO SIGNAL TIMING**

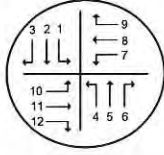
**APPENDIX E
CAPACITY ANALYSIS**

**APPENDIX F
TURN LANE ANALYSES**

**APPENDIX A
PRELIMINARY SITE PLAN**



APPENDIX B
DETAILED KCI TRAFFIC COUNTS



INTERSECTION TRAFFIC VOLUME COUNTS

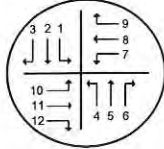
LOCATION: Centennial Boulevard & Cockrill Bend Boulevard
 DATE: 7/10/18
 RECORDER: Courtney Small
 NOTES:

LOCATION TIME	Southbound Centennial Boulevard			Northbound Centennial Boulevard			Westbound Cockrill Bend Boulevard			Eastbound Cockrill Bend Boulevard		
	1	2	3	4	5	6	7	8	9	10	11	12
5:00-5:15 AM												
5:15-5:30												
5:30-5:45												
5:45-6:00												
6:00-6:15 AM												
6:15-6:30												
6:30-6:45												
6:45-7:00												
7:00-7:15	32	1	1		2	2	34	140	117		73	
7:15-7:30	41	1					38	137	126	1	75	
7:30-7:45	33	1	1	1		6	23	132	113	3	61	
7:45-8:00	32	1	3	2		3	23	118	126	2	48	
8:00-8:15	38		3	1		9	20	107	105	1	39	
8:15-8:30	41	1	3	4	1	8	22	84	73	4	48	2
8:30-8:45	58	2	1	1		7	18	75	87	1	32	
8:45-9:00	68	2	1	2		3	14	69	73	4	42	
9:00-9:15												
9:15-9:30												
9:30-9:45												
9:45-10:00												
10:00-10:15												
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3:00-3:15												
3:15-3:30												
3:30-3:45												
3:45-4:00												
4:00-4:15	129		1	1	1	45	1	36	41	1	146	
4:15-4:30	92		2			11	1	37	66	1	94	
4:30-4:45	170	1	4	1	1	24	3	47	43	1	151	1
4:45-5:00	111	2	1	1	1	5	3	46	56	2	102	2
5:00-5:15	209		2			5	4	33	41		145	
5:15-5:30	80					3	8	37	65	1	78	
5:30-5:45	97	1				9	10	27	65	1	73	
5:45-6:00	77					4	10	32	63	1	57	
6:00-6:15												
6:15-6:30												
6:30-6:45												
6:45-7:00												
7:00-7:15												
7:15-7:30												
7:30-7:45												
7:45-8:00												
8:00-8:15												
8:15-8:30												
8:30-8:45												
8:45-9:00												
TOTAL	1,308	13	23	14	6	144	232	1,157	1,260	24	1,264	5
AM PK HR	138	4	5	3	2	11	118	527	482	6	257	
MID PK HR												
PM PK HR	582	3	9	2	2	45	11	163	206	4	492	3

402
821
1,195
1,553
1,474
1,346
1,254
1,174
851
560
278

402
706
1,153
1,485
1,522
1,490
1,326
1,238
799
527
244

8:00 AM - 9:00 AM
5:15 PM - 6:15 PM



INTERSECTION TRAFFIC VOLUME COUNTS

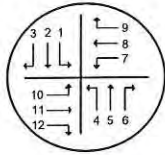
LOCATION: Briley Parkway Southbound Ramps & Cockrill Bend Boulevard
 DATE: 7/10/18
 RECORDER: Zack Murphy
 NOTES:

LOCATION TIME	Southbound			Northbound			Westbound			Eastbound		
	Briley Parkway Southbound Ramps	Briley Parkway Southbound Ramps	Briley Parkway Southbound Ramps	Cockrill Bend Boulevard	Cockrill Bend Boulevard	Cockrill Bend Boulevard	Cockrill Bend Boulevard	Cockrill Bend Boulevard	Cockrill Bend Boulevard	Cockrill Bend Boulevard	Cockrill Bend Boulevard	
6:00-6:15 AM												
6:15-6:30												
6:30-6:45												
6:45-7:00												
7:00-7:15	63		103				22	195			44	55
7:15-7:30	67		125				33	188			51	67
7:30-7:45	57		106				38	182			42	53
7:45-8:00	80		108				32	182			40	47
8:00-8:15	76		103				41	145			45	43
8:15-8:30	70		76				26	112			39	47
8:30-8:45	52		64				30	130			47	37
8:45-9:00	50	1	48				26	124			43	66
9:00-9:15												
9:15-9:30												
9:30-9:45												
9:45-10:00												
10:00-10:15												
10:15-10:30												
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11:45-12:00 PM												
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2:45-3:00												
3:00-3:15												
3:15-3:30												
3:30-3:45												
3:45-4:00												
4:00-4:15	29	2	13				21	59			155	138
4:15-4:30	37		17				21	85			97	85
4:30-4:45	30		37				29	64			170	165
4:45-5:00	28		29				35	78			125	95
5:00-5:15	33		25				42	54			180	175
5:15-5:30	28	1	33				27	78			79	79
5:30-5:45	31		42				24	58			94	75
5:45-6:00	31		39				23	72			63	75
6:00-6:15												
6:15-6:30												
6:30-6:45												
6:45-7:00												
7:00-7:15												
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8:30-8:45												
8:45-9:00												
9:00-9:15												
9:15-9:30												
9:30-9:45												
9:45-10:00 PM												
TOTAL	762	4	968				470	1,806			1,314	1,302
AM PK HR	267		442				125	747			177	222
MID PK HR												
PM PK HR	128		108				127	281			572	520

482
1,013
1,491
1,980
1,951
1,790
1,672
1,541
1,088
718
358

417
759
1,254
1,644
1,736
1,719
1,548
952
627
303

7:00 AM - 8:00 AM
4:15 PM - 5:15 PM



INTERSECTION TRAFFIC VOLUME COUNTS

LOCATION: Basswood Ave & Robertson Ave
 DATE: 7/11/2018
 RECORDER: Darryl Glascock (live)
 NOTES: no stop sign or indicator on NB leg of basswood
 several trucks fail to stop on Robertson both directions

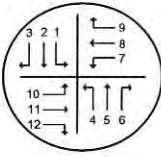
LOCATION	Southbound			Northbound			Westbound			Eastbound		
	Redstone Access			Basswood			Robertson Ave			Robertson Ave		
TIME	1	2	3	4	5	6	7	8	9	10	11	12
6:00-6:15 AM												
6:15-6:30												
6:30-6:45												
6:45-7:00												
7:00-7:15	4					6	2	15			6	
7:15-7:30						4		6	2		10	
7:30-7:45	4		1			10	1	3	7	1	5	
7:45-8:00	5			1		6	4	12	1		2	
8:00-8:15	3			1		6	1	12	6		10	1
8:15-8:30	5					2	2	14	7	1	12	
8:30-8:45	4					6	1	11	1		12	
8:45-9:00	3					2	2	9	2		10	
9:00-9:15												
9:15-9:30												
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10:45-11:00												
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11:15-11:30												
11:30-11:45												
11:45-12:00 PM												
12:00-12:15												
12:15-12:30												
12:30-12:45												
12:45-1:00												
1:00-1:15												
1:15-1:30												
1:30-1:45												
1:45-2:00												
2:00-2:15												
2:15-2:30												
2:30-2:45												
2:45-3:00												
3:00-3:15												
3:15-3:30												
3:30-3:45												
3:45-4:00												
4:00-4:15						7	7	3	1		5	
4:15-4:30	1					2	10				6	1
4:30-4:45	1					4	10	4			4	3
4:45-5:00	1					6	12	2			6	2
5:00-5:15						5	10	1			3	
5:15-5:30		1				3	11	3			4	
5:30-5:45	1					4	4	4	1		6	
5:45-6:00	4			1		5	11	1			2	
6:00-6:15												
6:15-6:30												
6:30-6:45												
6:45-7:00												
7:00-7:15												
7:15-7:30												
7:30-7:45												
7:45-8:00												
8:00-8:15												
8:15-8:30												
8:30-8:45												
8:45-9:00												
9:00-9:15												
9:15-9:30												
9:30-9:45												
9:45-10:00 PM												
TOTAL	36	1	1	3		78	88	100	28	2	103	7
AM PK HR	13		1	1		26	7	36	10	1	23	
MID PK HR												
PM PK HR	3					17	42	7			19	6

33
55
87
118
125
146
149
146
106
63
28

23
43
69
98
94
96
90
85
66
44
24

7:00 AM - 8:00 AM

4:15 PM - 5:15 PM



INTERSECTION TRAFFIC VOLUME COUNTS

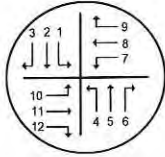
LOCATION: Annex Ave & Robertson Ave
 DATE: 7/11/2018
 RECORDER: Zhiwar Rachid (live)
 NOTES:

LOCATION TIME	Southbound Annex Ave			Northbound Annex Ave			Westbound Robertson			Eastbound Robertson		
	1	2	3	4	5	6	7	8	9	10	11	12
6:00-6:15 AM												
6:15-6:30												
6:30-6:45												
6:45-7:00												
7:00-7:15	1			2	5	31	16	19	1		24	
7:15-7:30	3			1	2	34	18	8			18	
7:30-7:45	2	5			2	32	19	14			23	
7:45-8:00		4		1	3	47	18	21			19	
8:00-8:15	5	3			2	33	26	16	1		25	
8:15-8:30		3	1		3	25	20	28		1	19	
8:30-8:45	2	1			5	35	17	13	1	1	23	1
8:45-9:00	2	2		1	3	24	11	16		1	15	
9:00-9:15												
9:15-9:30												
9:30-9:45												
9:45-10:00												
10:00-10:15												
10:15-10:30												
10:30-10:45												
10:45-11:00												
11:00-11:15												
11:15-11:30												
11:30-11:45												
11:45-12:00 PM												
12:00-12:15												
12:15-12:30												
12:30-12:45												
12:45-1:00												
1:00-1:15												
1:15-1:30												
1:30-1:45												
1:45-2:00												
2:00-2:15												
2:15-2:30												
2:30-2:45												
2:45-3:00												
3:00-3:15												
3:15-3:30												
3:30-3:45												
3:45-4:00												
4:00-4:15		3	2		5	24	43	13	1	1	17	
4:15-4:30	1	11	2		4	27	47	13	1		11	1
4:30-4:45	2	5	3		3	29	45	16	1		14	1
4:45-5:00	4	3	1		5	22	59	13	4		13	
5:00-5:15		9	1	1	4	22	48	14			15	
5:15-5:30		10			4	28	67	17	2		9	1
5:30-5:45	1	10			6	29	52	10	3	1	13	
5:45-6:00		7		2	11	31	47	16	1	1	11	3
6:00-6:15												
6:15-6:30												
6:30-6:45												
6:45-7:00												
7:00-7:15												
7:15-7:30												
7:30-7:45												
7:45-8:00												
8:00-8:15												
8:15-8:30												
8:30-8:45												
8:45-9:00												
9:00-9:15												
9:15-9:30												
9:30-9:45												
9:45-10:00 PM												
TOTAL	23	76	10	8	67	473	553	247	16	6	269	7
AM PK HR	6	9		4	12	144	71	62	1		84	
MID PK HR												
PM PK HR	7	28	7	1	16	100	199	56	6		53	2

99
183
280
393
405
421
423
385
274
174
75

109
227
346
470
475
495
501
507
393
255
130

7:00 AM - 8:00 AM
4:15 PM - 5:15 PM



INTERSECTION TRAFFIC VOLUME COUNTS

LOCATION: James Avenue/Westboro Drive & Robertson Avenue
 DATE: 7/11/18
 RECORDER: Courtney Small
 NOTES:

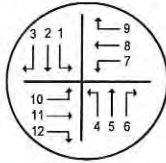
LOCATION TIME	Southbound James Avenue			Northbound Westboro Drive			Westbound Robertson Avenue			Eastbound Robertson Avenue		
	1	2	3	4	5	6	7	8	9	10	11	12
6:00-6:15 AM												
6:15-6:30												
6:30-6:45												
6:45-7:00												
7:00-7:15	6	3	6	1	9	10	3	29	1	12	39	5
7:15-7:30	1	10	7	1	17	6	4	17	2	14	37	1
7:30-7:45	4	7	6	1	19	8	5	27		11	51	
7:45-8:00	3	7	5		15	10	5	31	4	11	49	
8:00-8:15	5	6	5		6	6	2	39	1	13	48	3
8:15-8:30	3	5	9		10	2	4	39		9	39	1
8:30-8:45	5	10	5	1	8	7	3	26	1	12	46	1
8:45-9:00	4	9	1		17	8	6	25		6	30	1
9:00-9:15												
9:15-9:30												
9:30-9:45												
9:45-10:00												
10:00-10:15												
10:15-10:30												
10:30-10:45												
10:45-11:00												
11:00-11:15												
11:15-11:30												
11:30-11:45												
11:45-12:00 PM												
12:00-12:15												
12:15-12:30												
12:30-12:45												
12:45-1:00												
1:00-1:15												
1:15-1:30												
1:30-1:45												
1:45-2:00												
2:00-2:15												
2:15-2:30												
2:30-2:45												
2:45-3:00												
3:00-3:15												
3:15-3:30												
3:30-3:45												
3:45-4:00												
4:00-4:15	6	15	12	1	20	5	8	46	4	7	35	1
4:15-4:30	1	18	16	1	12	10	11	45	6	8	30	2
4:30-4:45	5	14	14	2	12	6	15	49	5	13	33	
4:45-5:00	3	13	11	2	9	6	8	62	3	10	31	
5:00-5:15	4	25	10	3	25	11	12	53	4	11	26	2
5:15-5:30	8	23	18	6	17	8	18	64	1	10	25	1
5:30-5:45	8	14	15	1	19	7	8	47		5	36	1
5:45-6:00	2	15	12		9	13	13	56	5	13	30	
6:00-6:15												
6:15-6:30												
6:30-6:45												
6:45-7:00												
7:00-7:15												
7:15-7:30												
7:30-7:45												
7:45-8:00												
8:00-8:15												
8:15-8:30												
8:30-8:45												
8:45-9:00												
9:00-9:15												
9:15-9:30												
9:30-9:45												
9:45-10:00 PM												
TOTAL	68	194	152	20	224	123	125	655	37	165	585	19
AM PK HR	14	27	24	3	60	34	17	104	7	48	176	6
MID PK HR												
PM PK HR	13	70	51	8	58	33	46	209	18	42	120	4

124
241
380
520
530
534
520
487
353
232
107

160
320
488
646
672
711
704
714
528
329
168

7:00 AM - 8:00 AM

4:15 PM - 5:15 PM



INTERSECTION TRAFFIC VOLUME COUNTS

LOCATION: Briley Parkway/White Bridge Pike & Robertson Avenue
 DATE: 7/11/18
 RECORDER: Zack Murphy
 NOTES:

LOCATION	Southbound Briley Parkway			Northbound White Bridge Pike			Westbound Robertson Avenue			Eastbound Robertson Avenue		
	1	2	3	4	5	6	7	8	9	10	11	12
6:00-6:15 AM												
6:15-6:30												
6:30-6:45												
6:45-7:00												
7:00-7:15	22	225	23	51	62	8	8	3	4	20	20	105
7:15-7:30	9	236	14	42	71	11	12	9	9	12	25	117
7:30-7:45	23	232	13	38	85	14	11	7	7	9	30	135
7:45-8:00	23	249	22	39	68	8	22	5	10	13	32	106
8:00-8:15	18	252	9	60	75	12	7	14	5	11	19	99
8:15-8:30	15	193	11	52	75	10	12	5	7	10	23	114
8:30-8:45	15	189	10	39	67	10	15	11	7	8	19	122
8:45-9:00	14	208	14	40	59	5	18	7	3	7	19	97
9:00-9:15												
9:15-9:30												
9:30-9:45												
9:45-10:00												
10:00-10:15												
10:15-10:30												
10:30-10:45												
10:45-11:00												
11:00-11:15												
11:15-11:30												
11:30-11:45												
11:45-12:00 PM												
12:00-12:15												
12:15-12:30												
12:30-12:45												
12:45-1:00												
1:00-1:15												
1:15-1:30												
1:30-1:45												
1:45-2:00												
2:00-2:15												
2:15-2:30												
2:30-2:45												
2:45-3:00												
3:00-3:15												
3:15-3:30												
3:30-3:45												
3:45-4:00												
4:00-4:15	9	112	18	80	204	18	32	36	21	16	13	57
4:15-4:30	4	88	24	76	226	19	25	23	18	8	19	42
4:30-4:45	10	92	24	79	236	13	29	28	24	21	19	54
4:45-5:00	17	88	22	93	233	14	41	38	14	23	18	58
5:00-5:15	16	109	15	89	244	15	32	36	22	14	10	58
5:15-5:30	10	119	34	108	190	25	34	34	15	16	16	61
5:30-5:45	7	115	19	93	183	22	29	46	16	11	13	56
5:45-6:00	12	84	12	97	156	23	30	25	11	20	15	49
6:00-6:15												
6:15-6:30												
6:30-6:45												
6:45-7:00												
7:00-7:15												
7:15-7:30												
7:30-7:45												
7:45-8:00												
8:00-8:15												
8:15-8:30												
8:30-8:45												
8:45-9:00												
9:00-9:15												
9:15-9:30												
9:30-9:45												
9:45-10:00 PM												
TOTAL	224	2,591	284	1,076	2,234	227	357	327	193	219	310	1,330
AM PK HR	77	942	72	170	286	41	53	24	30	54	107	463
MID PK HR												
PM PK HR	47	377	85	337	939	61	127	125	78	66	66	212

551
 1,118
 1,722
 2,319
 2,349
 2,309
 2,217
 2,111
 1,530
 1,003
 491

616
 1,188
 1,817
 2,476
 2,520
 2,610
 2,591
 2,466
 1,806
 1,144
 534

7:00 AM - 8:00 AM
 4:15 PM - 5:15 PM

Unit Type: PicoCount 2500 V2.30
 Serial Number: 14042238
 ID: 14042238
 Location: Cockriill Bend Blvd at Prison site 071018 24 hr VOL
 Comments:

Dwell: 68 ms

Measurements: English

Start Date: #####

Start Time: 6:00

Export Version: Volume V1.03

Interval: 15 Min

Title: Vehicle Volume

Date/Time	Westbound	Eastbound	Total
07/10/2018 06:00 - 06:14	0	0	0
07/10/2018 06:15 - 06:29	32	8	40
07/10/2018 06:30 - 06:44	87	27	114
07/10/2018 06:45 - 06:59	113	21	134
07/10/2018 07:00 - 07:14	87	49	136
07/10/2018 07:15 - 07:29	97	41	138
07/10/2018 07:30 - 07:44	90	26	116
07/10/2018 07:45 - 07:59	105	23	128
07/10/2018 08:00 - 08:14	96	23	119
07/10/2018 08:15 - 08:29	56	36	92
07/10/2018 08:30 - 08:44	54	16	70
07/10/2018 08:45 - 08:59	42	25	67
07/10/2018 09:00 - 09:14	39	21	60
07/10/2018 09:15 - 09:29	40	25	65
07/10/2018 09:30 - 09:44	43	29	72
07/10/2018 09:45 - 09:59	44	30	74
07/10/2018 10:00 - 10:14	28	32	60
07/10/2018 10:15 - 10:29	33	29	62
07/10/2018 10:30 - 10:44	34	47	81
07/10/2018 10:45 - 10:59	29	33	62
07/10/2018 11:00 - 11:14	35	48	83
07/10/2018 11:15 - 11:29	33	51	84
07/10/2018 11:30 - 11:44	52	55	107
07/10/2018 11:45 - 11:59	49	51	100
07/10/2018 12:00 - 12:14	33	62	95
07/10/2018 12:15 - 12:29	45	41	86
07/10/2018 12:30 - 12:44	51	52	103
07/10/2018 12:45 - 12:59	46	40	86
07/10/2018 13:00 - 13:14	52	32	84
07/10/2018 13:15 - 13:29	50	35	85
07/10/2018 13:30 - 13:44	43	62	105
07/10/2018 13:45 - 13:59	52	41	93
07/10/2018 14:00 - 14:14	30	52	82
07/10/2018 14:15 - 14:29	28	71	99

07/10/2018 14:30 - 14:44	25	74	99
07/10/2018 14:45 - 14:59	36	59	95
07/10/2018 15:00 - 15:14	28	91	119
07/10/2018 15:15 - 15:29	22	57	79
07/10/2018 15:30 - 15:44	18	98	116
07/10/2018 15:45 - 15:59	23	48	71
07/10/2018 16:00 - 16:14	21	103	124
07/10/2018 16:15 - 16:29	15	64	79
07/10/2018 16:30 - 16:44	23	84	107
07/10/2018 16:45 - 16:59	20	62	82
07/10/2018 17:00 - 17:14	22	99	121
07/10/2018 17:15 - 17:29	18	46	64
07/10/2018 17:30 - 17:44	20	51	71
07/10/2018 17:45 - 17:59	21	37	58
07/10/2018 18:00 - 18:14	16	27	43
07/10/2018 18:15 - 18:29	8	37	45
07/10/2018 18:30 - 18:44	7	30	37
07/10/2018 18:45 - 18:59	5	23	28
07/10/2018 19:00 - 19:14	4	34	38
07/10/2018 19:15 - 19:29	7	19	26
07/10/2018 19:30 - 19:44	5	11	16
07/10/2018 19:45 - 19:59	5	21	26
07/10/2018 20:00 - 20:14	9	9	18
07/10/2018 20:15 - 20:29	4	19	23
07/10/2018 20:30 - 20:44	5	8	13
07/10/2018 20:45 - 20:59	8	3	11
07/10/2018 21:00 - 21:14	7	3	10
07/10/2018 21:15 - 21:29	11	4	15
07/10/2018 21:30 - 21:44	16	17	33
07/10/2018 21:45 - 21:59	14	10	24
07/10/2018 22:00 - 22:14	7	25	32
07/10/2018 22:15 - 22:29	1	12	13
07/10/2018 22:30 - 22:44	2	13	15
07/10/2018 22:45 - 22:59	2	3	5
07/10/2018 23:00 - 23:14	4	5	9
07/10/2018 23:15 - 23:29	5	4	9
07/10/2018 23:30 - 23:44	0	5	5
07/10/2018 23:45 - 23:59	1	3	4
07/11/2018 00:00 - 00:14	0	10	10
07/11/2018 00:15 - 00:29	7	1	8
07/11/2018 00:30 - 00:44	3	13	16
07/11/2018 00:45 - 00:59	0	2	2
07/11/2018 01:00 - 01:14	3	3	6
07/11/2018 01:15 - 01:29	2	3	5
07/11/2018 01:30 - 01:44	1	6	7
07/11/2018 01:45 - 01:59	1	2	3
07/11/2018 02:00 - 02:14	2	4	6

07/11/2018 02:15 - 02:29	3	2	5
07/11/2018 02:30 - 02:44	6	1	7
07/11/2018 02:45 - 02:59	4	3	7
07/11/2018 03:00 - 03:14	3	0	3
07/11/2018 03:15 - 03:29	5	3	8
07/11/2018 03:30 - 03:44	8	1	9
07/11/2018 03:45 - 03:59	22	4	26
07/11/2018 04:00 - 04:14	8	1	9
07/11/2018 04:15 - 04:29	8	2	10
07/11/2018 04:30 - 04:44	13	3	16
07/11/2018 04:45 - 04:59	39	10	49
07/11/2018 05:00 - 05:14	26	5	31
07/11/2018 05:15 - 05:29	43	8	51
07/11/2018 05:30 - 05:44	68	12	80
07/11/2018 05:45 - 05:59	96	16	112
07/11/2018 06:00 - 06:14	57	22	79
07/11/2018 06:15 - 06:29	85	26	111
07/11/2018 06:30 - 06:44	96	22	118
07/11/2018 06:45 - 06:59	112	32	144
07/11/2018 07:00 - 07:14	85	38	123
07/11/2018 07:15 - 07:29	102	37	139
07/11/2018 07:30 - 07:44	109	23	132
07/11/2018 07:45 - 07:59	104	25	129
07/11/2018 08:00 - 08:14	79	26	105
07/11/2018 08:15 - 08:29	63	24	87
07/11/2018 08:30 - 08:44	47	26	73
07/11/2018 08:45 - 08:59	40	28	68
07/11/2018 09:00 - 09:14	47	30	77
07/11/2018 09:15 - 09:29	45	31	76
07/11/2018 09:30 - 09:44	28	25	53
07/11/2018 09:45 - 09:59	40	33	73
07/11/2018 10:00 - 10:14	29	32	61
07/11/2018 10:15 - 10:29	39	29	68
07/11/2018 10:30 - 10:44	37	28	65
07/11/2018 10:45 - 10:59	34	37	71
07/11/2018 11:00 - 11:14	42	43	85
07/11/2018 11:15 - 11:29	48	61	109
07/11/2018 11:30 - 11:44	42	62	104
07/11/2018 11:45 - 11:59	37	54	91
07/11/2018 12:00 - 12:14	49	62	111
07/11/2018 12:15 - 12:29	48	46	94
07/11/2018 12:30 - 12:44	48	53	101
07/11/2018 12:45 - 12:59	46	43	89
07/11/2018 13:00 - 13:14	56	40	96
07/11/2018 13:15 - 13:29	62	39	101
07/11/2018 13:30 - 13:44	46	80	126
07/11/2018 13:45 - 13:59	51	52	103

07/11/2018 14:00 - 14:14	36	68	104
07/11/2018 14:15 - 14:29	34	63	97
07/11/2018 14:30 - 14:44	34	85	119

Unit Type: PicoCount 2500 V2.35
 Serial Number: 16051019
 ID:
 Location: 1-WB Centennial to NB Briley RAMP 071918
 Comments: PM Peak 071918 & AM Peak 072018
 Dwell: 68 ms
 Measurements: English
 Start Date: #####
 Start Time: 15:30
 Export Version: Volume V1.03
 Interval: 15 Min
 Title: Vehicle Volume
 Date/Time Northbound
 07/19/2018 15:30 - 15:44 118
 07/19/2018 15:45 - 15:59 88
 07/19/2018 16:00 - 16:14 144
 07/19/2018 16:15 - 16:29 114
 07/19/2018 16:30 - 16:44 161
 07/19/2018 16:45 - 16:59 115
 07/19/2018 17:00 - 17:14 166
 07/19/2018 17:15 - 17:29 114
 07/19/2018 17:30 - 17:44 77
 07/19/2018 17:45 - 17:59 63
 07/19/2018 18:00 - 18:14 72
 07/19/2018 18:15 - 18:29 51
 07/19/2018 18:30 - 18:44 47
 07/19/2018 18:45 - 18:59 44
 07/19/2018 19:00 - 19:14 31
 07/19/2018 19:15 - 19:29 38
 07/19/2018 19:30 - 19:44 19
 07/19/2018 19:45 - 19:59 21
 07/19/2018 20:00 - 20:14 27
 07/19/2018 20:15 - 20:29 20
 07/19/2018 20:30 - 20:44 18
 07/19/2018 20:45 - 20:59 13
 07/19/2018 21:00 - 21:14 19
 07/19/2018 21:15 - 21:29 18
 07/19/2018 21:30 - 21:44 11
 07/19/2018 21:45 - 21:59 25
 07/19/2018 22:00 - 22:14 13
 07/19/2018 22:15 - 22:29 11
 07/19/2018 22:30 - 22:44 16
 07/19/2018 22:45 - 22:59 9
 07/19/2018 23:00 - 23:14 11
 07/19/2018 23:15 - 23:29 12
 07/19/2018 23:30 - 23:44 6
 07/19/2018 23:45 - 23:59 2

07/20/2018 00:00 - 00:14	6
07/20/2018 00:15 - 00:29	6
07/20/2018 00:30 - 00:44	5
07/20/2018 00:45 - 00:59	4
07/20/2018 01:00 - 01:14	11
07/20/2018 01:15 - 01:29	15
07/20/2018 01:30 - 01:44	17
07/20/2018 01:45 - 01:59	6
07/20/2018 02:00 - 02:14	7
07/20/2018 02:15 - 02:29	1
07/20/2018 02:30 - 02:44	8
07/20/2018 02:45 - 02:59	4
07/20/2018 03:00 - 03:14	11
07/20/2018 03:15 - 03:29	9
07/20/2018 03:30 - 03:44	14
07/20/2018 03:45 - 03:59	3
07/20/2018 04:00 - 04:14	8
07/20/2018 04:15 - 04:29	7
07/20/2018 04:30 - 04:44	10
07/20/2018 04:45 - 04:59	17
07/20/2018 05:00 - 05:14	13
07/20/2018 05:15 - 05:29	25
07/20/2018 05:30 - 05:44	27
07/20/2018 05:45 - 05:59	17
07/20/2018 06:00 - 06:14	19
07/20/2018 06:15 - 06:29	25
07/20/2018 06:30 - 06:44	39
07/20/2018 06:45 - 06:59	33
07/20/2018 07:00 - 07:14	42
07/20/2018 07:15 - 07:29	49
07/20/2018 07:30 - 07:44	47
07/20/2018 07:45 - 07:59	44
07/20/2018 08:00 - 08:14	36
07/20/2018 08:15 - 08:29	39
07/20/2018 08:30 - 08:44	53
07/20/2018 08:45 - 08:59	38
07/20/2018 09:00 - 09:14	58
07/20/2018 09:15 - 09:29	40
07/20/2018 09:30 - 09:44	48
07/20/2018 09:45 - 09:59	41
07/20/2018 10:00 - 10:14	61
07/20/2018 10:15 - 10:29	44
07/20/2018 10:30 - 10:44	62
07/20/2018 10:45 - 10:59	37
07/20/2018 11:00 - 11:14	50
07/20/2018 11:15 - 11:29	50
07/20/2018 11:30 - 11:44	51

07/20/2018 11:45 - 11:59

53

Unit Type: PicoCount 2500 V2.30
 Serial Number: 14060361
 ID: 14060361
 Location: 2- NB Briley to WB Centennial RAMP 071918
 Comments: PM Peak 071918 & AM Peak 072018
 Dwell: 68 ms
 Measurements: English
 Start Date: #####
 Start Time: 15:30
 Export Version: Volume V1.03
 Interval: 15 Min
 Title: Vehicle Volume
 Date/Time Westbound

07/19/2018 15:30 - 15:44	81
07/19/2018 15:45 - 15:59	67
07/19/2018 16:00 - 16:14	63
07/19/2018 16:15 - 16:29	60
07/19/2018 16:30 - 16:44	54
07/19/2018 16:45 - 16:59	62
07/19/2018 17:00 - 17:14	41
07/19/2018 17:15 - 17:29	58
07/19/2018 17:30 - 17:44	57
07/19/2018 17:45 - 17:59	56
07/19/2018 18:00 - 18:14	34
07/19/2018 18:15 - 18:29	27
07/19/2018 18:30 - 18:44	34
07/19/2018 18:45 - 18:59	39
07/19/2018 19:00 - 19:14	12
07/19/2018 19:15 - 19:29	27
07/19/2018 19:30 - 19:44	13
07/19/2018 19:45 - 19:59	30
07/19/2018 20:00 - 20:14	15
07/19/2018 20:15 - 20:29	26
07/19/2018 20:30 - 20:44	16
07/19/2018 20:45 - 20:59	23
07/19/2018 21:00 - 21:14	23
07/19/2018 21:15 - 21:29	19
07/19/2018 21:30 - 21:44	16
07/19/2018 21:45 - 21:59	15
07/19/2018 22:00 - 22:14	27
07/19/2018 22:15 - 22:29	26
07/19/2018 22:30 - 22:44	16
07/19/2018 22:45 - 22:59	18
07/19/2018 23:00 - 23:14	15
07/19/2018 23:15 - 23:29	17
07/19/2018 23:30 - 23:44	12
07/19/2018 23:45 - 23:59	16

07/20/2018 00:00 - 00:14	7
07/20/2018 00:15 - 00:29	4
07/20/2018 00:30 - 00:44	5
07/20/2018 00:45 - 00:59	11
07/20/2018 01:00 - 01:14	5
07/20/2018 01:15 - 01:29	15
07/20/2018 01:30 - 01:44	13
07/20/2018 01:45 - 01:59	20
07/20/2018 02:00 - 02:14	17
07/20/2018 02:15 - 02:29	11
07/20/2018 02:30 - 02:44	26
07/20/2018 02:45 - 02:59	16
07/20/2018 03:00 - 03:14	17
07/20/2018 03:15 - 03:29	17
07/20/2018 03:30 - 03:44	9
07/20/2018 03:45 - 03:59	34
07/20/2018 04:00 - 04:14	25
07/20/2018 04:15 - 04:29	38
07/20/2018 04:30 - 04:44	36
07/20/2018 04:45 - 04:59	63
07/20/2018 05:00 - 05:14	60
07/20/2018 05:15 - 05:29	53
07/20/2018 05:30 - 05:44	112
07/20/2018 05:45 - 05:59	132
07/20/2018 06:00 - 06:14	103
07/20/2018 06:15 - 06:29	157
07/20/2018 06:30 - 06:44	140
07/20/2018 06:45 - 06:59	196
07/20/2018 07:00 - 07:14	158
07/20/2018 07:15 - 07:29	138
07/20/2018 07:30 - 07:44	138
07/20/2018 07:45 - 07:59	142
07/20/2018 08:00 - 08:14	108
07/20/2018 08:15 - 08:29	117
07/20/2018 08:30 - 08:44	109
07/20/2018 08:45 - 08:59	113
07/20/2018 09:00 - 09:14	62
07/20/2018 09:15 - 09:29	63
07/20/2018 09:30 - 09:44	79
07/20/2018 09:45 - 09:59	98
07/20/2018 10:00 - 10:14	90
07/20/2018 10:15 - 10:29	90
07/20/2018 10:30 - 10:44	67
07/20/2018 10:45 - 10:59	88
07/20/2018 11:00 - 11:14	76
07/20/2018 11:15 - 11:29	102
07/20/2018 11:30 - 11:44	105

07/20/2018 11:45 - 11:59

90

TRAFFIC IMPACT STUDY

Unit Type:	PicoCount 2500 V2.40
Serial Number:	14060335
ID:	14060335
Location:	3- EB Centennial to NB Briley RAMPS 071918
Comments:	PM Peak 071918 & AM Peak 072018
Dwell:	68 ms
Measurements:	English
Start Date:	#####
Start Time:	15:30
Export Version:	Volume V1.03
Interval:	15 Min
Title:	Vehicle Volume
Date/Time	Northbound
07/19/2018 15:30 - 15:44	142
07/19/2018 15:45 - 15:59	81
07/19/2018 16:00 - 16:14	155
07/19/2018 16:15 - 16:29	107
07/19/2018 16:30 - 16:44	134
07/19/2018 16:45 - 16:59	94
07/19/2018 17:00 - 17:14	153
07/19/2018 17:15 - 17:29	74
07/19/2018 17:30 - 17:44	52
07/19/2018 17:45 - 17:59	34
07/19/2018 18:00 - 18:14	81
07/19/2018 18:15 - 18:29	39
07/19/2018 18:30 - 18:44	31
07/19/2018 18:45 - 18:59	29
07/19/2018 19:00 - 19:14	30
07/19/2018 19:15 - 19:29	23
07/19/2018 19:30 - 19:44	16
07/19/2018 19:45 - 19:59	8
07/19/2018 20:00 - 20:14	16
07/19/2018 20:15 - 20:29	30
07/19/2018 20:30 - 20:44	9
07/19/2018 20:45 - 20:59	9
07/19/2018 21:00 - 21:14	13
07/19/2018 21:15 - 21:29	7
07/19/2018 21:30 - 21:44	11
07/19/2018 21:45 - 21:59	6
07/19/2018 22:00 - 22:14	19
07/19/2018 22:15 - 22:29	13
07/19/2018 22:30 - 22:44	15
07/19/2018 22:45 - 22:59	10
07/19/2018 23:00 - 23:14	18
07/19/2018 23:15 - 23:29	4
07/19/2018 23:30 - 23:44	6
07/19/2018 23:45 - 23:59	9

07/20/2018 00:00 - 00:14	6
07/20/2018 00:15 - 00:29	9
07/20/2018 00:30 - 00:44	6
07/20/2018 00:45 - 00:59	6
07/20/2018 01:00 - 01:14	7
07/20/2018 01:15 - 01:29	6
07/20/2018 01:30 - 01:44	10
07/20/2018 01:45 - 01:59	6
07/20/2018 02:00 - 02:14	7
07/20/2018 02:15 - 02:29	7
07/20/2018 02:30 - 02:44	3
07/20/2018 02:45 - 02:59	10
07/20/2018 03:00 - 03:14	9
07/20/2018 03:15 - 03:29	2
07/20/2018 03:30 - 03:44	2
07/20/2018 03:45 - 03:59	10
07/20/2018 04:00 - 04:14	5
07/20/2018 04:15 - 04:29	0
07/20/2018 04:30 - 04:44	18
07/20/2018 04:45 - 04:59	8
07/20/2018 05:00 - 05:14	13
07/20/2018 05:15 - 05:29	21
07/20/2018 05:30 - 05:44	26
07/20/2018 05:45 - 05:59	28
07/20/2018 06:00 - 06:14	47
07/20/2018 06:15 - 06:29	27
07/20/2018 06:30 - 06:44	28
07/20/2018 06:45 - 06:59	26
07/20/2018 07:00 - 07:14	22
07/20/2018 07:15 - 07:29	22
07/20/2018 07:30 - 07:44	32
07/20/2018 07:45 - 07:59	17
07/20/2018 08:00 - 08:14	32
07/20/2018 08:15 - 08:29	23
07/20/2018 08:30 - 08:44	27
07/20/2018 08:45 - 08:59	25
07/20/2018 09:00 - 09:14	36
07/20/2018 09:15 - 09:29	21
07/20/2018 09:30 - 09:44	24
07/20/2018 09:45 - 09:59	21
07/20/2018 10:00 - 10:14	34
07/20/2018 10:15 - 10:29	24
07/20/2018 10:30 - 10:44	37
07/20/2018 10:45 - 10:59	23
07/20/2018 11:00 - 11:14	25
07/20/2018 11:15 - 11:29	30
07/20/2018 11:30 - 11:44	41

07/20/2018 11:45 - 11:59

17

Unit Type:	PicoCount 2500 V2.30
Serial Number:	14042238
ID:	14042238
Location:	4- NB Briley to EB Centennial RAMP 071918
Comments:	PM Peak 071918 & AM Peak 072018
Dwell:	68 ms
Measurements:	English
Start Date:	#####
Start Time:	15:30
Export Version:	Volume V1.03
Interval:	15 Min
Title:	Vehicle Volume
Date/Time	Eastbound
07/19/2018 15:30 - 15:44	30
07/19/2018 15:45 - 15:59	34
07/19/2018 16:00 - 16:14	35
07/19/2018 16:15 - 16:29	28
07/19/2018 16:30 - 16:44	40
07/19/2018 16:45 - 16:59	34
07/19/2018 17:00 - 17:14	19
07/19/2018 17:15 - 17:29	36
07/19/2018 17:30 - 17:44	24
07/19/2018 17:45 - 17:59	17
07/19/2018 18:00 - 18:14	31
07/19/2018 18:15 - 18:29	20
07/19/2018 18:30 - 18:44	22
07/19/2018 18:45 - 18:59	29
07/19/2018 19:00 - 19:14	16
07/19/2018 19:15 - 19:29	23
07/19/2018 19:30 - 19:44	14
07/19/2018 19:45 - 19:59	16
07/19/2018 20:00 - 20:14	11
07/19/2018 20:15 - 20:29	15
07/19/2018 20:30 - 20:44	15
07/19/2018 20:45 - 20:59	28
07/19/2018 21:00 - 21:14	18
07/19/2018 21:15 - 21:29	20
07/19/2018 21:30 - 21:44	17
07/19/2018 21:45 - 21:59	11
07/19/2018 22:00 - 22:14	12
07/19/2018 22:15 - 22:29	14
07/19/2018 22:30 - 22:44	11
07/19/2018 22:45 - 22:59	12
07/19/2018 23:00 - 23:14	9
07/19/2018 23:15 - 23:29	14
07/19/2018 23:30 - 23:44	2
07/19/2018 23:45 - 23:59	14

07/20/2018 00:00 - 00:14	11
07/20/2018 00:15 - 00:29	9
07/20/2018 00:30 - 00:44	5
07/20/2018 00:45 - 00:59	7
07/20/2018 01:00 - 01:14	7
07/20/2018 01:15 - 01:29	7
07/20/2018 01:30 - 01:44	3
07/20/2018 01:45 - 01:59	3
07/20/2018 02:00 - 02:14	5
07/20/2018 02:15 - 02:29	11
07/20/2018 02:30 - 02:44	2
07/20/2018 02:45 - 02:59	9
07/20/2018 03:00 - 03:14	5
07/20/2018 03:15 - 03:29	10
07/20/2018 03:30 - 03:44	12
07/20/2018 03:45 - 03:59	5
07/20/2018 04:00 - 04:14	12
07/20/2018 04:15 - 04:29	10
07/20/2018 04:30 - 04:44	17
07/20/2018 04:45 - 04:59	19
07/20/2018 05:00 - 05:14	13
07/20/2018 05:15 - 05:29	24
07/20/2018 05:30 - 05:44	22
07/20/2018 05:45 - 05:59	42
07/20/2018 06:00 - 06:14	40
07/20/2018 06:15 - 06:29	59
07/20/2018 06:30 - 06:44	49
07/20/2018 06:45 - 06:59	49
07/20/2018 07:00 - 07:14	52
07/20/2018 07:15 - 07:29	56
07/20/2018 07:30 - 07:44	45
07/20/2018 07:45 - 07:59	51
07/20/2018 08:00 - 08:14	34
07/20/2018 08:15 - 08:29	24
07/20/2018 08:30 - 08:44	36
07/20/2018 08:45 - 08:59	41
07/20/2018 09:00 - 09:14	42
07/20/2018 09:15 - 09:29	47
07/20/2018 09:30 - 09:44	37
07/20/2018 09:45 - 09:59	37
07/20/2018 10:00 - 10:14	37
07/20/2018 10:15 - 10:29	32
07/20/2018 10:30 - 10:44	46
07/20/2018 10:45 - 10:59	42
07/20/2018 11:00 - 11:14	38
07/20/2018 11:15 - 11:29	26
07/20/2018 11:30 - 11:44	44

07/20/2018 11:45 - 11:59

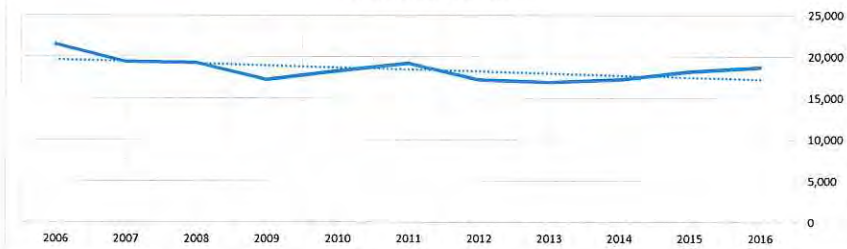
21

APPENDIX C
TDOT COUNT DATA

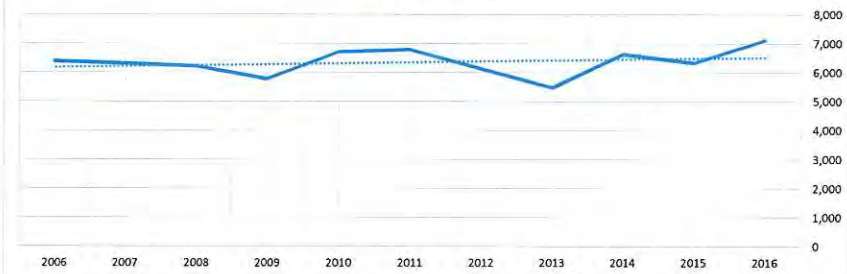
TDOT AADT Background Growth Trend Analysis

Year	Robertson Ave		63rd Ave		Centennial Boulevard		TOTAL		AVERAGE	
	Sta. 580	% Difference	Sta. 579	% Difference	Sta. 57	% Difference	% Difference			
2016	7,098	12.4%	4,465	0.6%	7,137	-4.1%	18,700	2.8%	3.4%	since 2014
2015	6,314	-4.4%	4,440	-6.9%	7,440	27.4%	18,194	5.7%	2.1%	since 2013
2014	6,608	21.0%	4,767	4.8%	5,840	-15.4%	17,215	1.8%	-0.4%	since 2012
2013	5,459	-10.7%	4,547	-6.1%	6,906	10.4%	16,912	-1.7%		
2012	6,110	-9.7%	4,843	-4.6%	6,255	-14.9%	17,208	-10.3%		
2011	6,766	1.1%	5,074	2.2%	7,348	11.0%	19,188	5.0%		
2010	6,693	16.3%	4,966	8.8%	6,621	-3.9%	18,280	6.2%		
2009	5,757	-7.1%	4,565	-19.2%	6,890	-7.1%	17,212	-10.7%		
2008	6,199	-1.4%	5,653	-4.8%	7,420	3.9%	19,272	-0.5%		
2007	6,290	-1.1%	5,936	3.0%	7,144	-23.8%	19,370	-9.9%		
2006	6,361	--	5,763	--	9,370	--	21,494	--		
Since 2014 Annual		3.7%		-3.2%		11.1%		4.3%		
Since 2013 Annual		10.01%		-0.60%		1.11%		3.52%		
Since 2012 Annual		4.04%		-1.95%		3.53%		2.17%		
Since 2011 Annual		0.98%		-2.40%		-0.57%		-0.51%		
Since 2010 Annual		1.01%		-1.68%		1.30%		0.38%		
Since 2008 Annual		1.81%		-2.63%		-0.48%		-0.70%		
Since 2006 Annual		1.16%		-2.25%		-2.38%		-1.30%		

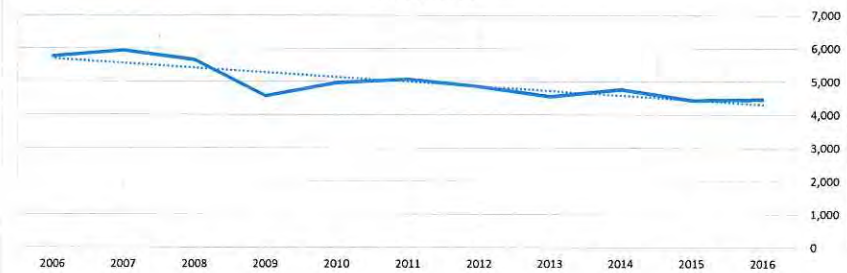
Combined Stations



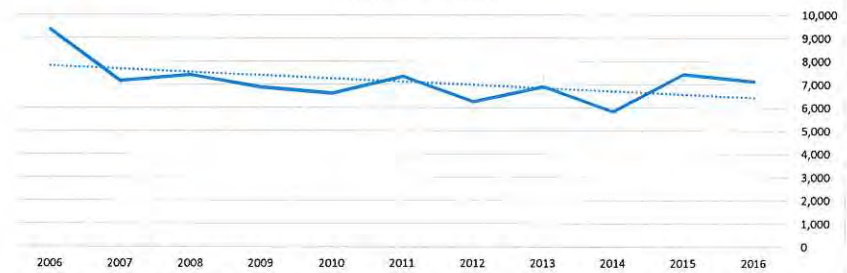
Robertson Avenue



63rd Avenue



Centennial Boulevard



**APPENDIX D
METRO SIGNAL TIMING**

LOCAL CONTROLLER PROGRAMMING



PEEK 3000 SERIES

INTERSECTION NUMBER: _____

ZONE: _____

INTERSECTION: Centennial Blvd and Briley Pkwy SB ramps

INSTALLATION DATE: _____

PROGRAMMED BY: _____

NOTES: _____

MASTER TYPE: PEEK M3000

MASTER LOCATION: XXXXXX / XXXXXX

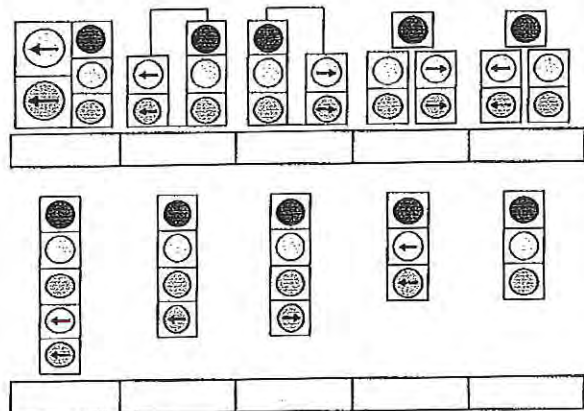
TIME BY PHASE (SEC) & FUNCTIONS

PHASE	1	2	3	4	5	6	7	8
INITIAL	4	10		7		10		
PASSAGE	2.0	2.0		2.0		2.0		
YELLOW	4.0	4.0		3.5		4.0		
RED CLEAR	2.0	2.0		2.0		2.0		
WALK								
PED CLEAR								
MAX 1	25	40		25		40		
MAX 2	25	40		25		40		
MAX 3 LIMIT								
MAX 3 ADJUST								
CNA 1								
CNA 2								
WALK REST MOD.								
FLASH WALK								
INHIBIT MAX								
PED RECYCLE								
MIN RECALL								
MAX RECALL								
PED RECALL								
SOFT RECALL								
NON-LOCK								
VEHICLE OMIT								
PED OMIT								
MAX OUTS								
TO ADJ MAX 3								
GAP OUTS								
TO ADJ MAX 3								

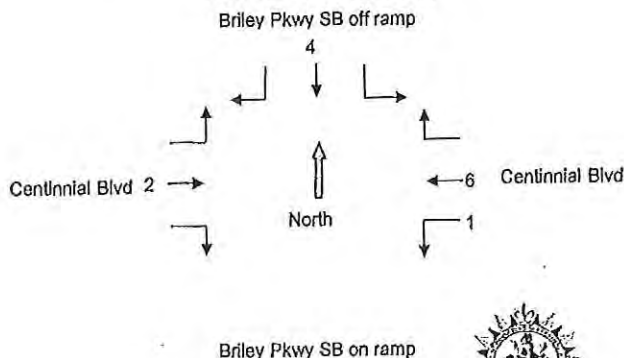
CONTROLLER OPTIONS

PHASE	1	2	3	4	5	6	7	8
START UP								
UCF LAST								
UCF EXIT								
SIM. GAP								
MIN RED REVERT		UCF OVERRIDE HOLD				PRE-EMPT		
RED REVERT TIME		UCF TEST A OR B				OVERRIDES		
AUTO PED CLEAR		PASSAGE SEQUENTIAL				STOP TIME		
START UP FLASH		ENABLE SIM. GAP						
START UP INTERVAL		ENHANCED PED OPERATION						
START UP ALL RED		EXT. START OVERRIDES						
FLASH								
FREE								
SPECIAL								

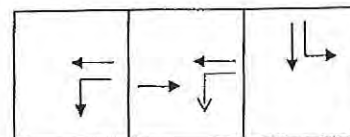
SIGNAL DISPLAYS



PHASING SCHEMATIC



PHASING SEQUENCE



INTERSECTION NUMBER:

ZONE:

DETECTOR SETTINGS

INTERSECTION: Centennial Blvd and Briley Pkwy SB ramps

INSTALLATION DATE: _____

PROGRAMMED BY: _____

NOTES: _____



PEEK 3000 SERIES

DETECTION DATA

PHASE	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16
LOOPS																
VIDEO																

DETECTOR ASSIGNMENTS

DETECTOR	1	2	3	4	5	6	7	8
DETECTOR 1	X							
DETECTOR 2								
DETECTOR 3								
DETECTOR 4				X				
DETECTOR 5								
DETECTOR 6								
DETECTOR 7								
DETECTOR 8								

DETECTOR MODES & TIMING

DETECTOR	DETECTOR MODE	DELAY TIME	STRETCH/ STOP BAR
1			
2			
3			
4			
5			
6			
7			
8			

DELAY INHIBITS

PHASE	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16
DETECTOR 1																
DETECTOR 2																
DETECTOR 3																
DETECTOR 4																
DETECTOR 5																
DETECTOR 6																
DETECTOR 7																
DETECTOR 8																



COORDINATION AND OPERATION

INTERSECTION NUMBER:

ZONE:

INTERSECTION:

Centennial Blvd and Briley Pkwy SB ramps

INSTALLATION DATE:

PROGRAMMED BY:

NOTES:



PEEK 3000 SERIES

PHASE ALLOCATIONS (SEC)

PHASE	1	2	3	4	5	6	7	8
CYCLE 1/SPLIT 1	25	40		35		65		35
CYCLE 1/SPLIT 2								
CYCLE 2/SPLIT 1	20	30		30		50		30
CYCLE 2/SPLIT 2								
CYCLE 3/SPLIT 1								
CYCLE 3/SPLIT 2								
CYCLE 4/SPLIT 1								
CYCLE 4/SPLIT 2								

DYNAMIC OMITS

PHASE/OVL	1/A	2/B	3/C	4/D	5/E	6/F	7/G	8/H
OMIT PHASE								
IF PHASE OR OVL ON								
OMIT PHASE								
IF PHASE OR OVL ON								
OMIT PHASE								
IF PHASE OR OVL ON								
OMIT PHASE								
IF PHASE OR OVL ON								

OPERATING MODE

FUNCTION	
AUTO PERM	
END OF MAIN ST	
ENHANCED PERM	
FIXED FORCE OFF	
YELLOW OFFSET	
CENTRAL OVERRIDE	
NO PCL OFFSET ADJ	
OFFSET ENTRY IN %	
PERM-PA ENTRY IN %	
INVERT FREE IN	
SPLIT MATRIX	
4 SPLITS / CYCLE	
NO EARLY COORD PED	
CYCLE SOURCE	
SPLIT SOURCE	
OFFSET SOURCE	
FREE SOURCE	
FLASH SOURCE	
INTER. TOD REVERT	
TYPE OF PERM	
OFFSET SEEKING	
PED PERMISSIVE	
YIELD PERCENT	

CYCLE LENGTH / DWELL / OFFSETS

CYCLE	1	2	3	4	5	6
CYCLE LENGTH	100	80				
MAX DWELL	60	50				
OFFSET 1	80	0				
OFFSET 2	15					
OFFSET 3						
OFFSET 4						
OFFSET 5						

PHASE REVERSAL

PATTERN	MODE	PHASES	
		LEAD	LAG

DUAL ENTRY

PHASE	1	2	3	4	5	6	7	8
PHASE 1								
PHASE 2								
PHASE 3								
PHASE 4								
PHASE 5								
PHASE 6								
PHASE 7								
PHASE 8								

COORD. PHASES

CYCLE	PHASES TO BE COORD	
	2	6
1	2	6
2	2	6
3		
4		
5		
6		

CYCLE / OFFSET / SPLIT / FREE TO TOD CIRCUITS

PLAN	C/O/S/FREE	CKT	CKT	CKT	CKT
1					
2					



TIME OF DAY PROGRAMMING



PEEK 3000 SERIES

INTERSECTION NUMBER: _____

ZONE: _____

INTERSECTION: Centennial Blvd and Briley Pkwy SB ramps

INSTALLATION DATE: _____

PROGRAMMED BY: _____

NOTES: _____

WEEKLY PROGRAM PLAN

PLAN	SUN 1	MON 2	TUE 3	WED 4	THU 5	FRI 6	SAT 7
0	2	1	1	1	1	1	2
1							
2							
3							
4							

DAY PLAN EVENTS

PLAN	HH:MM	CKT PLAN	C/O/S	CKT	ON/OFF
1	00:00			FREE	ON
1	06:30			FREE	OFF
1	06:30		1/1/1		
1	08:30		2/1/1		
1	15:30		1/2/1		
1	18:00		2/1/1		
1	20:00			FREE	ON
2	00:00			FREE	ON

DAYLIGHT SAVINGS

	MONTH	W-O-M
SPRING		
FALL		

CIRCUIT OVERRIDES

CKT	SYM	ON/OFF/TOD

TIME DEPENDENT SYNC REF

CYCLE	HH:MM
1	
2	
3	
4	
5	
6	
SYNC REF	

TOD CIRCUIT PLANS

PLAN	CKT	ON/OFF	CKT	ON/OFF	CKT	ON/OFF	CKT	ON/OFF
1								
2								
3								



INTERSECTION NUMBER: **3082** ZONE:

INTERSECTION: Centennial Blvd and Cockrill Bend

INSTALLATION DATE: _____

PROGRAMMED BY: _____

NOTES: _____

LOCAL CONTROLLER PROGRAMMING



PEEK 3000 SERIES

MASTER TYPE: PEEK M3000

MASTER LOCATION: XXXXXX / XXXXXX

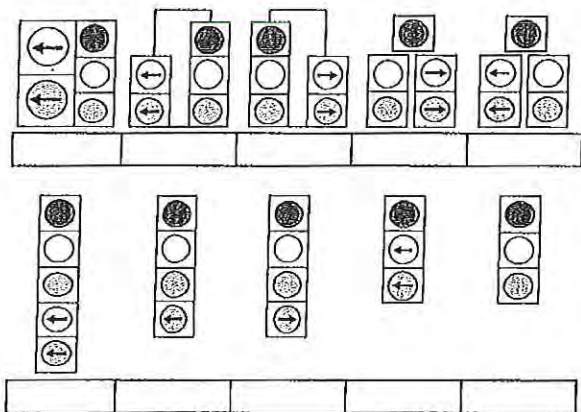
TIME BY PHASE (SEC) & FUNCTIONS

PHASE	1	2	3	4	5	6	7	8
INITIAL	4	10	4	7		10	4	7
PASSAGE	2.0	2.0	2.0	2.0		2.0	3.5	2.0
YELLOW	4.0	4.0	4.0	4.0		4.0	4.0	4.0
RED CLEAR	2.0	2.0	2.0	2.0		2.0	2.0	2.0
WALK								
PED CLEAR								
MAX 1	20	40	20	20		40	40	30
MAX 2	20	40	20	20		40	40	30
MAX 3 LIMIT								
MAX 3 ADJUST								
CNA 1								
CNA 2								
WALK REST MOD.								
FLASH WALK								
INHIBIT MAX								
PED RECYCLE								
MIN RECALL								
MAX RECALL								
PED RECALL								
SOFT RECALL								
NON-LOCK								
VEHICLE OMIT								
PED OMIT								
MAX OUTS								
TO ADJ MAX 3								
GAP OUTS								
TO ADJ MAX 3								

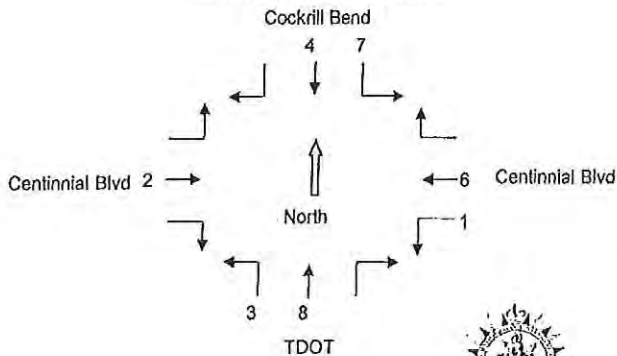
CONTROLLER OPTIONS

PHASE	1	2	3	4	5	6	7	8
START UP								
UCF LAST								
UCF EXIT								
SIM. GAP								
MIN RED REVERT		UCF OVERRIDE HOLD				PRE-EMPT		
RED REVERT TIME		UCF TEST A OR B				OVERRIDES		
AUTO PED CLEAR		PASSAGE SEQUENTIAL				STOP TIME		
START UP FLASH		ENABLE SIM. GAP				<input type="checkbox"/>		
START UP INTERVAL		ENHANCED PED OPERATION						
START UP ALL RED		EXT. START OVERRIDES						
FLASH								
FREE								
SPECIAL								

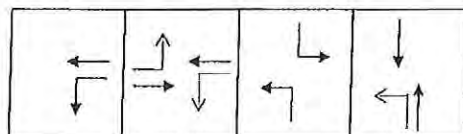
SIGNAL DISPLAYS



PHASING SCHEMATIC



PHASING SEQUENCE



INTERSECTION NUMBER: **3082** ZONE:
 INTERSECTION: Centennial Blvd and Cockrill Bend
 INSTALLATION DATE: _____
 PROGRAMMED BY: _____
 NOTES: _____

DETECTOR SETTINGS



PEEK 3000 SERIES

DETECTION DATA

PHASE	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16
LOOPS																
VIDEO																

DETECTOR ASSIGNMENTS

DETECTOR	1	2	3	4	5	6	7	8
DETECTOR 1	X							
DETECTOR 2		X						
DETECTOR 3			X					
DETECTOR 4				X				
DETECTOR 5								
DETECTOR 6						X		
DETECTOR 7							X	
DETECTOR 8								X

DETECTOR MODES & TIMING

DETECTOR	DETECTOR MODE	DELAY TIME	STRETCH/ STOP BAR
1			
2			
3			
4			
5			
6			
7			
8			

DELAY INHIBITS

PHASE	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16
DETECTOR 1																
DETECTOR 2																
DETECTOR 3																
DETECTOR 4																
DETECTOR 5																
DETECTOR 6																
DETECTOR 7																
DETECTOR 8																



COORDINATION AND OPERATION

INTERSECTION NUMBER: **3082** ZONE: _____
 INTERSECTION: Centennial Blvd and Cockrill Bend
 INSTALLATION DATE: _____
 PROGRAMMED BY: _____
 NOTES: _____



PEEK 3000 SERIES

PHASE ALLOCATIONS (SEC)

PHASE	1	2	3	4	5	6	7	8
CYCLE 1/SPLIT 1	25	20	20	35		45	35	20
CYCLE 1/SPLIT 2								
CYCLE 2/SPLIT 1	20	20	20	20		40	25	15
CYCLE 2/SPLIT 2								
CYCLE 3/SPLIT 1								
CYCLE 3/SPLIT 2								
CYCLE 4/SPLIT 1								
CYCLE 4/SPLIT 2								

DYNAMIC OMITTS

PHASE/OVL	1/A	2/B	3/C	4/D	5/E	6/F	7/G	8/H
OMIT PHASE								
IF PHASE OR OVL ON								
OMIT PHASE								
IF PHASE OR OVL ON								
OMIT PHASE								
IF PHASE OR OVL ON								
OMIT PHASE								
IF PHASE OR OVL ON								

OPERATING MODE

FUNCTION	
AUTO PERM	
END OF MAIN ST	
ENHANCED PERM	
FIXED FORCE OFF	
YELLOW OFFSET	
CENTRAL OVERRIDE	
NO PCL OFFSET ADJ	
OFFSET ENTRY IN %	
PERM-PA ENTRY IN %	
INVERT FREE IN	
SPLIT MATRIX	
4 SPLITS / CYCLE	
NO EARLY COORD PED	
CYCLE SOURCE	
SPLIT SOURCE	
OFFSET SOURCE	
FREE SOURCE	
FLASH SOURCE	
INTER. TOD REVERT	
TYPE OF PERM	
OFFSET SEEKING	
PED PERMISSIVE	
YIELD PERCENT	

CYCLE LENGTH / DWELL / OFFSETS

CYCLE	1	2	3	4	5	6
CYCLE LENGTH	100	80				
MAX DWELL	60	50				
OFFSET 1	0	0				
OFFSET 2	0					
OFFSET 3						
OFFSET 4						
OFFSET 6						

PHASE REVERSAL

PATTERN	MODE	PHASES	
		LEAD	LAG

DUAL ENTRY

PHASE	1	2	3	4	5	6	7	8
PHASE 1								
PHASE 2								
PHASE 3								
PHASE 4								
PHASE 5								
PHASE 6								
PHASE 7								
PHASE 8								

COORD. PHASES

CYCLE	PHASES TO BE COORD	
	2	6
1	2	6
2	2	6
3		
4		
5		
6		

CYCLE / OFFSET / SPLIT / FREE TO TOD CIRCUITS

PLAN	C/O/S/FREE	CKT	CKT	CKT	CKT
1					
2					



INTERSECTION NUMBER: **3082** ZONE:

INTERSECTION: Centennial Blvd and Cockrill Bend

INSTALLATION DATE: _____

PROGRAMMED BY: _____

NOTES: _____

TIME OF DAY PROGRAMMING



PEEK 3000 SERIES

WEEKLY PROGRAM PLAN

PLAN	SUN 1	MON 2	TUE 3	WED 4	THU 5	FRI 6	SAT 7
0	2	1	1	1	1	1	2
1							
2							
3							
4							

DAY PLAN EVENTS

PLAN	HH:MM	CKT PLAN	C/O/S	CKT	ON/OFF
1	00:00			FREE	ON
1	06:30			FREE	OFF
1	06:30		1/1/1		
1	08:30		2/1/1		
1	15:30		1/2/1		
1	18:00		2/1/1		
1	20:00			FREE	ON
2	00:00			FREE	ON

DAYLIGHT SAVINGS

	MONTH	W-O-M
SPRING		
FALL		

CIRCUIT OVERRIDES

CKT	SYM	ON/OFF/TOD

TIME DEPENDENT SYNC REF

CYCLE	HH:MM
1	
2	
3	
4	
5	
6	
SYNC REF	

TOD CIRCUIT PLANS

PLAN	CKT	ON/OFF	CKT	ON/OFF	CKT	ON/OFF	CKT	ON/OFF
1								
2								
3								



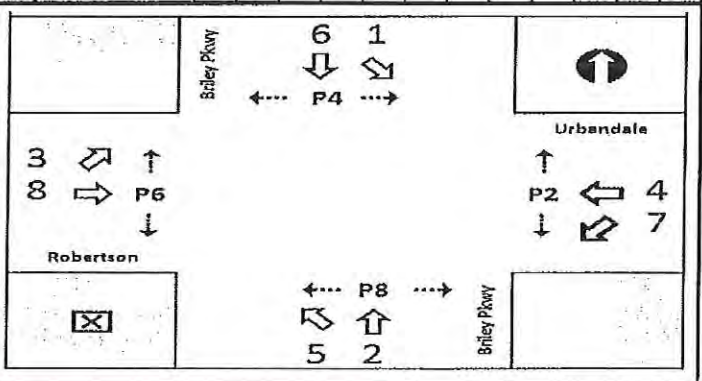


CONTROLLER SETTINGS
 ASC3/2100 & COBALT SERIES
SECONOLITE
 SIGNAL CONTROL PRODUCTS, INC.

ID Number: **3035** ZONE: **B2**
 Location: **Briley Parkway & Urbandale/Robertson Ave**
 Install Date: _____ Address: _____
 Program. By: _____ Switch: _____

TP #	CONTROLLER PHASE RING SEQUENCE												
1	PHASE												
MM 1-1-1	RING 1	1	2	3	4	9	10	13	14				
	RING 2	5	6	7	8	11	12	15	16				
	RING 3												
	RING 4												
MM 1-1-3	BACKUP PREVENT PHASES												
	PHASE	1	2	3	4	5	6	7	8	9	10	11	12
	PHASE 1												
	PHASE 2												
	PHASE 3												
	PHASE 4												
	PHASE 5												
	PHASE 6												
	PHASE 7												
	PHASE 8												
	PHASE 9												
	PHASE 10												
	PHASE 11												
PHASE 12													
MM 1-2	PHASE IN USE & EXCLUSIVE PEDS												
	PHASE	1	2	3	4	5	6	7	8	9	10	11	12
	PH. IN USE	X	X	X	X	X	X	X	X	X			
EXCL. PED													
MM 2-1	CONTROLLER TIMING PLANS												
	PHASE	1	2	3	4	5	6	7	8	9	10	11	12
	MIN GREEN	4	10	4	7	4	10	4	7				
	BK MIN GRN												
	CS MGRN												
	DELAY GRN												
	WALK		7		7		5		7				
	WALK 2												
	WALK MAX												
	PED CLR		24		31		30		28				
	PED CLR 2												
	PED CLR MX												
	PED CO												
	VEH EXT	4.0	2.0	3.0	2.0	4.0	2.0	3.0	2.0				
	VEH EXT2												
	MAX 1	25	50	15	20	25	50	15	20				
	MAX 2	35	50	15	20	35	50	15	20				
	MAX 3												
	DYM MAX												
	DYM STP												
YELLOW	4.5	4.5	3.5	3.5	4.0	4.5	3.5	3.5					
RED CLR	2.0	2.5	3.5	3.5	2.5	2.5	3.0	3.5					
RED MAX													
RED RVT													
ACT B4													
SEC/ACT													
MAX INT													
TIME B4													
CARS WT													
STPTDUC													
TTREDUC													
MIN GAP													

OVERLAPS													
PHASE	TYPE	1	2	3	4	5	6	7	8	LG	LY	LR	AG
MM 2-2	VEH OL A												
	VEH OL B												
	VEH OL C												
	VEH OL D												
MM 2-3	PED OL 01												
	PED OL 02												
	PED OL 03												
	PED OL 04												
MM 2-5	START UP / FLASH DATA												
	START UP - PHASE	1	2	3	4	5	6	7	8	9	10	11	12
	START UP		W				W						
	OVERLAPS												
	FLASH>MON	Y						7				ALL RED	0
	PWR START SEQ	1					MUTCD	N			MUTCD Y→G	N	
	FLASH - PHASE	1	2	3	4	5	6	7	8	9	10	11	12
	FLASH - ENTRY				X				X				
	FLASH - EXIT		X				X						
	OVERLAP EXIT												
FLASH>MON	Y						EXIT FLASH	W			MIN FLASH	8	
MINIMUM RECALL	N										CYCLE THRU PHASES	N	
MM 2-6-1	CONTROLLER OPTIONS												
	PHASE	1	2	3	4	5	6	7	8	9	10	11	12
	FLASHING GRN PH												
	GUAR PASSAGE												
	NON-ACT I		X					X					
	NON-ACT II												
	DUAL ENTRY				X				X				
	COND. SERVICE												
	COND. RESERVICE												
	PED RESERVICE												
	REST IN WALK		X					X					
	FLASH WALK												
	PED CLR > YEL.												
PED CLR > RED													
IGRN + VEH EXT													
MM 2-8	PHASE DETECTOR OPTIONS												
	PHASE	1	2	3	4	5	6	7	8	9	10	11	12
	LOCK DET	X					X						
	VE RCALL												
	PD RCALL		X					X					
	MX RCALL		X					X					
	SF RCALL												
	NO REST												
AI CALC													



ID Number: **3035** ZONE: **B2**
 Location: **Briley Parkway & Urbandale/Robertson Ave**
 Install Date: _____
 Program. By: _____
 Notes: _____



DETECTOR SETTINGS
 ASC3/2100 & COBALT SERIES
SECONOLITE
REGULATED BY THE ILLINOIS DEPARTMENT OF TRANSPORTATION

VDP # 1		VEHICLE DETECTOR PHASE ASSIGNMENT MM 6-1											VEHICLE DETECTOR SETUP MM 6-2														
DET. #	PHASE	ADDITIONAL PHASE CALLS												TYPE	TS2 DET.	ECPI LOG	EXT/PASS. TIME	DELAY TIME	USE ADD. INIT.	CROSS SW PH	LOCK IN	NTCIP VOL	NTCIP OCC	PMT Q DELAY	DISCON. TIME	CALL OPTION	EXT OPTION
		1	2	3	4	5	6	7	8	9	10	11	12														
1		X												S	NO	NO											
2			X											S	NO	NO											
3				X										S	NO	NO		8									
4					X									S	NO	NO											
5						X								S	NO	NO											
6							X							S	NO	NO											
7								X						S	NO	NO		4									
8									X					S	NO	NO											
9														S	NO	NO											
10														S	NO	NO											
11														S	NO	NO											
12														S	NO	NO											
13														S	NO	NO											
14														S	NO	NO											
15														S	NO	NO											
16														S	NO	NO											

PEDESTRIAN PHASE ASSIGNMENT MM 6-3													
DET. #	PHASE	1	2	3	4	5	6	7	8	9	10	11	12
1		X											
2			X										
3				X									
4					X								
5						X							
6							X						
7								X					
8									X				
9										X			
10											X		
11												X	
12													X
13													
14													
15													
16													

DETECTOR PROGRAMMING NOTES

**APPENDIX E
CAPACITY ANALYSIS**

EXISTING CONDITIONS
CAPACITY ANALYSES

HCM 2010 AWSC
1: Basswood Ave/Quarry Driveway & Robertson Ave

Existing AM
07/24/2018

Intersection

Intersection Delay, s/veh	7.1
Intersection LOS	A

Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		↕			↕			↕			↕	
Traffic Vol, veh/h	1	23	0	7	36	10	1	0	26	13	0	1
Future Vol, veh/h	1	23	0	7	36	10	1	0	26	13	0	1
Peak Hour Factor	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92
Heavy Vehicles, %	2	2	2	2	2	2	2	2	2	2	2	2
Mvmt Flow	1	25	0	8	39	11	1	0	28	14	0	1
Number of Lanes	0	1	0	0	1	0	0	1	0	0	1	0

Approach	EB	WB	NB	SB
Opposing Approach	WB	EB	SB	NB
Opposing Lanes	1	1	1	1
Conflicting Approach Left	SB	NB	EB	WB
Conflicting Lanes Left	1	1	1	1
Conflicting Approach Right	NB	SB	WB	EB
Conflicting Lanes Right	1	1	1	1
HCM Control Delay	7.2	7.2	6.7	7.4
HCM LOS	A	A	A	A

Lane	NBLn1	EBLn1	WBLn1	SBLn1
Vol Left, %	4%	4%	13%	93%
Vol Thru, %	0%	96%	68%	0%
Vol Right, %	96%	0%	19%	7%
Sign Control	Stop	Stop	Stop	Stop
Traffic Vol by Lane	27	24	53	14
LT Vol	1	1	7	13
Through Vol	0	23	36	0
RT Vol	26	0	10	1
Lane Flow Rate	29	26	58	15
Geometry Grp	1	1	1	1
Degree of Util (X)	0.029	0.029	0.063	0.018
Departure Headway (Hd)	3.519	4.064	3.945	4.244
Convergence, Y/N	Yes	Yes	Yes	Yes
Cap	1012	881	909	841
Service Time	1.557	2.088	1.964	2.282
HCM Lane V/C Ratio	0.029	0.03	0.064	0.018
HCM Control Delay	6.7	7.2	7.2	7.4
HCM Lane LOS	A	A	A	A
HCM 95th-tile Q	0.1	0.1	0.2	0.1

HCM 2010 TWSC
2: Annex Ave & Robertson Ave

Existing AM
07/24/2018

Intersection												
Int Delay, s/veh	5.9											
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		↕			↕			↕			↕	
Traffic Vol, veh/h	0	84	0	71	62	1	4	12	144	6	9	0
Future Vol, veh/h	0	84	0	71	62	1	4	12	144	6	9	0
Conflicting Peds, #/hr	0	0	0	0	0	0	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Free	Free	Stop	Stop	Stop	Stop	Stop	Stop
RT Channelized	-	-	None	-	-	None	-	-	None	-	-	None
Storage Length	-	-	-	-	-	-	-	-	-	-	-	-
Veh in Median Storage, #	-	0	-	-	0	-	-	0	-	-	0	-
Grade, %	-	0	-	-	0	-	-	0	-	-	0	-
Peak Hour Factor	92	92	92	92	92	92	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2	2	2	2	2	2	2
Mvmt Flow	0	91	0	77	67	1	4	13	157	7	10	0

Major/Minor	Major1		Major2		Minor1		Minor2					
Conflicting Flow All	68	0	0	91	0	0	318	314	91	398	313	68
Stage 1	-	-	-	-	-	-	91	91	-	222	222	-
Stage 2	-	-	-	-	-	-	227	223	-	176	91	-
Critical Hdwy	4.12	-	-	4.12	-	-	7.12	6.52	6.22	7.12	6.52	6.22
Critical Hdwy Stg 1	-	-	-	-	-	-	6.12	5.52	-	6.12	5.52	-
Critical Hdwy Stg 2	-	-	-	-	-	-	6.12	5.52	-	6.12	5.52	-
Follow-up Hdwy	2.218	-	-	2.218	-	-	3.518	4.018	3.318	3.518	4.018	3.318
Pot Cap-1 Maneuver	1533	-	-	1504	-	-	635	601	967	562	602	995
Stage 1	-	-	-	-	-	-	916	820	-	780	720	-
Stage 2	-	-	-	-	-	-	776	719	-	826	820	-
Platoon blocked, %	-	-	-	-	-	-	-	-	-	-	-	-
Mov Cap-1 Maneuver	1533	-	-	1504	-	-	601	569	967	444	570	995
Mov Cap-2 Maneuver	-	-	-	-	-	-	601	569	-	444	570	-
Stage 1	-	-	-	-	-	-	916	820	-	780	682	-
Stage 2	-	-	-	-	-	-	724	681	-	681	820	-

Approach	EB		WB		NB		SB
HCM Control Delay, s	0		4		9.9		12.3
HCM LOS					A		B

Minor Lane/Major Mvmt	NBLn1	EBL	EBT	EBR	WBL	WBT	WBR	SBLn1
Capacity (veh/h)	906	1533	-	-	1504	-	-	512
HCM Lane V/C Ratio	0.192	-	-	-	0.051	-	-	0.032
HCM Control Delay (s)	9.9	0	-	-	7.5	0	-	12.3
HCM Lane LOS	A	A	-	-	A	A	-	B
HCM 95th %tile Q(veh)	0.7	0	-	-	0.2	-	-	0.1

HCM 2010 TWSC
3: Westboro Dr/James Ave & Robertson Ave

Existing AM
07/24/2018

Intersection												
Int Delay, s/veh	4.9											
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		↕			↕			↕			↕	
Traffic Vol, veh/h	48	176	6	17	104	7	3	60	34	14	27	24
Future Vol, veh/h	48	176	6	17	104	7	3	60	34	14	27	24
Conflicting Peds, #/hr	0	0	0	0	0	0	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Free	Free	Stop	Stop	Stop	Stop	Stop	Stop
RT Channelized	-	-	None	-	-	None	-	-	None	-	-	None
Storage Length	-	-	-	-	-	-	-	-	-	-	-	-
Veh in Median Storage, #	-	0	-	-	0	-	-	0	-	-	0	-
Grade, %	-	0	-	-	0	-	-	0	-	-	0	-
Peak Hour Factor	92	92	92	92	92	92	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2	2	2	2	2	2	2
Mvmt Flow	52	191	7	18	113	8	3	65	37	15	29	26

Major/Minor	Major1	Major2		Minor1		Minor2						
Conflicting Flow All	121	0	0	198	0	0	481	457	195	504	456	117
Stage 1	-	-	-	-	-	-	299	299	-	154	154	-
Stage 2	-	-	-	-	-	-	182	158	-	350	302	-
Critical Hdwy	4.12	-	-	4.12	-	-	7.12	6.52	6.22	7.12	6.52	6.22
Critical Hdwy Stg 1	-	-	-	-	-	-	6.12	5.52	-	6.12	5.52	-
Critical Hdwy Stg 2	-	-	-	-	-	-	6.12	5.52	-	6.12	5.52	-
Follow-up Hdwy	2.218	-	-	2.218	-	-	3.518	4.018	3.318	3.518	4.018	3.318
Pot Cap-1 Maneuver	1467	-	-	1375	-	-	495	500	846	478	501	935
Stage 1	-	-	-	-	-	-	710	666	-	848	770	-
Stage 2	-	-	-	-	-	-	820	767	-	666	664	-
Platoon blocked, %	-	-	-	-	-	-	-	-	-	-	-	-
Mov Cap-1 Maneuver	1467	-	-	1375	-	-	440	473	846	392	474	935
Mov Cap-2 Maneuver	-	-	-	-	-	-	440	473	-	392	474	-
Stage 1	-	-	-	-	-	-	682	639	-	814	759	-
Stage 2	-	-	-	-	-	-	756	756	-	549	637	-

Approach	EB	WB	NB	SB
HCM Control Delay, s	1.6	1	12.9	12.5
HCM LOS			B	B

Minor Lane/Major Mvmt	NBLn1	EBL	EBT	EBR	WBL	WBT	WBR	SBLn1
Capacity (veh/h)	558	1467	-	-	1375	-	-	549
HCM Lane V/C Ratio	0.189	0.036	-	-	0.013	-	-	0.129
HCM Control Delay (s)	12.9	7.5	0	-	7.7	0	-	12.5
HCM Lane LOS	B	A	A	-	A	A	-	B
HCM 95th %tile Q(veh)	0.7	0.1	-	-	0	-	-	0.4

HCM 2010 Signalized Intersection Summary
 4: White Bridge Pk/Briley Pkwy & Robertson Ave/Urbandale Ave

Existing AM
 07/24/2018

Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations												
Traffic Volume (veh/h)	54	107	463	53	24	30	170	286	41	77	942	72
Future Volume (veh/h)	54	107	463	53	24	30	170	286	41	77	942	72
Number	3	8	18	7	4	14	5	2	12	1	6	16
Initial Q (Qb), veh	0	0	0	0	0	0	0	0	0	0	0	0
Ped-Bike Adj(A_pbT)	1.00		1.00	1.00		1.00	1.00		1.00	1.00		1.00
Parking Bus, Adj	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Adj Sat Flow, veh/h/ln	1863	1863	1863	1863	1863	1900	1863	1863	1900	1863	1863	1863
Adj Flow Rate, veh/h	59	116	503	58	26	33	185	311	45	84	1024	78
Adj No. of Lanes	1	1	1	1	2	0	2	2	0	1	2	1
Peak Hour Factor	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92
Percent Heavy Veh, %	2	2	2	2	2	2	2	2	2	2	2	2
Cap, veh/h	329	331	350	218	307	275	607	1709	245	626	1918	858
Arrive On Green	0.04	0.18	0.18	0.04	0.17	0.17	0.04	0.55	0.55	0.04	0.54	0.54
Sat Flow, veh/h	1774	1863	1583	1774	1770	1583	3442	3108	445	1774	3539	1583
Grp Volume(v), veh/h	59	116	503	58	26	33	185	176	180	84	1024	78
Grp Sat Flow(s), veh/h/ln	1774	1863	1583	1774	1770	1583	1721	1770	1784	1774	1770	1583
Q Serve(g_s), s	3.7	7.4	24.0	3.6	1.7	2.4	3.2	6.7	6.8	2.8	25.2	3.2
Cycle Q Clear(g_c), s	3.7	7.4	24.0	3.6	1.7	2.4	3.2	6.7	6.8	2.8	25.2	3.2
Prop In Lane	1.00		1.00	1.00		1.00	1.00		0.25	1.00		1.00
Lane Grp Cap(c), veh/h	329	331	350	218	307	275	607	973	981	626	1918	858
V/C Ratio(X)	0.18	0.35	1.44	0.27	0.08	0.12	0.30	0.18	0.18	0.13	0.53	0.09
Avail Cap(c_a), veh/h	406	331	350	264	307	275	904	973	981	767	1918	858
HCM Platoon Ratio	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Upstream Filter(l)	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Uniform Delay (d), s/veh	43.5	48.7	52.6	43.7	46.8	47.1	15.2	15.2	15.2	12.8	19.9	14.9
Incr Delay (d2), s/veh	0.3	0.2	212.3	0.6	0.0	0.0	0.1	0.4	0.4	0.1	1.1	0.2
Initial Q Delay(d3),s/veh	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
%ile BackOfQ(50%),veh/ln	1.8	3.8	33.7	1.8	0.8	1.0	1.5	3.4	3.5	1.4	12.5	1.5
LnGrp Delay(d),s/veh	43.7	48.9	264.9	44.3	46.9	47.2	15.6	15.6	15.6	12.9	21.0	15.1
LnGrp LOS	D	D	F	D	D	D	B	B	B	B	C	B
Approach Vol, veh/h		678			117			541			1186	
Approach Delay, s/veh		208.7			45.7			15.6			20.0	
Approach LOS		F			D			B			C	
Timer	1	2	3	4	5	6	7	8				
Assigned Phs	1	2	3	4	5	6	7	8				
Phs Duration (G+Y+Rc), s	11.3	81.2	12.1	30.4	12.3	80.2	11.5	31.0				
Change Period (Y+Rc), s	6.5	7.0	7.0	7.0	6.5	7.0	6.5	7.0				
Max Green Setting (Gmax), s	15.5	60.0	11.0	21.0	17.5	58.0	8.5	24.0				
Max Q Clear Time (g_c+1), s	4.8	8.8	5.7	4.4	5.2	27.2	5.6	26.0				
Green Ext Time (p_c), s	0.2	6.3	0.0	1.5	0.7	6.1	0.0	0.0				

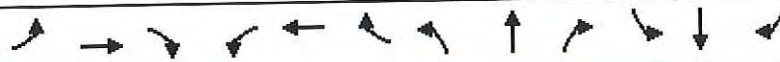
Intersection Summary

HCM 2010 Ctrl Delay	71.0
HCM 2010 LOS	E

Notes

HCM 2010 Signalized Intersection Summary
 5: Private Drive & Cockrill Bend Blvd & Centennial Blvd

Existing AM
 07/24/2018



Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations	↘	↗		↘	↗	↘	↘	↗		↘	↗	↘
Traffic Volume (veh/h)	6	250	0	118	589	482	3	2	11	138	4	5
Future Volume (veh/h)	6	250	0	118	589	482	3	2	11	138	4	5
Number	5	2	12	1	6	16	3	8	18	7	4	14
Initial Q (Qb), veh	0	0	0	0	0	0	0	0	0	0	0	0
Ped-Bike Adj(A_pbT)	1.00		1.00	1.00		1.00	1.00		1.00	1.00		1.00
Parking Bus, Adj	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Adj Sat Flow, veh/h/ln	1863	1863	1900	1863	1863	1863	1863	1863	1900	1863	1863	1900
Adj Flow Rate, veh/h	7	272	0	128	640	0	3	2	0	150	4	5
Adj No. of Lanes	1	2	0	1	2	1	1	1	0	2	1	0
Peak Hour Factor	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92
Percent Heavy Veh, %	2	2	2	2	2	2	2	2	2	2	2	2
Cap, veh/h	392	1441	0	572	1864	834	394	421	0	231	219	273
Arrive On Green	0.41	0.41	0.00	0.10	0.88	0.00	0.00	0.23	0.00	0.07	0.29	0.29
Sat Flow, veh/h	786	3632	0	1774	3539	1583	1774	1863	0	3442	754	942
Grp Volume(v), veh/h	7	272	0	128	640	0	3	2	0	150	0	9
Grp Sat Flow(s),veh/h/ln	786	1770	0	1774	1770	1583	1774	1863	0	1721	0	1696
Q Serve(g_s), s	0.5	4.9	0.0	4.0	3.1	0.0	0.1	0.1	0.0	4.3	0.0	0.4
Cycle Q Clear(g_c), s	0.5	4.9	0.0	4.0	3.1	0.0	0.1	0.1	0.0	4.3	0.0	0.4
Prop In Lane	1.00		0.00	1.00		1.00	1.00		0.00	1.00		0.56
Lane Grp Cap(c), veh/h	392	1441	0	572	1864	834	394	421	0	231	0	492
V/C Ratio(X)	0.02	0.19	0.00	0.22	0.34	0.00	0.01	0.00	0.00	0.65	0.00	0.02
Avail Cap(c_a), veh/h	392	1441	0	804	1864	834	637	421	0	998	0	492
HCM Platoon Ratio	1.00	1.00	1.00	1.67	1.67	1.67	1.00	1.00	1.00	1.00	1.00	1.00
Upstream Filter(I)	1.00	1.00	0.00	0.81	0.81	0.00	1.00	1.00	0.00	1.00	0.00	1.00
Uniform Delay (d), s/veh	17.7	19.0	0.0	13.9	3.0	0.0	29.7	30.0	0.0	45.5	0.0	25.3
Incr Delay (d2), s/veh	0.1	0.3	0.0	0.1	0.4	0.0	0.0	0.0	0.0	3.7	0.0	0.1
Initial Q Delay(d3),s/veh	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
%ile BackOfQ(50%),veh/ln	0.1	2.5	0.0	1.9	1.6	0.0	0.1	0.0	0.0	2.1	0.0	0.2
LnGrp Delay(d),s/veh	17.8	19.3	0.0	13.9	3.4	0.0	29.7	30.0	0.0	49.2	0.0	25.4
LnGrp LOS	B	B		B	A		C	C		D		C
Approach Vol, veh/h		279			768			5			159	
Approach Delay, s/veh		19.3			5.2			29.8			47.8	
Approach LOS		B			A			C			D	
Timer	1	2	3	4	5	6	7	8				
Assigned Phs	1	2	3	4		6	7	8				
Phs Duration (G+Y+Rc), s	2.0	46.7	6.3	35.0		58.7	12.7	28.6				
Change Period (Y+Rc), s	6.0	6.0	6.0	6.0		6.0	6.0	6.0				
Max Green Setting (Gmax), s	14.0	14.0	14.0	29.0		39.0	29.0	14.0				
Max Q Clear Time (g_c+1), s	6.9	2.1	2.4			5.1	6.3	2.1				
Green Ext Time (p_c), s	0.1	2.4	0.0	0.0		4.3	0.6	0.0				

Intersection Summary

HCM 2010 Ctrl Delay	14.1
HCM 2010 LOS	B

HCM 2010 Signalized Intersection Summary
 6: Briley Pkwy SB Ramps & Centennial Blvd

Existing AM
 07/24/2018



Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		↑↑	↑	↑	↑↑					↑		↑
Traffic Volume (veh/h)	0	177	222	125	747	0	0	0	0	267	0	442
Future Volume (veh/h)	0	177	222	125	747	0	0	0	0	267	0	442
Number	5	2	12	1	6	16				7	4	14
Initial Q (Qb), veh	0	0	0	0	0	0				0	0	0
Ped-Bike Adj(A_pbT)	1.00		1.00	1.00		1.00				1.00		1.00
Parking Bus, Adj	1.00	1.00	1.00	1.00	1.00	1.00				1.00	1.00	1.00
Adj Sat Flow, veh/h/ln	0	1863	1863	1863	1863	0				1863	0	1863
Adj Flow Rate, veh/h	0	192	0	136	812	0				290	0	0
Adj No. of Lanes	0	2	1	1	2	0				1	0	1
Peak Hour Factor	0.92	0.92	0.92	0.92	0.92	0.92				0.92	0.92	0.92
Percent Heavy Veh, %	0	2	2	2	2	0				2	0	2
Cap, veh/h	0	2128	952	870	2509	0				330	0	294
Arrive On Green	0.00	1.00	0.00	0.05	0.71	0.00				0.19	0.00	0.00
Sat Flow, veh/h	0	3632	1583	1774	3632	0				1774	0	1583
Grp Volume(v), veh/h	0	192	0	136	812	0				290	0	0
Grp Sat Flow(s),veh/h/ln	0	1770	1583	1774	1770	0				1774	0	1583
Q Serve(g_s), s	0.0	0.0	0.0	2.7	8.7	0.0				15.9	0.0	0.0
Cycle Q Clear(g_c), s	0.0	0.0	0.0	2.7	8.7	0.0				15.9	0.0	0.0
Prop In Lane	0.00		1.00	1.00		0.00				1.00		1.00
Lane Grp Cap(c), veh/h	0	2128	952	870	2509	0				330	0	294
V/C Ratio(X)	0.00	0.09	0.00	0.16	0.32	0.00				0.88	0.00	0.00
Avail Cap(c_a), veh/h	0	2128	952	1122	2509	0				541	0	483
HCM Platoon Ratio	1.00	1.67	1.67	1.00	1.00	1.00				1.00	1.00	1.00
Upstream Filter(I)	0.00	0.94	0.00	1.00	1.00	0.00				1.00	0.00	0.00
Uniform Delay (d), s/veh	0.0	0.0	0.0	6.0	5.5	0.0				39.6	0.0	0.0
Incr Delay (d2), s/veh	0.0	0.1	0.0	0.0	0.3	0.0				9.2	0.0	0.0
Initial Q Delay(d3),s/veh	0.0	0.0	0.0	0.0	0.0	0.0				0.0	0.0	0.0
%ile BackOfQ(50%),veh/ln	0.0	0.0	0.0	1.3	4.3	0.0				8.7	0.0	0.0
LnGrp Delay(d),s/veh	0.0	0.1	0.0	6.0	5.8	0.0				48.8	0.0	0.0
LnGrp LOS		A		A	A					D		
Approach Vol, veh/h		192			948						290	
Approach Delay, s/veh		0.1			5.9						48.8	
Approach LOS		A			A						D	
Timer	1	2	3	4	5	6	7	8				
Assigned Phs	1	2		4		6						
Phs Duration (G+Y+Rc), s	66.1			23.1		76.9						
Change Period (Y+Rc), s	6.0	6.0		4.5		6.0						
Max Green Setting (Gmax), s	34.0			30.5		59.0						
Max Q Clear Time (g_c+I), s	2.0			17.9		10.7						
Green Ext Time (p_c), s	0.1	4.7		0.7		4.8						
Intersection Summary												
HCM 2010 Ctrl Delay				13.8								
HCM 2010 LOS				B								

HCM 2010 AWSC
1: Basswood Ave/Quarry Driveway & Robertson Ave

Existing PM
07/24/2018

Intersection

Intersection Delay, s/veh	7.1
Intersection LOS	A

Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		↕			↕			↕			↕	
Traffic Vol, veh/h	0	19	6	42	7	0	0	0	17	3	0	0
Future Vol, veh/h	0	19	6	42	7	0	0	0	17	3	0	0
Peak Hour Factor	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92
Heavy Vehicles, %	2	2	2	2	2	2	2	2	2	2	2	2
Mvmt Flow	0	21	7	46	8	0	0	0	18	3	0	0
Number of Lanes	0	1	0	0	1	0	0	1	0	0	1	0

Approach	EB	WB	NB	SB
Opposing Approach	WB	EB	SB	NB
Opposing Lanes	1	1	1	1
Conflicting Approach Left	SB	NB	EB	WB
Conflicting Lanes Left	1	1	1	1
Conflicting Approach Right	NB	SB	WB	EB
Conflicting Lanes Right	1	1	1	1
HCM Control Delay	7	7.4	6.6	7.3
HCM LOS	A	A	A	A

Lane	NBLn1	EBLn1	WBLn1	SBLn1
Vol Left, %	0%	0%	86%	100%
Vol Thru, %	0%	76%	14%	0%
Vol Right, %	100%	24%	0%	0%
Sign Control	Stop	Stop	Stop	Stop
Traffic Vol by Lane	17	25	49	3
LT Vol	0	0	42	3
Through Vol	0	19	7	0
RT Vol	17	6	0	0
Lane Flow Rate	18	27	53	3
Geometry Grp	1	1	1	1
Degree of Util (X)	0.018	0.029	0.062	0.004
Departure Headway (Hd)	3.474	3.867	4.163	4.287
Convergence, Y/N	Yes	Yes	Yes	Yes
Cap	1025	927	863	832
Service Time	1.514	1.885	2.173	2.327
HCM Lane V/C Ratio	0.018	0.029	0.061	0.004
HCM Control Delay	6.6	7	7.4	7.3
HCM Lane LOS	A	A	A	A
HCM 95th-tile Q	0.1	0.1	0.2	0

HCM 2010 TWSC
2: Annex Ave & Robertson Ave

Existing PM
07/24/2018

Intersection

Int Delay, s/veh 7.1

Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		↕			↕			↕			↕	
Traffic Vol, veh/h	0	53	2	199	56	6	1	16	100	7	28	7
Future Vol, veh/h	0	53	2	199	56	6	1	16	100	7	28	7
Conflicting Peds, #/hr	0	0	0	0	0	0	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Free	Free	Stop	Stop	Stop	Stop	Stop	Stop
RT Channelized	-	-	None	-	-	None	-	-	None	-	-	None
Storage Length	-	-	-	-	-	-	-	-	-	-	-	-
Veh in Median Storage, #	-	0	-	-	0	-	-	0	-	-	0	-
Grade, %	-	0	-	-	0	-	-	0	-	-	0	-
Peak Hour Factor	92	92	92	92	92	92	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2	2	2	2	2	2	2
Mvmt Flow	0	58	2	216	61	7	1	17	109	8	30	8

Major/Minor	Major1	Major2	Minor1	Minor2
Conflicting Flow All	67	0	0	60
Stage 1	-	-	-	-
Stage 2	-	-	-	-
Critical Hdwy	4.12	-	-	4.12
Critical Hdwy Stg 1	-	-	-	-
Critical Hdwy Stg 2	-	-	-	-
Follow-up Hdwy	2.218	-	-	2.218
Pot Cap-1 Maneuver	1535	-	-	1544
Stage 1	-	-	-	-
Stage 2	-	-	-	-
Platoon blocked, %	-	-	-	-
Mov Cap-1 Maneuver	1535	-	-	1544
Mov Cap-2 Maneuver	-	-	-	-
Stage 1	-	-	-	-
Stage 2	-	-	-	-

Approach	EB	WB	NB	SB
HCM Control Delay, s	0	5.9	10.3	15.1
HCM LOS			B	C

Minor Lane/Major Mvmt	NBLn1	EBL	EBT	EBR	WBL	WBT	WBR	SBLn1
Capacity (veh/h)	807	1535	-	-	1544	-	-	402
HCM Lane V/C Ratio	0.158	-	-	-	0.14	-	-	0.114
HCM Control Delay (s)	10.3	0	-	-	7.7	0	-	15.1
HCM Lane LOS	B	A	-	-	A	A	-	C
HCM 95th %tile Q(veh)	0.6	0	-	-	0.5	-	-	0.4

HCM 2010 TWSC
3: Westboro Dr/James Ave & Robertson Ave

Existing PM
07/24/2018

Intersection												
Int Delay, s/veh	6.3											
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations	↕			↕			↕			↕		
Traffic Vol, veh/h	42	120	4	46	209	18	8	58	33	13	70	51
Future Vol, veh/h	42	120	4	46	209	18	8	58	33	13	70	51
Conflicting Peds, #/hr	0	0	0	0	0	0	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Free	Free	Stop	Stop	Stop	Stop	Stop	Stop
RT Channelized	-	-	None	-	-	None	-	-	None	-	-	None
Storage Length	-	-	-	-	-	-	-	-	-	-	-	-
Veh in Median Storage, #	-	0	-	-	0	-	-	0	-	-	0	-
Grade, %	-	0	-	-	0	-	-	0	-	-	0	-
Peak Hour Factor	92	92	92	92	92	92	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2	2	2	2	2	2	2
Mvmt Flow	46	130	4	50	227	20	9	63	36	14	76	55

Major/Minor	Major1		Major2		Minor1		Minor2					
Conflicting Flow All	247	0	0	135	0	0	627	571	133	610	563	237
Stage 1	-	-	-	-	-	-	224	224	-	337	337	-
Stage 2	-	-	-	-	-	-	403	347	-	273	226	-
Critical Hdwy	4.12	-	-	4.12	-	-	7.12	6.52	6.22	7.12	6.52	6.22
Critical Hdwy Stg 1	-	-	-	-	-	-	6.12	5.52	-	6.12	5.52	-
Critical Hdwy Stg 2	-	-	-	-	-	-	6.12	5.52	-	6.12	5.52	-
Follow-up Hdwy	2.218	-	-	2.218	-	-	3.518	4.018	3.318	3.518	4.018	3.318
Pot Cap-1 Maneuver	1319	-	-	1449	-	-	396	431	916	407	435	802
Stage 1	-	-	-	-	-	-	779	718	-	677	641	-
Stage 2	-	-	-	-	-	-	624	635	-	733	717	-
Platoon blocked, %	-	-	-	-	-	-	-	-	-	-	-	-
Mov Cap-1 Maneuver	1319	-	-	1449	-	-	297	398	916	324	402	802
Mov Cap-2 Maneuver	-	-	-	-	-	-	297	398	-	324	402	-
Stage 1	-	-	-	-	-	-	749	691	-	651	615	-
Stage 2	-	-	-	-	-	-	489	610	-	616	690	-























Approach	EB		WB		NB		SB
HCM Control Delay, s	2		1.3		14.8		15.7
HCM LOS					B		C

Minor Lane/Major Mvmt	NBLn1	EBL	EBT	EBR	WBL	WBT	WBR	SBLn1
Capacity (veh/h)	474	1319	-	-	1449	-	-	482
HCM Lane V/C Ratio	0.227	0.035	-	-	0.035	-	-	0.302
HCM Control Delay (s)	14.8	7.8	0	-	7.6	0	-	15.7
HCM Lane LOS	B	A	A	-	A	A	-	C
HCM 95th %tile Q(veh)	0.9	0.1	-	-	0.1	-	-	1.3

HCM 2010 Signalized Intersection Summary

4: White Bridge Pk/Briley Pkwy & Robertson Ave/Urbandale Ave

Existing PM
07/24/2018

												
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations												
Traffic Volume (veh/h)	66	66	212	127	125	78	337	939	61	47	377	85
Future Volume (veh/h)	66	66	212	127	125	78	337	939	61	47	377	85
Number	3	8	18	7	4	14	5	2	12	1	6	16
Initial Q (Qb), veh	0	0	0	0	0	0	0	0	0	0	0	0
Ped-Bike Adj(A_pbT)	1.00		1.00	1.00		1.00	1.00		1.00	1.00		1.00
Parking Bus, Adj	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Adj Sat Flow, veh/h/ln	1863	1863	1863	1863	1863	1900	1863	1863	1900	1863	1863	1863
Adj Flow Rate, veh/h	72	72	230	138	136	85	366	1021	66	51	410	92
Adj No. of Lanes	1	1	1	1	2	0	2	2	0	1	2	1
Peak Hour Factor	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92
Percent Heavy Veh, %	2	2	2	2	2	2	2	2	2	2	2	2
Cap, veh/h	243	186	297	296	277	163	1075	1636	106	272	1518	679
Arrive On Green	0.05	0.10	0.10	0.08	0.13	0.13	0.09	0.48	0.48	0.03	0.43	0.43
Sat Flow, veh/h	1774	1863	1583	1774	2147	1263	3442	3376	218	1774	3539	1583
Grp Volume(v), veh/h	72	72	230	138	111	110	366	535	552	51	410	92
Grp Sat Flow(s),veh/h/ln	1774	1863	1583	1774	1770	1640	1721	1770	1824	1774	1770	1583
Q Serve(g_s), s	3.2	3.3	9.0	6.2	5.2	5.7	5.1	20.1	20.1	1.4	6.7	3.2
Cycle Q Clear(g_c), s	3.2	3.3	9.0	6.2	5.2	5.7	5.1	20.1	20.1	1.4	6.7	3.2
Prop In Lane	1.00		1.00	1.00		0.77	1.00		0.12	1.00		1.00
Lane Grp Cap(c), veh/h	243	186	297	296	228	212	1075	858	884	272	1518	679
V/C Ratio(X)	0.30	0.39	0.77	0.47	0.48	0.52	0.34	0.62	0.62	0.19	0.27	0.14
Avail Cap(c_a), veh/h	294	186	297	296	228	212	1213	858	884	363	1518	679
HCM Platoon Ratio	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Upstream Filter(I)	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Uniform Delay (d), s/veh	34.0	37.9	34.7	32.6	36.4	36.6	11.9	17.1	17.1	14.9	16.6	15.6
Incr Delay (d2), s/veh	0.7	0.5	10.9	1.1	0.6	1.1	0.3	3.4	3.3	0.5	0.4	0.4
Initial Q Delay(d3),s/veh	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
%ile BackOfQ(50%),veh/ln	1.6	1.7	6.3	3.1	2.6	2.6	2.4	10.6	10.9	0.7	3.4	1.5
LnGrp Delay(d),s/veh	34.7	38.4	45.7	33.8	37.0	37.7	12.1	20.5	20.5	15.3	17.0	16.0
LnGrp LOS	C	D	D	C	D	D	B	C	C	B	B	B
Approach Vol, veh/h		374			359			1453			553	
Approach Delay, s/veh		42.2			36.0			18.4			16.7	
Approach LOS		D			D			B			B	
Timer	1	2	3	4	5	6	7	8				
Assigned Phs	1	2	3	4	5	6	7	8				
Phs Duration (G+Y+Rc), s	9.4	50.6	11.4	18.6	14.4	45.6	14.0	16.0				
Change Period (Y+Rc), s	6.5	7.0	7.0	7.0	6.5	7.0	6.5	7.0				
Max Green Setting (Gmax), s	7.5	39.0	7.0	9.0	11.5	35.0	7.5	9.0				
Max Q Clear Time (g_c+I1), s	3.4	22.1	5.2	7.7	7.1	8.7	8.2	11.0				
Green Ext Time (p_c), s	0.0	5.8	0.0	0.3	0.8	6.6	0.0	0.0				

Intersection Summary

HCM 2010 Ctrl Delay	23.6
HCM 2010 LOS	C

Notes

HCM 2010 Signalized Intersection Summary
 5: Private Drive & Cockrill Bend Blvd & Centennial Blvd

Existing PM
 07/24/2018



Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations	↖	↖↗		↖	↖↗	↖	↖	↖	↖	↖↗	↖	↖
Traffic Volume (veh/h)	4	465	3	11	172	206	2	2	45	582	3	9
Future Volume (veh/h)	4	465	3	11	172	206	2	2	45	582	3	9
Number	5	2	12	1	6	16	3	8	18	7	4	14
Initial Q (Qb), veh	0	0	0	0	0	0	0	0	0	0	0	0
Ped-Bike Adj(A_pbT)	1.00		1.00	1.00		1.00	1.00		1.00	1.00		1.00
Parking Bus, Adj	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Adj Sat Flow, veh/h/ln	1863	1863	1900	1863	1863	1863	1863	1863	1900	1863	1863	1900
Adj Flow Rate, veh/h	4	505	3	12	187	0	2	2	0	633	3	10
Adj No. of Lanes	1	2	0	1	2	1	1	1	0	2	1	0
Peak Hour Factor	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92
Percent Heavy Veh, %	2	2	2	2	2	2	2	2	2	2	2	2
Cap, veh/h	538	1411	8	351	1637	732	271	261	0	748	134	448
Arrive On Green	0.39	0.39	0.39	0.02	0.77	0.00	0.00	0.14	0.00	0.22	0.36	0.36
Sat Flow, veh/h	1192	3607	21	1774	3539	1583	1774	1863	0	3442	378	1262
Grp Volume(v), veh/h	4	248	260	12	187	0	2	2	0	633	0	13
Grp Sat Flow(s),veh/h/ln	1192	1770	1859	1774	1770	1583	1774	1863	0	1721	0	1640
Q Serve(g_s), s	0.2	9.9	9.9	0.4	1.3	0.0	0.1	0.1	0.0	17.6	0.0	0.5
Cycle Q Clear(g_c), s	0.2	9.9	9.9	0.4	1.3	0.0	0.1	0.1	0.0	17.6	0.0	0.5
Prop In Lane	1.00		0.01	1.00		1.00	1.00		0.00	1.00		0.77
Lane Grp Cap(c), veh/h	538	692	727	351	1637	732	271	261	0	748	0	583
V/C Ratio(X)	0.01	0.36	0.36	0.03	0.11	0.00	0.01	0.01	0.00	0.85	0.00	0.02
Avail Cap(c_a), veh/h	538	692	727	668	1637	732	516	261	0	998	0	583
HCM Platoon Ratio	1.00	1.00	1.00	1.67	1.67	1.67	1.00	1.00	1.00	1.00	1.00	1.00
Upstream Filter(I)	1.00	1.00	1.00	0.99	0.99	0.00	1.00	1.00	0.00	1.00	0.00	1.00
Uniform Delay (d), s/veh	18.6	21.5	21.5	17.4	6.3	0.0	36.8	37.0	0.0	37.5	0.0	21.0
Incr Delay (d2), s/veh	0.0	1.4	1.4	0.0	0.1	0.0	0.0	0.1	0.0	5.6	0.0	0.1
Initial Q Delay(d3),s/veh	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
%ile BackOfQ(50%),veh/ln	0.1	5.1	5.3	0.2	0.7	0.0	0.0	0.1	0.0	8.9	0.0	0.2
LnGrp Delay(d),s/veh	18.6	23.0	22.9	17.4	6.4	0.0	36.8	37.1	0.0	43.1	0.0	21.0
LnGrp LOS	B	C	C	B	A		D	D		D		C
Approach Vol, veh/h		512			199			4			646	
Approach Delay, s/veh		22.9			7.1			37.0			42.7	
Approach LOS		C			A			D			D	
Timer	1	2	3	4	5	6	7	8				
Assigned Phs	1	2	3	4		6	7	8				
Phs Duration (G+Y+Rc), s	7.1	45.1	6.2	41.5		52.3	27.7	20.0				
Change Period (Y+Rc), s	6.0	6.0	6.0	6.0		6.0	6.0	6.0				
Max Green Setting (Gmax), s	12.0	14.0	14.0	29.0		39.0	29.0	14.0				
Max Q Clear Time (g_c+1), s	12.4	11.9	2.1	2.5		3.3	19.6	2.1				
Green Ext Time (p_c), s	0.0	0.7	0.0	0.0		2.9	2.1	0.0				
Intersection Summary												
HCM 2010 Ctrl Delay				30.0								
HCM 2010 LOS				C								

HCM 2010 Signalized Intersection Summary
 6: Briley Pkwy SB Ramp & Centennial Blvd

Existing PM
 07/24/2018



Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		↑↑	↑	↑	↑↑					↑		↑
Traffic Volume (veh/h)	0	572	520	127	281	0	0	0	0	128	0	108
Future Volume (veh/h)	0	572	520	127	281	0	0	0	0	128	0	108
Number	5	2	12	1	6	16				7	4	14
Initial Q (Qb), veh	0	0	0	0	0	0				0	0	0
Ped-Bike Adj(A_pbT)	1.00		1.00	1.00		1.00				1.00		1.00
Parking Bus, Adj	1.00	1.00	1.00	1.00	1.00	1.00				1.00	1.00	1.00
Adj Sat Flow, veh/h/ln	0	1863	1863	1863	1863	0				1863	0	1863
Adj Flow Rate, veh/h	0	622	0	138	305	0				139	0	0
Adj No. of Lanes	0	2	1	1	2	0				1	0	1
Peak Hour Factor	0.92	0.92	0.92	0.92	0.92	0.92				0.92	0.92	0.92
Percent Heavy Veh, %	0	2	2	2	2	0				2	0	2
Cap, veh/h	0	2425	1085	694	2786	0				174	0	155
Arrive On Green	0.00	1.00	0.00	0.04	0.79	0.00				0.10	0.00	0.00
Sat Flow, veh/h	0	3632	1583	1774	3632	0				1774	0	1583
Grp Volume(v), veh/h	0	622	0	138	305	0				139	0	0
Grp Sat Flow(s),veh/h/ln	0	1770	1583	1774	1770	0				1774	0	1583
Q Serve(g_s), s	0.0	0.0	0.0	2.1	2.0	0.0				7.7	0.0	0.0
Cycle Q Clear(g_c), s	0.0	0.0	0.0	2.1	2.0	0.0				7.7	0.0	0.0
Prop In Lane	0.00		1.00	1.00		0.00				1.00		1.00
Lane Grp Cap(c), veh/h	0	2425	1085	694	2786	0				174	0	155
V/C Ratio(X)	0.00	0.26	0.00	0.20	0.11	0.00				0.80	0.00	0.00
Avail Cap(c_a), veh/h	0	2425	1085	957	2786	0				523	0	467
HCM Platoon Ratio	1.00	2.00	2.00	1.00	1.00	1.00				1.00	1.00	1.00
Upstream Filter(I)	0.00	0.77	0.00	1.00	1.00	0.00				1.00	0.00	0.00
Uniform Delay (d), s/veh	0.0	0.0	0.0	3.5	2.5	0.0				44.1	0.0	0.0
Incr Delay (d2), s/veh	0.0	0.2	0.0	0.1	0.1	0.0				8.2	0.0	0.0
Initial Q Delay(d3),s/veh	0.0	0.0	0.0	0.0	0.0	0.0				0.0	0.0	0.0
%ile BackOfQ(50%),veh/ln	0.0	0.1	0.0	1.0	1.0	0.0				4.1	0.0	0.0
LnGrp Delay(d),s/veh	0.0	0.2	0.0	3.5	2.6	0.0				52.4	0.0	0.0
LnGrp LOS		A		A	A					D		
Approach Vol, veh/h		622			443						139	
Approach Delay, s/veh		0.2			2.9						52.4	
Approach LOS		A			A						D	
Timer	1	2	3	4	5	6	7	8				
Assigned Phs	1	2		4		6						
Phs Duration (G+Y+Rc), s	74.5			15.3		84.7						
Change Period (Y+Rc), s	6.0	6.0		5.5		6.0						
Max Green Setting (Gmax), s	34.0			29.5		59.0						
Max Q Clear Time (g_c+I), s	2.0			9.7		4.0						
Green Ext Time (p_c), s	0.1	4.1		0.3		4.2						
Intersection Summary												
HCM 2010 Ctrl Delay				7.2								
HCM 2010 LOS				A								

**BACKGROUND CONDITIONS
CAPACITY ANALYSES**

HCM 2010 AWSC
1: Basswood Ave/Quarry Driveway & Robertson Ave

Background AM
07/25/2018

Intersection	
Intersection Delay, s/veh	7.2
Intersection LOS	A

Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		↕			↕			↕			↕	
Traffic Vol, veh/h	1	23	0	8	39	11	1	0	28	13	0	1
Future Vol, veh/h	1	23	0	8	39	11	1	0	28	13	0	1
Peak Hour Factor	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92
Heavy Vehicles, %	2	2	2	2	2	2	2	2	2	2	2	2
Mvmt Flow	1	25	0	9	42	12	1	0	30	14	0	1
Number of Lanes	0	1	0	0	1	0	0	1	0	0	1	0

Approach	EB	WB	NB	SB
Opposing Approach	WB	EB	SB	NB
Opposing Lanes	1	1	1	1
Conflicting Approach Left	SB	NB	EB	WB
Conflicting Lanes Left	1	1	1	1
Conflicting Approach Right	NB	SB	WB	EB
Conflicting Lanes Right	1	1	1	1
HCM Control Delay	7.2	7.3	6.7	7.4
HCM LOS	A	A	A	A

Lane	NBLn1	EBLn1	WBLn1	SBLn1
Vol Left, %	3%	4%	14%	93%
Vol Thru, %	0%	96%	67%	0%
Vol Right, %	97%	0%	19%	7%
Sign Control	Stop	Stop	Stop	Stop
Traffic Vol by Lane	29	24	58	14
LT Vol	1	1	8	13
Through Vol	0	23	39	0
RT Vol	28	0	11	1
Lane Flow Rate	32	26	63	15
Geometry Grp	1	1	1	1
Degree of Util (X)	0.031	0.03	0.069	0.018
Departure Headway (Hd)	3.527	4.072	3.949	4.255
Convergence, Y/N	Yes	Yes	Yes	Yes
Cap	1009	879	908	838
Service Time	1.569	2.097	1.969	2.297
HCM Lane V/C Ratio	0.032	0.03	0.069	0.018
HCM Control Delay	6.7	7.2	7.3	7.4
HCM Lane LOS	A	A	A	A
HCM 95th-tile Q	0.1	0.1	0.2	0.1

HCM 2010 TWSC
2: Annex Ave & Robertson Ave

Background AM
07/25/2018

Intersection												
Int Delay, s/veh	6											
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		↕			↕			↕			↕	
Traffic Vol, veh/h	0	90	0	76	67	1	4	13	155	6	10	0
Future Vol, veh/h	0	90	0	76	67	1	4	13	155	6	10	0
Conflicting Peds, #/hr	0	0	0	0	0	0	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Free	Free	Stop	Stop	Stop	Stop	Stop	Stop
RT Channelized	-	-	None	-	-	None	-	-	None	-	-	None
Storage Length	-	-	-	-	-	-	-	-	-	-	-	-
Veh in Median Storage, #	-	0	-	-	0	-	-	0	-	-	0	-
Grade, %	-	0	-	-	0	-	-	0	-	-	0	-
Peak Hour Factor	92	92	92	92	92	92	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2	2	2	2	2	2	2
Mvmt Flow	0	98	0	83	73	1	4	14	168	7	11	0

Major/Minor	Major1			Major2			Minor1			Minor2		
Conflicting Flow All	74	0	0	98	0	0	342	337	98	428	337	73
Stage 1	-	-	-	-	-	-	98	98	-	239	239	-
Stage 2	-	-	-	-	-	-	244	239	-	189	98	-
Critical Hdwy	4.12	-	-	4.12	-	-	7.12	6.52	6.22	7.12	6.52	6.22
Critical Hdwy Stg 1	-	-	-	-	-	-	6.12	5.52	-	6.12	5.52	-
Critical Hdwy Stg 2	-	-	-	-	-	-	6.12	5.52	-	6.12	5.52	-
Follow-up Hdwy	2.218	-	-	2.218	-	-	3.518	4.018	3.318	3.518	4.018	3.318
Pot Cap-1 Maneuver	1526	-	-	1495	-	-	612	584	958	537	584	989
Stage 1	-	-	-	-	-	-	908	814	-	764	708	-
Stage 2	-	-	-	-	-	-	760	708	-	813	814	-
Platoon blocked, %	-	-	-	-	-	-	-	-	-	-	-	-
Mov Cap-1 Maneuver	1526	-	-	1495	-	-	576	550	958	415	550	989
Mov Cap-2 Maneuver	-	-	-	-	-	-	576	550	-	415	550	-
Stage 1	-	-	-	-	-	-	908	814	-	764	667	-
Stage 2	-	-	-	-	-	-	704	667	-	658	814	-

Approach	EB	WB	NB	SB
HCM Control Delay, s	0	4	10.1	12.6
HCM LOS			B	B

Minor Lane/Major Mvmt	NBLn1	EBL	EBT	EBR	WBL	WBT	WBR	SBLn1
Capacity (veh/h)	894	1526	-	-	1495	-	-	490
HCM Lane V/C Ratio	0.209	-	-	-	0.055	-	-	0.035
HCM Control Delay (s)	10.1	0	-	-	7.5	0	-	12.6
HCM Lane LOS	B	A	-	-	A	A	-	B
HCM 95th %tile Q(veh)	0.8	0	-	-	0.2	-	-	0.1

HCM 2010 TWSC
3: Westboro Dr/James Ave & Robertson Ave

Background AM
07/25/2018

Intersection

Int Delay, s/veh 5.1

Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		↕			↕			↕			↕	
Traffic Vol, veh/h	52	190	6	18	112	8	3	65	37	15	29	26
Future Vol, veh/h	52	190	6	18	112	8	3	65	37	15	29	26
Conflicting Peds, #/hr	0	0	0	0	0	0	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Free	Free	Stop	Stop	Stop	Stop	Stop	Stop
RT Channelized	-	-	None	-	-	None	-	-	None	-	-	None
Storage Length	-	-	-	-	-	-	-	-	-	-	-	-
Veh in Median Storage, #	-	0	-	-	0	-	-	0	-	-	0	-
Grade, %	-	0	-	-	0	-	-	0	-	-	0	-
Peak Hour Factor	92	92	92	92	92	92	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2	2	2	2	2	2	2
Mvmt Flow	57	207	7	20	122	9	3	71	40	16	32	28

Major/Minor	Major1	Major2	Minor1	Minor2
Conflicting Flow All	130	0	0	213
Stage 1	-	-	-	-
Stage 2	-	-	-	-
Critical Hdwy	4.12	-	-	4.12
Critical Hdwy Stg 1	-	-	-	-
Critical Hdwy Stg 2	-	-	-	-
Follow-up Hdwy	2.218	-	-	2.218
Pot Cap-1 Maneuver	1455	-	-	1357
Stage 1	-	-	-	-
Stage 2	-	-	-	-
Platoon blocked, %	-	-	-	-
Mov Cap-1 Maneuver	1455	-	-	1357
Mov Cap-2 Maneuver	-	-	-	-
Stage 1	-	-	-	-
Stage 2	-	-	-	-

Approach	EB	WB	NB	SB
HCM Control Delay, s	1.6	1	13.6	13.1
HCM LOS			B	B

Minor Lane/Major Mvmt	NBLn1	EBL	EBT	EBR	WBL	WBT	WBR	SBLn1
Capacity (veh/h)	534	1455	-	-	1357	-	-	522
HCM Lane V/C Ratio	0.214	0.039	-	-	0.014	-	-	0.146
HCM Control Delay (s)	13.6	7.6	0	-	7.7	0	-	13.1
HCM Lane LOS	B	A	A	-	A	A	-	B
HCM 95th %tile Q(veh)	0.8	0.1	-	-	0	-	-	0.5

HCM 2010 Signalized Intersection Summary

4: White Bridge Pk/Briley Pkwy & Robertson Ave/Urbandale Ave

Background AM
07/25/2018

Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations												
Traffic Volume (veh/h)	58	115	499	57	26	32	183	308	44	83	1014	78
Future Volume (veh/h)	58	115	499	57	26	32	183	308	44	83	1014	78
Number	3	8	18	7	4	14	5	2	12	1	6	16
Initial Q (Qb), veh	0	0	0	0	0	0	0	0	0	0	0	0
Ped-Bike Adj(A_pbT)	1.00		1.00	1.00		1.00	1.00		1.00	1.00		1.00
Parking Bus, Adj	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Adj Sat Flow, veh/h/ln	1863	1863	1863	1863	1863	1900	1863	1863	1900	1863	1863	1863
Adj Flow Rate, veh/h	63	125	542	62	28	35	199	335	48	90	1102	85
Adj No. of Lanes	1	1	1	1	2	0	2	2	0	1	2	1
Peak Hour Factor	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92
Percent Heavy Veh, %	2	2	2	2	2	2	2	2	2	2	2	2
Cap, veh/h	330	331	354	214	307	275	563	1697	241	608	1901	851
Arrive On Green	0.04	0.18	0.18	0.04	0.17	0.17	0.05	0.55	0.55	0.04	0.54	0.54
Sat Flow, veh/h	1774	1863	1583	1774	1770	1583	3442	3112	442	1774	3539	1583
Grp Volume(v), veh/h	63	125	542	62	28	35	199	189	194	90	1102	85
Grp Sat Flow(s),veh/h/ln	1774	1863	1583	1774	1770	1583	1721	1770	1785	1774	1770	1583
Q Serve(g_s), s	3.9	8.0	24.0	3.8	1.8	2.5	3.5	7.3	7.5	3.1	28.2	3.5
Cycle Q Clear(g_c), s	3.9	8.0	24.0	3.8	1.8	2.5	3.5	7.3	7.5	3.1	28.2	3.5
Prop In Lane	1.00		1.00	1.00		1.00	1.00		0.25	1.00		1.00
Lane Grp Cap(c), veh/h	330	331	354	214	307	275	563	965	973	608	1901	851
V/C Ratio(X)	0.19	0.38	1.53	0.29	0.09	0.13	0.35	0.20	0.20	0.15	0.58	0.10
Avail Cap(c_a), veh/h	404	331	354	256	307	275	852	965	973	745	1901	851
HCM Platoon Ratio	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Upstream Filter(I)	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Uniform Delay (d), s/veh	43.3	48.9	52.4	43.6	46.9	47.2	16.2	15.6	15.7	13.0	21.0	15.3
Incr Delay (d2), s/veh	0.3	0.3	253.0	0.7	0.0	0.1	0.5	0.5	0.5	0.2	1.3	0.2
Initial Q Delay(d3),s/veh	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
%ile BackOfQ(50%),veh/ln	1.9	4.1	38.0	1.9	0.9	1.1	1.7	3.7	3.8	1.5	14.1	1.6
LnGrp Delay(d),s/veh	43.6	49.2	305.4	44.3	46.9	47.2	16.8	16.1	16.1	13.2	22.3	15.5
LnGrp LOS	D	D	F	D	D	D	B	B	B	B	C	B
Approach Vol, veh/h		730			125			582			1277	
Approach Delay, s/veh		238.9			45.7			16.3			21.2	
Approach LOS		F			D			B			C	
Timer	1	2	3	4	5	6	7	8				
Assigned Phs	1	2	3	4	5	6	7	8				
Phs Duration (G+Y+Rc), s	11.6	80.6	12.4	30.4	12.7	79.5	11.8	31.0				
Change Period (Y+Rc), s	6.5	7.0	7.0	7.0	6.5	7.0	6.5	7.0				
Max Green Setting (Gmax), s	15.5	60.0	11.0	21.0	17.5	58.0	8.5	24.0				
Max Q Clear Time (g_c+l1), s	5.1	9.5	5.9	4.5	5.5	30.2	5.8	26.0				
Green Ext Time (p_c), s	0.2	7.1	0.0	1.6	0.7	6.7	0.0	0.0				

Intersection Summary

HCM 2010 Ctrl Delay	79.8
HCM 2010 LOS	E

Notes

HCM 2010 Signalized Intersection Summary

5: Private Drive & Cockrill Bend Blvd & Centennial Blvd

Background AM
07/25/2018



Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations	↵	↕		↵	↕	↗	↵	↗		↗	↕	↗
Traffic Volume (veh/h)	6	269	0	127	634	519	3	2	12	149	4	5
Future Volume (veh/h)	6	269	0	127	634	519	3	2	12	149	4	5
Number	5	2	12	1	6	16	3	8	18	7	4	14
Initial Q (Qb), veh	0	0	0	0	0	0	0	0	0	0	0	0
Ped-Bike Adj(A_pbT)	1.00		1.00	1.00		1.00	1.00		1.00	1.00		1.00
Parking Bus, Adj	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Adj Sat Flow, veh/h/ln	1863	1863	1900	1863	1863	1863	1863	1863	1900	1863	1863	1900
Adj Flow Rate, veh/h	7	292	0	138	689	0	3	2	0	162	4	5
Adj No. of Lanes	1	2	0	1	2	1	1	1	0	2	1	0
Peak Hour Factor	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92
Percent Heavy Veh, %	2	2	2	2	2	2	2	2	2	2	2	2
Cap, veh/h	375	1427	0	563	1864	834	389	414	0	245	219	273
Arrive On Green	0.40	0.40	0.00	0.11	0.88	0.00	0.00	0.22	0.00	0.07	0.29	0.29
Sat Flow, veh/h	751	3632	0	1774	3539	1583	1774	1863	0	3442	754	942
Grp Volume(v), veh/h	7	292	0	138	689	0	3	2	0	162	0	9
Grp Sat Flow(s),veh/h/ln	751	1770	0	1774	1770	1583	1774	1863	0	1721	0	1696
Q Serve(g_s), s	0.6	5.4	0.0	4.4	3.5	0.0	0.1	0.1	0.0	4.6	0.0	0.4
Cycle Q Clear(g_c), s	0.6	5.4	0.0	4.4	3.5	0.0	0.1	0.1	0.0	4.6	0.0	0.4
Prop In Lane	1.00		0.00	1.00		1.00	1.00		0.00	1.00		0.56
Lane Grp Cap(c), veh/h	375	1427	0	563	1864	834	389	414	0	245	0	492
V/C Ratio(X)	0.02	0.20	0.00	0.24	0.37	0.00	0.01	0.00	0.00	0.66	0.00	0.02
Avail Cap(c_a), veh/h	375	1427	0	787	1864	834	631	414	0	998	0	492
HCM Platoon Ratio	1.00	1.00	1.00	1.67	1.67	1.67	1.00	1.00	1.00	1.00	1.00	1.00
Upstream Filter(I)	1.00	1.00	0.00	0.77	0.77	0.00	1.00	1.00	0.00	1.00	0.00	1.00
Uniform Delay (d), s/veh	18.0	19.4	0.0	13.9	3.1	0.0	30.1	30.3	0.0	45.3	0.0	25.3
Incr Delay (d2), s/veh	0.1	0.3	0.0	0.1	0.4	0.0	0.0	0.0	0.0	3.7	0.0	0.1
Initial Q Delay(d3),s/veh	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
%ile BackOfQ(50%),veh/ln	0.1	2.7	0.0	2.1	1.7	0.0	0.1	0.0	0.0	2.3	0.0	0.2
LnGrp Delay(d),s/veh	18.1	19.7	0.0	14.0	3.5	0.0	30.1	30.3	0.0	48.9	0.0	25.4
LnGrp LOS	B	B		B	A		C	C		D		C
Approach Vol, veh/h		299			827			5			171	
Approach Delay, s/veh		19.7			5.2			30.2			47.7	
Approach LOS		B			A			C			D	
Timer	1	2	3	4	5	6	7	8				
Assigned Phs	1	2	3	4		6	7	8				
Phs Duration (G+Y+Rc), s	2.4	46.3	6.3	35.0		58.7	13.1	28.2				
Change Period (Y+Rc), s	6.0	6.0	6.0	6.0		6.0	6.0	6.0				
Max Green Setting (Gmax), s	10.0	14.0	14.0	29.0		39.0	29.0	14.0				
Max Q Clear Time (g_c+I1), s	10.0	7.4	2.1	2.4		5.5	6.6	2.1				
Green Ext Time (p_c), s	0.1	2.5	0.0	0.0		4.7	0.6	0.0				
Intersection Summary												
HCM 2010 Ctrl Delay				14.2								
HCM 2010 LOS				B								

HCM 2010 Signalized Intersection Summary

6: Briley Pkwy SB Ramps & Centennial Blvd

Background AM
07/25/2018



Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		↑↑	↑	↑	↑↑					↑		↑
Traffic Volume (veh/h)	0	191	239	135	804	0	0	0	0	288	0	476
Future Volume (veh/h)	0	191	239	135	804	0	0	0	0	288	0	476
Number	5	2	12	1	6	16				7	4	14
Initial Q (Qb), veh	0	0	0	0	0	0				0	0	0
Ped-Bike Adj(A_pbT)	1.00		1.00	1.00		1.00				1.00		1.00
Parking Bus, Adj	1.00	1.00	1.00	1.00	1.00	1.00				1.00	1.00	1.00
Adj Sat Flow, veh/h/ln	0	1863	1863	1863	1863	0				1863	0	1863
Adj Flow Rate, veh/h	0	208	0	147	874	0				313	0	0
Adj No. of Lanes	0	2	1	1	2	0				1	0	1
Peak Hour Factor	0.92	0.92	0.92	0.92	0.92	0.92				0.92	0.92	0.92
Percent Heavy Veh, %	0	2	2	2	2	0				2	0	2
Cap, veh/h	0	2069	925	845	2464	0				353	0	315
Arrive On Green	0.00	0.98	0.00	0.05	0.70	0.00				0.20	0.00	0.00
Sat Flow, veh/h	0	3632	1583	1774	3632	0				1774	0	1583
Grp Volume(v), veh/h	0	208	0	147	874	0				313	0	0
Grp Sat Flow(s),veh/h/ln	0	1770	1583	1774	1770	0				1774	0	1583
Q Serve(g_s), s	0.0	0.2	0.0	3.1	10.0	0.0				17.2	0.0	0.0
Cycle Q Clear(g_c), s	0.0	0.2	0.0	3.1	10.0	0.0				17.2	0.0	0.0
Prop In Lane	0.00		1.00	1.00		0.00				1.00		1.00
Lane Grp Cap(c), veh/h	0	2069	925	845	2464	0				353	0	315
V/C Ratio(X)	0.00	0.10	0.00	0.17	0.35	0.00				0.89	0.00	0.00
Avail Cap(c_a), veh/h	0	2069	925	1091	2464	0				541	0	483
HCM Platoon Ratio	1.00	1.67	1.67	1.00	1.00	1.00				1.00	1.00	1.00
Upstream Filter(I)	0.00	0.93	0.00	1.00	1.00	0.00				1.00	0.00	0.00
Uniform Delay (d), s/veh	0.0	0.5	0.0	6.5	6.1	0.0				39.0	0.0	0.0
Incr Delay (d2), s/veh	0.0	0.1	0.0	0.0	0.4	0.0				11.1	0.0	0.0
Initial Q Delay(d3),s/veh	0.0	0.0	0.0	0.0	0.0	0.0				0.0	0.0	0.0
%ile BackOfQ(50%),veh/ln	0.0	0.1	0.0	1.5	5.0	0.0				9.5	0.0	0.0
LnGrp Delay(d),s/veh	0.0	0.6	0.0	6.5	6.5	0.0				50.1	0.0	0.0
LnGrp LOS		A		A	A					D		
Approach Vol, veh/h		208			1021						313	
Approach Delay, s/veh		0.6			6.5						50.1	
Approach LOS		A			A						D	
Timer	1	2	3	4	5	6	7	8				
Assigned Phs	1	2		4		6						
Phs Duration (G+Y+Rc), s	1.2	64.4		24.4		75.6						
Change Period (Y+Rc), s	6.0	6.0		4.5		6.0						
Max Green Setting (Gmax), s	3.0	34.0		30.5		59.0						
Max Q Clear Time (g_c+1/15), s	1.0	2.2		19.2		12.0						
Green Ext Time (p_c), s	0.1	5.1		0.7		5.3						
Intersection Summary												
HCM 2010 Ctrl Delay				14.6								
HCM 2010 LOS				B								

Queues

Background AM

4: White Bridge Pk/Briley Pkwy & Robertson Ave/Urbandale Ave

07/26/2018



Lane Group	EBL	EBT	EBR	WBL	WBT	NBL	NBT	SBL	SBT	SBR
Lane Group Flow (vph)	63	125	542	62	63	199	383	90	1102	85
v/c Ratio	0.28	0.68	0.88	0.30	0.20	0.22	0.18	0.16	0.66	0.10
Control Delay	46.1	76.1	48.9	46.6	30.3	7.6	13.6	10.1	31.5	0.7
Queue Delay	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
Total Delay	46.1	76.1	48.9	46.6	30.3	7.6	13.6	10.1	31.5	0.7
Queue Length 50th (ft)	46	108	353	45	12	27	77	24	415	0
Queue Length 95th (ft)	83	170	#556	82	34	46	120	48	499	5
Internal Link Dist (ft)		1162			993		1102		743	
Turn Bay Length (ft)	150		160	145		100		170		160
Base Capacity (vph)	245	331	616	208	534	894	2073	668	1668	818
Starvation Cap Reductn	0	0	0	0	0	0	0	0	0	0
Spillback Cap Reductn	0	0	0	0	0	0	0	0	0	0
Storage Cap Reductn	0	0	0	0	0	0	0	0	0	0
Reduced v/c Ratio	0.26	0.38	0.88	0.30	0.12	0.22	0.18	0.13	0.66	0.10

Intersection Summary

- # 95th percentile volume exceeds capacity, queue may be longer.
Queue shown is maximum after two cycles.

Queues

5: Private Drive & Cockrill Bend Blvd & Centennial Blvd



Lane Group	EBL	EBT	WBL	WBT	WBR	NBL	NBT	SBL	SBT
Lane Group Flow (vph)	7	292	138	689	564	3	15	162	9
v/c Ratio	0.04	0.35	0.36	0.50	0.59	0.01	0.03	0.45	0.01
Control Delay	32.8	34.3	22.9	25.7	7.4	14.0	13.3	45.5	12.6
Queue Delay	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
Total Delay	32.8	34.3	22.9	25.7	7.4	14.0	13.3	45.5	12.6
Queue Length 50th (ft)	3	82	68	197	95	1	1	50	1
Queue Length 95th (ft)	16	127	m104	m247	m155	6	16	80	12
Internal Link Dist (ft)		3110		1052			590		565
Turn Bay Length (ft)	120		240		450	80		290	
Base Capacity (vph)	168	824	483	1380	961	701	534	995	802
Starvation Cap Reductn	0	0	0	0	0	0	0	0	0
Spillback Cap Reductn	0	0	0	0	0	0	0	0	0
Storage Cap Reductn	0	0	0	0	0	0	0	0	0
Reduced v/c Ratio	0.04	0.35	0.29	0.50	0.59	0.00	0.03	0.16	0.01

Intersection Summary

m Volume for 95th percentile queue is metered by upstream signal.

Queues

Background AM

07/26/2018

6: Briley Pkwy SB Ramps & Centennial Blvd



Lane Group	EBT	EBR	WBL	WBT	SBL	SBR
Lane Group Flow (vph)	208	260	147	874	313	517
v/c Ratio	0.12	0.29	0.21	0.40	0.63	0.93
Control Delay	25.8	20.1	9.6	11.0	37.4	49.6
Queue Delay	0.0	0.0	0.0	0.0	0.0	0.0
Total Delay	25.8	20.1	9.6	11.0	37.4	49.6
Queue Length 50th (ft)	74	115	39	148	168	227
Queue Length 95th (ft)	113	197	68	190	258	#422
Internal Link Dist (ft)	1052			1619		
Turn Bay Length (ft)		170	170			240
Base Capacity (vph)	1678	887	773	2178	539	591
Starvation Cap Reductn	0	0	0	0	0	0
Spillback Cap Reductn	0	0	0	0	0	0
Storage Cap Reductn	0	0	0	0	0	0
Reduced v/c Ratio	0.12	0.29	0.19	0.40	0.58	0.87

Intersection Summary

- # 95th percentile volume exceeds capacity, queue may be longer.
Queue shown is maximum after two cycles.

HCM 2010 AWSC
1: Basswood Ave/Quarry Driveway & Robertson Ave

Background PM
07/25/2018

Intersection

Intersection Delay, s/veh	7.2
Intersection LOS	A

Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		↕			↕			↕			↕	
Traffic Vol, veh/h	0	19	6	45	8	0	0	0	18	3	0	0
Future Vol, veh/h	0	19	6	45	8	0	0	0	18	3	0	0
Peak Hour Factor	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92
Heavy Vehicles, %	2	2	2	2	2	2	2	2	2	2	2	2
Mvmt Flow	0	21	7	49	9	0	0	0	20	3	0	0
Number of Lanes	0	1	0	0	1	0	0	1	0	0	1	0

Approach	EB	WB	NB	SB
Opposing Approach	WB	EB	SB	NB
Opposing Lanes	1	1	1	1
Conflicting Approach Left	SB	NB	EB	WB
Conflicting Lanes Left	1	1	1	1
Conflicting Approach Right	NB	SB	WB	EB
Conflicting Lanes Right	1	1	1	1
HCM Control Delay	7	7.5	6.6	7.4
HCM LOS	A	A	A	A

Lane	NBLn1	EBLn1	WBLn1	SBLn1
Vol Left, %	0%	0%	85%	100%
Vol Thru, %	0%	76%	15%	0%
Vol Right, %	100%	24%	0%	0%
Sign Control	Stop	Stop	Stop	Stop
Traffic Vol by Lane	18	25	53	3
LT Vol	0	0	45	3
Through Vol	0	19	8	0
RT Vol	18	6	0	0
Lane Flow Rate	20	27	58	3
Geometry Grp	1	1	1	1
Degree of Util (X)	0.019	0.029	0.067	0.004
Departure Headway (Hd)	3.482	3.872	4.163	4.295
Convergence, Y/N	Yes	Yes	Yes	Yes
Cap	1022	926	864	830
Service Time	1.523	1.891	2.173	2.338
HCM Lane V/C Ratio	0.02	0.029	0.067	0.004
HCM Control Delay	6.6	7	7.5	7.4
HCM Lane LOS	A	A	A	A
HCM 95th-tile Q	0.1	0.1	0.2	0

HCM 2010 TWSC
2: Annex Ave & Robertson Ave

Background PM
07/25/2018

Intersection

Int Delay, s/veh 7.3

Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		↕			↕			↕			↕	
Traffic Vol, veh/h	0	57	2	214	60	6	1	17	108	8	30	8
Future Vol, veh/h	0	57	2	214	60	6	1	17	108	8	30	8
Conflicting Peds, #/hr	0	0	0	0	0	0	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Free	Free	Stop	Stop	Stop	Stop	Stop	Stop
RT Channelized	-	-	None	-	-	None	-	-	None	-	-	None
Storage Length	-	-	-	-	-	-	-	-	-	-	-	-
Veh in Median Storage, #	-	0	-	-	0	-	-	0	-	-	0	-
Grade, %	-	0	-	-	0	-	-	0	-	-	0	-
Peak Hour Factor	92	92	92	92	92	92	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2	2	2	2	2	2	2
Mvmt Flow	0	62	2	233	65	7	1	18	117	9	33	9

Major/Minor	Major1	Major2	Minor1	Minor2
Conflicting Flow All	72	0	0	64
Stage 1	-	-	-	-
Stage 2	-	-	-	-
Critical Hdwy	4.12	-	-	4.12
Critical Hdwy Stg 1	-	-	-	-
Critical Hdwy Stg 2	-	-	-	-
Follow-up Hdwy	2.218	-	-	2.218
Pot Cap-1 Maneuver	1528	-	-	1538
Stage 1	-	-	-	-
Stage 2	-	-	-	-
Platoon blocked, %	-	-	-	-
Mov Cap-1 Maneuver	1528	-	-	1538
Mov Cap-2 Maneuver	-	-	-	-
Stage 1	-	-	-	-
Stage 2	-	-	-	-

Approach	EB	WB	NB	SB
HCM Control Delay, s	0	5.9	10.5	16
HCM LOS			B	C

Minor Lane/Major Mvmt	NBLn1	EBL	EBT	EBR	WBL	WBT	WBR	SBLn1
Capacity (veh/h)	790	1528	-	-	1538	-	-	376
HCM Lane V/C Ratio	0.173	-	-	-	0.151	-	-	0.133
HCM Control Delay (s)	10.5	0	-	-	7.8	0	-	16
HCM Lane LOS	B	A	-	-	A	A	-	C
HCM 95th %tile Q(veh)	0.6	0	-	-	0.5	-	-	0.5

HCM 2010 TWSC
3: Westboro Dr/James Ave & Robertson Ave

Background PM
07/25/2018

Intersection

Int Delay, s/veh 6.8

Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		↕			↕			↕			↕	
Traffic Vol, veh/h	45	129	4	50	225	19	9	62	36	14	75	55
Future Vol, veh/h	45	129	4	50	225	19	9	62	36	14	75	55
Conflicting Peds, #/hr	0	0	0	0	0	0	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Free	Free	Stop	Stop	Stop	Stop	Stop	Stop
RT Channelized	-	-	None	-	-	None	-	-	None	-	-	None
Storage Length	-	-	-	-	-	-	-	-	-	-	-	-
Veh in Median Storage, #	-	0	-	-	0	-	-	0	-	-	0	-
Grade, %	-	0	-	-	0	-	-	0	-	-	0	-
Peak Hour Factor	92	92	92	92	92	92	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2	2	2	2	2	2	2
Mvmt Flow	49	140	4	54	245	21	10	67	39	15	82	60

Major/Minor	Major1	Major2	Minor1	Minor2
Conflicting Flow All	265	0	0	145
Stage 1	-	-	-	-
Stage 2	-	-	-	-
Critical Hdwy	4.12	-	-	4.12
Critical Hdwy Stg 1	-	-	-	-
Critical Hdwy Stg 2	-	-	-	-
Follow-up Hdwy	2.218	-	-	2.218
Pot Cap-1 Maneuver	1299	-	-	1437
Stage 1	-	-	-	-
Stage 2	-	-	-	-
Platoon blocked, %	-	-	-	-
Mov Cap-1 Maneuver	1299	-	-	1437
Mov Cap-2 Maneuver	-	-	-	-
Stage 1	-	-	-	-
Stage 2	-	-	-	-

Approach	EB	WB	NB	SB
HCM Control Delay, s	2	1.3	15.9	17
HCM LOS			C	C

Minor Lane/Major Mvmt	NBLn1	EBL	EBT	EBR	WBL	WBT	WBR	SBLn1
Capacity (veh/h)	446	1299	-	-	1437	-	-	454
HCM Lane V/C Ratio	0.261	0.038	-	-	0.038	-	-	0.345
HCM Control Delay (s)	15.9	7.9	0	-	7.6	0	-	17
HCM Lane LOS	C	A	A	-	A	A	-	C
HCM 95th %tile Q(veh)	1	0.1	-	-	0.1	-	-	1.5

HCM 2010 Signalized Intersection Summary

4: White Bridge Pk/Briley Pkwy & Robertson Ave/Urbandale Ave

Background PM

07/25/2018

Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations												
Traffic Volume (veh/h)	71	71	228	137	135	84	363	1011	66	51	406	92
Future Volume (veh/h)	71	71	228	137	135	84	363	1011	66	51	406	92
Number	3	8	18	7	4	14	5	2	12	1	6	16
Initial Q (Qb), veh	0	0	0	0	0	0	0	0	0	0	0	0
Ped-Bike Adj(A_pbT)	1.00		1.00	1.00		1.00	1.00		1.00	1.00		1.00
Parking Bus, Adj	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Adj Sat Flow, veh/h/ln	1863	1863	1863	1863	1863	1900	1863	1863	1900	1863	1863	1863
Adj Flow Rate, veh/h	77	77	248	149	147	91	395	1099	72	55	441	100
Adj No. of Lanes	1	1	1	1	2	0	2	2	0	1	2	1
Peak Hour Factor	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92
Percent Heavy Veh, %	2	2	2	2	2	2	2	2	2	2	2	2
Cap, veh/h	238	186	305	292	271	158	1050	1630	107	250	1501	672
Arrive On Green	0.05	0.10	0.10	0.08	0.13	0.13	0.09	0.48	0.48	0.03	0.42	0.42
Sat Flow, veh/h	1774	1863	1583	1774	2152	1258	3442	3373	221	1774	3539	1583
Grp Volume(v), veh/h	77	77	248	149	119	119	395	576	595	55	441	100
Grp Sat Flow(s),veh/h/ln	1774	1863	1583	1774	1770	1641	1721	1770	1824	1774	1770	1583
Q Serve(g_s), s	3.5	3.5	9.0	6.7	5.7	6.1	5.5	22.5	22.5	1.6	7.4	3.5
Cycle Q Clear(g_c), s	3.5	3.5	9.0	6.7	5.7	6.1	5.5	22.5	22.5	1.6	7.4	3.5
Prop In Lane	1.00		1.00	1.00		0.77	1.00		0.12	1.00		1.00
Lane Grp Cap(c), veh/h	238	186	305	292	223	206	1050	856	882	250	1501	672
V/C Ratio(X)	0.32	0.41	0.81	0.51	0.54	0.58	0.38	0.67	0.67	0.22	0.29	0.15
Avail Cap(c_a), veh/h	283	186	305	292	223	206	1172	856	882	339	1501	672
HCM Platoon Ratio	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Upstream Filter(I)	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Uniform Delay (d), s/veh	33.9	38.0	34.8	32.8	36.9	37.1	11.9	17.8	17.8	15.5	17.0	15.9
Incr Delay (d2), s/veh	0.8	0.5	14.5	1.5	1.4	2.5	0.3	4.2	4.1	0.6	0.5	0.5
Initial Q Delay(d3),s/veh	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
%ile BackOfQ(50%),veh/ln	1.7	1.8	7.1	3.4	2.9	2.9	2.6	11.9	12.2	0.8	3.7	1.6
LnGrp Delay(d),s/veh	34.7	38.6	49.3	34.3	38.2	39.6	12.2	22.0	21.9	16.1	17.5	16.4
LnGrp LOS	C	D	D	C	D	D	B	C	C	B	B	B
Approach Vol, veh/h		402			387			1566			596	
Approach Delay, s/veh		44.4			37.2			19.5			17.2	
Approach LOS		D			D			B			B	
Timer	1	2	3	4	5	6	7	8				
Assigned Phs	1	2	3	4	5	6	7	8				
Phs Duration (G+Y+Rc), s	9.5	50.5	11.7	18.3	14.8	45.2	14.0	16.0				
Change Period (Y+Rc), s	6.5	7.0	7.0	7.0	6.5	7.0	6.5	7.0				
Max Green Setting (Gmax), s	7.5	39.0	7.0	9.0	11.5	35.0	7.5	9.0				
Max Q Clear Time (g_c+I1), s	3.6	24.5	5.5	8.1	7.5	9.4	8.7	11.0				
Green Ext Time (p_c), s	0.0	6.0	0.0	0.2	0.8	7.3	0.0	0.0				

Intersection Summary

HCM 2010 Ctrl Delay	24.8
HCM 2010 LOS	C

Notes

HCM 2010 Signalized Intersection Summary
 5: Private Drive & Cockrill Bend Blvd & Centennial Blvd

Background PM
 07/25/2018



Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations	↖	↖↗		↖	↖↗	↖	↖	↖		↖↗	↖	
Traffic Volume (veh/h)	4	501	3	12	185	222	2	2	48	627	3	10
Future Volume (veh/h)	4	501	3	12	185	222	2	2	48	627	3	10
Number	5	2	12	1	6	16	3	8	18	7	4	14
Initial Q (Qb), veh	0	0	0	0	0	0	0	0	0	0	0	0
Ped-Bike Adj(A_pbT)	1.00		1.00	1.00		1.00	1.00		1.00	1.00		1.00
Parking Bus, Adj	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Adj Sat Flow, veh/h/ln	1863	1863	1900	1863	1863	1863	1863	1863	1900	1863	1863	1900
Adj Flow Rate, veh/h	4	545	3	13	201	0	2	2	0	682	3	11
Adj No. of Lanes	1	2	0	1	2	1	1	1	0	2	1	0
Peak Hour Factor	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92
Percent Heavy Veh, %	2	2	2	2	2	2	2	2	2	2	2	2
Cap, veh/h	515	1360	7	321	1589	711	271	261	0	795	129	474
Arrive On Green	0.38	0.38	0.38	0.02	0.75	0.00	0.00	0.14	0.00	0.23	0.37	0.37
Sat Flow, veh/h	1177	3609	20	1774	3539	1583	1774	1863	0	3442	351	1285
Grp Volume(v), veh/h	4	267	281	13	201	0	2	2	0	682	0	14
Grp Sat Flow(s),veh/h/ln	1177	1770	1859	1774	1770	1583	1774	1863	0	1721	0	1636
Q Serve(g_s), s	0.2	11.1	11.1	0.4	1.6	0.0	0.1	0.1	0.0	19.0	0.0	0.5
Cycle Q Clear(g_c), s	0.2	11.1	11.1	0.4	1.6	0.0	0.1	0.1	0.0	19.0	0.0	0.5
Prop In Lane	1.00		0.01	1.00		1.00	1.00		0.00	1.00		0.79
Lane Grp Cap(c), veh/h	515	667	701	321	1589	711	271	261	0	795	0	603
V/C Ratio(X)	0.01	0.40	0.40	0.04	0.13	0.00	0.01	0.01	0.00	0.86	0.00	0.02
Avail Cap(c_a), veh/h	515	667	701	637	1589	711	516	261	0	998	0	603
HCM Platoon Ratio	1.00	1.00	1.00	1.67	1.67	1.67	1.00	1.00	1.00	1.00	1.00	1.00
Upstream Filter(I)	1.00	1.00	1.00	0.99	0.99	0.00	1.00	1.00	0.00	1.00	0.00	1.00
Uniform Delay (d), s/veh	19.5	22.9	22.9	18.3	7.1	0.0	36.8	37.0	0.0	36.9	0.0	20.1
Incr Delay (d2), s/veh	0.0	1.8	1.7	0.0	0.2	0.0	0.0	0.1	0.0	6.6	0.0	0.1
Initial Q Delay(d3),s/veh	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
%ile BackOfQ(50%),veh/ln	0.1	5.7	6.0	0.2	0.8	0.0	0.0	0.1	0.0	9.7	0.0	0.3
LnGrp Delay(d),s/veh	19.5	24.7	24.6	18.3	7.2	0.0	36.8	37.1	0.0	43.5	0.0	20.2
LnGrp LOS	B	C	C	B	A		D	D		D		C
Approach Vol, veh/h		552			214			4			696	
Approach Delay, s/veh		24.6			7.9			37.0			43.0	
Approach LOS		C			A			D			D	
Timer	1	2	3	4	5	6	7	8				
Assigned Phs	1	2	3	4		6	7	8				
Phs Duration (G+Y+Rc), s	7.2	43.7	6.2	42.9		50.9	29.1	20.0				
Change Period (Y+Rc), s	6.0	6.0	6.0	6.0		6.0	6.0	6.0				
Max Green Setting (Gmax), s	14.0	14.0	14.0	29.0		39.0	29.0	14.0				
Max Q Clear Time (g_c+1), s	13.1	13.1	2.1	2.5		3.6	21.0	2.1				
Green Ext Time (p_c), s	0.0	0.3	0.0	0.0		3.1	2.1	0.0				
Intersection Summary												
HCM 2010 Ctrl Delay					30.9							
HCM 2010 LOS					C							

HCM 2010 Signalized Intersection Summary
6: Briley Pkwy SB Ramp & Centennial Blvd

Background PM
07/25/2018



Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		↑↑	↑	↑	↑↑					↑		↑
Traffic Volume (veh/h)	0	616	560	137	303	0	0	0	0	138	0	116
Future Volume (veh/h)	0	616	560	137	303	0	0	0	0	138	0	116
Number	5	2	12	1	6	16				7	4	14
Initial Q (Qb), veh	0	0	0	0	0	0				0	0	0
Ped-Bike Adj(A_pbT)	1.00		1.00	1.00		1.00				1.00		1.00
Parking Bus, Adj	1.00	1.00	1.00	1.00	1.00	1.00				1.00	1.00	1.00
Adj Sat Flow, veh/h/ln	0	1863	1863	1863	1863	0				1863	0	1863
Adj Flow Rate, veh/h	0	670	0	149	329	0				150	0	0
Adj No. of Lanes	0	2	1	1	2	0				1	0	1
Peak Hour Factor	0.92	0.92	0.92	0.92	0.92	0.92				0.92	0.92	0.92
Percent Heavy Veh, %	0	2	2	2	2	0				2	0	2
Cap, veh/h	0	2392	1070	667	2762	0				186	0	166
Arrive On Green	0.00	1.00	0.00	0.04	0.78	0.00				0.10	0.00	0.00
Sat Flow, veh/h	0	3632	1583	1774	3632	0				1774	0	1583
Grp Volume(v), veh/h	0	670	0	149	329	0				150	0	0
Grp Sat Flow(s),veh/h/ln	0	1770	1583	1774	1770	0				1774	0	1583
Q Serve(g_s), s	0.0	0.0	0.0	2.4	2.3	0.0				8.3	0.0	0.0
Cycle Q Clear(g_c), s	0.0	0.0	0.0	2.4	2.3	0.0				8.3	0.0	0.0
Prop In Lane	0.00		1.00	1.00		0.00				1.00		1.00
Lane Grp Cap(c), veh/h	0	2392	1070	667	2762	0				186	0	166
V/C Ratio(X)	0.00	0.28	0.00	0.22	0.12	0.00				0.81	0.00	0.00
Avail Cap(c_a), veh/h	0	2392	1070	925	2762	0				523	0	467
HCM Platoon Ratio	1.00	2.00	2.00	1.00	1.00	1.00				1.00	1.00	1.00
Upstream Filter(l)	0.00	0.74	0.00	1.00	1.00	0.00				1.00	0.00	0.00
Uniform Delay (d), s/veh	0.0	0.0	0.0	3.7	2.7	0.0				43.8	0.0	0.0
Incr Delay (d2), s/veh	0.0	0.2	0.0	0.1	0.1	0.0				8.1	0.0	0.0
Initial Q Delay(d3),s/veh	0.0	0.0	0.0	0.0	0.0	0.0				0.0	0.0	0.0
%ile BackOfQ(50%),veh/lr	0.0	0.1	0.0	1.1	1.1	0.0				4.5	0.0	0.0
LnGrp Delay(d),s/veh	0.0	0.2	0.0	3.8	2.7	0.0				51.8	0.0	0.0
LnGrp LOS		A		A	A					D		
Approach Vol, veh/h		670			478						150	
Approach Delay, s/veh		0.2			3.1						51.8	
Approach LOS		A			A						D	
Timer	1	2	3	4	5	6	7	8				
Assigned Phs	1	2		4		6						
Phs Duration (G+Y+Rc), \$0.5		73.6		16.0		84.0						
Change Period (Y+Rc), s	6.0	6.0		5.5		6.0						
Max Green Setting (Gmax), s	34.0	34.0		29.5		59.0						
Max Q Clear Time (g_c+1), s	2.0	2.0		10.3		4.3						
Green Ext Time (p_c), s	0.2	4.5		0.4		4.7						
Intersection Summary												
HCM 2010 Ctrl Delay				7.2								
HCM 2010 LOS				A								

Queues

Background PM

4: White Bridge Pk/Briley Pkwy & Robertson Ave/Urbandale Ave

07/26/2018



Lane Group	EBL	EBT	EBR	WBL	WBT	NBL	NBT	SBL	SBT	SBR
Lane Group Flow (vph)	77	77	248	149	238	395	1171	55	441	100
v/c Ratio	0.36	0.46	0.42	0.64	0.62	0.33	0.66	0.20	0.28	0.12
Control Delay	31.9	47.9	5.6	42.4	31.6	8.4	21.0	10.1	18.2	0.3
Queue Delay	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
Total Delay	31.9	47.9	5.6	42.4	31.6	8.4	21.0	10.1	18.2	0.3
Queue Length 50th (ft)	34	42	0	69	42	47	283	12	90	0
Queue Length 95th (ft)	70	86	52	121	80	70	369	27	127	0
Internal Link Dist (ft)		1162			993		1102		743	
Turn Bay Length (ft)	150		160	145		100		170		160
Base Capacity (vph)	221	186	602	233	415	1205	1780	281	1556	815
Starvation Cap Reductn	0	0	0	0	0	0	0	0	0	0
Spillback Cap Reductn	0	0	0	0	0	0	0	0	0	0
Storage Cap Reductn	0	0	0	0	0	0	0	0	0	0
Reduced v/c Ratio	0.35	0.41	0.41	0.64	0.57	0.33	0.66	0.20	0.28	0.12

Intersection Summary

Queues

Background PM

5: Private Drive & Cockrill Bend Blvd & Centennial Blvd

07/26/2018



Lane Group	EBL	EBT	WBL	WBT	WBR	NBL	NBT	SBL	SBT
Lane Group Flow (vph)	4	548	13	201	241	2	54	682	14
v/c Ratio	0.01	0.42	0.05	0.15	0.32	0.01	0.17	0.79	0.02
Control Delay	23.5	25.9	16.8	17.4	2.7	17.5	13.0	41.7	10.2
Queue Delay	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
Total Delay	23.5	25.9	16.8	17.4	2.7	17.5	13.0	41.7	10.2
Queue Length 50th (ft)	2	130	4	30	0	1	1	206	1
Queue Length 95th (ft)	10	213	14	51	16	4	36	261	14
Internal Link Dist (ft)		3110		1052			590		565
Turn Bay Length (ft)	120		240		450	80		290	
Base Capacity (vph)	426	1295	432	1380	764	495	326	995	775
Starvation Cap Reductn	0	0	0	0	0	0	0	0	0
Spillback Cap Reductn	0	0	0	0	0	0	0	0	0
Storage Cap Reductn	0	0	0	0	0	0	0	0	0
Reduced v/c Ratio	0.01	0.42	0.03	0.15	0.32	0.00	0.17	0.69	0.02
Intersection Summary									

Queues

Background PM

6: Briley Pkwy SB Ramp & Centennial Blvd

07/26/2018



Lane Group	EBT	EBR	WBL	WBT	SBL	SBR
Lane Group Flow (vph)	670	609	149	329	150	126
v/c Ratio	0.31	0.50	0.27	0.12	0.61	0.39
Control Delay	14.3	8.9	5.3	4.0	50.9	10.2
Queue Delay	0.0	0.0	0.0	0.0	0.0	0.0
Total Delay	14.3	8.9	5.3	4.0	50.9	10.2
Queue Length 50th (ft)	139	153	22	25	91	0
Queue Length 95th (ft)	177	186	48	47	147	48
Internal Link Dist (ft)	1052			1619		
Turn Bay Length (ft)		170	170			240
Base Capacity (vph)	2184	1210	691	2643	522	555
Starvation Cap Reductn	0	0	0	0	0	0
Spillback Cap Reductn	0	0	0	0	0	0
Storage Cap Reductn	0	0	0	0	0	0
Reduced v/c Ratio	0.31	0.50	0.22	0.12	0.29	0.23
Intersection Summary						

PROJECTED CONDITIONS
CAPACITY ANALYSES

HCM 2010 AWSC
1: Basswood Ave/Quarry Driveway & Robertson Ave

Projected AM
07/31/2018

Intersection

Intersection Delay, s/veh	6.8
Intersection LOS	A

Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		↕			↕			↕			↕	
Traffic Vol, veh/h	24	0	0	8	0	0	1	0	28	0	0	40
Future Vol, veh/h	24	0	0	8	0	0	1	0	28	0	0	40
Peak Hour Factor	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92
Heavy Vehicles, %	2	2	2	2	2	2	2	2	2	2	2	2
Mvmt Flow	26	0	0	9	0	0	1	0	30	0	0	43
Number of Lanes	0	1	0	0	1	0	0	1	0	0	1	0

Approach	EB	WB	NB	SB
Opposing Approach	WB	EB	SB	NB
Opposing Lanes	1	1	1	1
Conflicting Approach Left	SB	NB	EB	WB
Conflicting Lanes Left	1	1	1	1
Conflicting Approach Right	NB	SB	WB	EB
Conflicting Lanes Right	1	1	1	1
HCM Control Delay	7.4	7.3	6.6	6.6
HCM LOS	A	A	A	A

Lane	NBLn1	EBLn1	WBLn1	SBLn1
Vol Left, %	3%	100%	100%	0%
Vol Thru, %	0%	0%	0%	0%
Vol Right, %	97%	0%	0%	100%
Sign Control	Stop	Stop	Stop	Stop
Traffic Vol by Lane	29	24	8	40
LT Vol	1	24	8	0
Through Vol	0	0	0	0
RT Vol	28	0	0	40
Lane Flow Rate	32	26	9	43
Geometry Grp	1	1	1	1
Degree of Util (X)	0.03	0.031	0.01	0.041
Departure Headway (Hd)	3.455	4.272	4.285	3.418
Convergence, Y/N	Yes	Yes	Yes	Yes
Cap	1036	841	838	1047
Service Time	1.476	2.281	2.299	1.439
HCM Lane V/C Ratio	0.031	0.031	0.011	0.041
HCM Control Delay	6.6	7.4	7.3	6.6
HCM Lane LOS	A	A	A	A
HCM 95th-tile Q	0.1	0.1	0	0.1

HCM 2010 TWSC
2: Annex Ave & Robertson Ave

Projected AM
07/31/2018

Intersection												
Int Delay, s/veh	7.2											
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		↕			↕			↕			↕	
Traffic Vol, veh/h	0	54	0	76	17	1	4	13	155	6	10	0
Future Vol, veh/h	0	54	0	76	17	1	4	13	155	6	10	0
Conflicting Peds, #/hr	0	0	0	0	0	0	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Free	Free	Stop	Stop	Stop	Stop	Stop	Stop
RT Channelized	-	-	None	-	-	None	-	-	None	-	-	None
Storage Length	-	-	-	-	-	-	-	-	-	-	-	-
Veh in Median Storage, #	-	0	-	-	0	-	-	0	-	-	0	-
Grade, %	-	0	-	-	0	-	-	0	-	-	0	-
Peak Hour Factor	92	92	92	92	92	92	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2	2	2	2	2	2	2
Mvmt Flow	0	59	0	83	18	1	4	14	168	7	11	0

Major/Minor	Major1			Major2			Minor1			Minor2		
Conflicting Flow All	20	0	0	59	0	0	249	244	59	334	243	19
Stage 1	-	-	-	-	-	-	59	59	-	184	184	-
Stage 2	-	-	-	-	-	-	190	185	-	150	59	-
Critical Hdwy	4.12	-	-	4.12	-	-	7.12	6.52	6.22	7.12	6.52	6.22
Critical Hdwy Stg 1	-	-	-	-	-	-	6.12	5.52	-	6.12	5.52	-
Critical Hdwy Stg 2	-	-	-	-	-	-	6.12	5.52	-	6.12	5.52	-
Follow-up Hdwy	2.218	-	-	2.218	-	-	3.518	4.018	3.318	3.518	4.018	3.318
Pot Cap-1 Maneuver	1596	-	-	1545	-	-	705	658	1007	620	659	1059
Stage 1	-	-	-	-	-	-	953	846	-	818	747	-
Stage 2	-	-	-	-	-	-	812	747	-	853	846	-
Platoon blocked, %	-	-	-	-	-	-	-	-	-	-	-	-
Mov Cap-1 Maneuver	1596	-	-	1545	-	-	667	622	1007	486	623	1059
Mov Cap-2 Maneuver	-	-	-	-	-	-	667	622	-	486	623	-
Stage 1	-	-	-	-	-	-	953	846	-	818	707	-
Stage 2	-	-	-	-	-	-	756	707	-	698	846	-

Approach	EB	WB	NB	SB
HCM Control Delay, s	0	6	9.7	11.6
HCM LOS			A	B

Minor Lane/Major Mvmt	NBLn1	EBL	EBT	EBR	WBL	WBT	WBR	SBLn1
Capacity (veh/h)	951	1596	-	-	1545	-	-	563
HCM Lane V/C Ratio	0.197	-	-	-	0.053	-	-	0.031
HCM Control Delay (s)	9.7	0	-	-	7.5	0	-	11.6
HCM Lane LOS	A	A	-	-	A	A	-	B
HCM 95th %tile Q(veh)	0.7	0	-	-	0.2	-	-	0.1

HCM 2010 TWSC
3: Westboro Dr/James Ave & Robertson Ave

Projected AM
07/31/2018

Intersection												
Int Delay, s/veh	5.6											
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		↕			↕			↕			↕	
Traffic Vol, veh/h	52	154	6	18	62	8	3	65	37	15	29	26
Future Vol, veh/h	52	154	6	18	62	8	3	65	37	15	29	26
Conflicting Peds, #/hr	0	0	0	0	0	0	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Free	Free	Stop	Stop	Stop	Stop	Stop	Stop
RT Channelized	-	-	None	-	-	None	-	-	None	-	-	None
Storage Length	-	-	-	-	-	-	-	-	-	-	-	-
Veh in Median Storage, #	-	0	-	-	0	-	-	0	-	-	0	-
Grade, %	-	0	-	-	0	-	-	0	-	-	0	-
Peak Hour Factor	92	92	92	92	92	92	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2	2	2	2	2	2	2
Mvmt Flow	57	167	7	20	67	9	3	71	40	16	32	28

Major/Minor	Major1			Major2			Minor1			Minor2		
Conflicting Flow All	76	0	0	174	0	0	425	399	171	450	398	72
Stage 1	-	-	-	-	-	-	284	284	-	111	111	-
Stage 2	-	-	-	-	-	-	141	115	-	339	287	-
Critical Hdwy	4.12	-	-	4.12	-	-	7.12	6.52	6.22	7.12	6.52	6.22
Critical Hdwy Stg 1	-	-	-	-	-	-	6.12	5.52	-	6.12	5.52	-
Critical Hdwy Stg 2	-	-	-	-	-	-	6.12	5.52	-	6.12	5.52	-
Follow-up Hdwy	2.218	-	-	2.218	-	-	3.518	4.018	3.318	3.518	4.018	3.318
Pot Cap-1 Maneuver	1523	-	-	1403	-	-	540	539	873	519	540	990
Stage 1	-	-	-	-	-	-	723	676	-	894	804	-
Stage 2	-	-	-	-	-	-	862	800	-	676	674	-
Platoon blocked, %	-	-	-	-	-	-	-	-	-	-	-	-
Mov Cap-1 Maneuver	1523	-	-	1403	-	-	479	509	873	424	510	990
Mov Cap-2 Maneuver	-	-	-	-	-	-	479	509	-	424	510	-
Stage 1	-	-	-	-	-	-	693	648	-	857	792	-
Stage 2	-	-	-	-	-	-	792	788	-	551	646	-

Approach	EB		WB		NB		SB	
HCM Control Delay, s	1.8		1.6		12.5		12	
HCM LOS					B		B	

Minor Lane/Major Mvmt	NBLn1	EBL	EBT	EBR	WBL	WBT	WBR	SBLn1
Capacity (veh/h)	595	1523	-	-	1403	-	-	591
HCM Lane V/C Ratio	0.192	0.037	-	-	0.014	-	-	0.129
HCM Control Delay (s)	12.5	7.5	0	-	7.6	0	-	12
HCM Lane LOS	B	A	A	-	A	A	-	B
HCM 95th %tile Q(veh)	0.7	0.1	-	-	0	-	-	0.4

HCM 2010 Signalized Intersection Summary
 4: White Bridge Pk/Briley Pkwy & Robertson Ave/Urbandale Ave

Projected AM
 07/31/2018

Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations												
Traffic Volume (veh/h)	47	115	474	57	26	32	148	308	44	83	1014	63
Future Volume (veh/h)	47	115	474	57	26	32	148	308	44	83	1014	63
Number	3	8	18	7	4	14	5	2	12	1	6	16
Initial Q (Qb), veh	0	0	0	0	0	0	0	0	0	0	0	0
Ped-Bike Adj(A_pbT)	1.00		1.00	1.00		1.00	1.00		1.00	1.00		1.00
Parking Bus, Adj	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Adj Sat Flow, veh/h/ln	1863	1863	1863	1863	1863	1900	1863	1863	1900	1863	1863	1863
Adj Flow Rate, veh/h	51	125	515	62	28	35	161	335	48	90	1102	68
Adj No. of Lanes	1	1	1	1	2	0	2	2	0	1	2	1
Peak Hour Factor	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92
Percent Heavy Veh, %	2	2	2	2	2	2	2	2	2	2	2	2
Cap, veh/h	327	331	344	216	319	286	555	1699	241	608	1924	861
Arrive On Green	0.03	0.18	0.18	0.04	0.18	0.18	0.04	0.55	0.55	0.04	0.54	0.54
Sat Flow, veh/h	1774	1863	1583	1774	1770	1583	3442	3112	442	1774	3539	1583
Grp Volume(v), veh/h	51	125	515	62	28	35	161	189	194	90	1102	68
Grp Sat Flow(s),veh/h/ln	1774	1863	1583	1774	1770	1583	1721	1770	1785	1774	1770	1583
Q Serve(g_s), s	3.2	8.0	24.0	3.8	1.8	2.5	2.8	7.3	7.5	3.0	27.9	2.8
Cycle Q Clear(g_c), s	3.2	8.0	24.0	3.8	1.8	2.5	2.8	7.3	7.5	3.0	27.9	2.8
Prop In Lane	1.00		1.00	1.00		1.00	1.00		0.25	1.00		1.00
Lane Grp Cap(c), veh/h	327	331	344	216	319	286	555	966	974	608	1924	861
V/C Ratio(X)	0.16	0.38	1.50	0.29	0.09	0.12	0.29	0.20	0.20	0.15	0.57	0.08
Avail Cap(c_a), veh/h	414	331	344	258	319	286	865	966	974	746	1924	861
HCM Platoon Ratio	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Upstream Filter(I)	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Uniform Delay (d), s/veh	43.3	48.9	52.8	43.2	46.1	46.4	15.8	15.6	15.6	12.7	20.4	14.7
Incr Delay (d2), s/veh	0.2	0.3	238.7	0.7	0.0	0.1	0.4	0.5	0.5	0.2	1.2	0.2
Initial Q Delay(d3),s/veh	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
%ile BackOfQ(50%),veh/ln	1.5	4.1	35.7	1.9	0.9	1.1	1.3	3.7	3.8	1.5	14.0	1.2
LnGrp Delay(d),s/veh	43.6	49.2	291.6	43.9	46.1	46.4	16.2	16.0	16.1	12.9	21.7	14.9
LnGrp LOS	D	D	F	D	D	D	B	B	B	B	C	B
Approach Vol, veh/h		691			125			544			1260	
Approach Delay, s/veh		229.4			45.1			16.1			20.7	
Approach LOS		F			D			B			C	
Timer	1	2	3	4	5	6	7	8				
Assigned Phs	1	2	3	4	5	6	7	8				
Phs Duration (G+Y+Rc), s	11.5	80.7	11.4	31.4	11.8	80.4	11.8	31.0				
Change Period (Y+Rc), s	6.5	7.0	7.0	7.0	6.5	7.0	6.5	7.0				
Max Green Setting (Gmax), s	15.5	60.0	11.0	21.0	17.5	58.0	8.5	24.0				
Max Q Clear Time (g_c+I1), s	5.0	9.5	5.2	4.5	4.8	29.9	5.8	26.0				
Green Ext Time (p_c), s	0.2	7.0	0.0	1.5	0.6	6.6	0.0	0.0				
Intersection Summary												
HCM 2010 Ctrl Delay			75.9									
HCM 2010 LOS			E									
Notes												

HCM 2010 Signalized Intersection Summary
 5: Private Drive & Cockrill Bend Blvd & Centennial Blvd

Projected AM
 07/31/2018



Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations	↖	↖↗		↖	↖↗	↖	↖	↖	↖	↖↗	↖	↖
Traffic Volume (veh/h)	6	305	0	127	684	519	3	2	12	149	4	5
Future Volume (veh/h)	6	305	0	127	684	519	3	2	12	149	4	5
Number	5	2	12	1	6	16	3	8	18	7	4	14
Initial Q (Qb), veh	0	0	0	0	0	0	0	0	0	0	0	0
Ped-Bike Adj(A_pbT)	1.00		1.00	1.00		1.00	1.00		1.00	1.00		1.00
Parking Bus, Adj	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Adj Sat Flow, veh/h/ln	1863	1863	1900	1863	1863	1863	1863	1863	1900	1863	1863	1900
Adj Flow Rate, veh/h	7	332	0	138	743	0	3	2	0	162	4	5
Adj No. of Lanes	1	2	0	1	2	1	1	1	0	2	1	0
Peak Hour Factor	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92
Percent Heavy Veh, %	2	2	2	2	2	2	2	2	2	2	2	2
Cap, veh/h	360	1426	0	541	1864	834	389	414	0	245	219	273
Arrive On Green	0.40	0.40	0.00	0.13	1.00	0.00	0.00	0.22	0.00	0.07	0.29	0.29
Sat Flow, veh/h	714	3632	0	1774	3539	1583	1774	1863	0	3442	754	942
Grp Volume(v), veh/h	7	332	0	138	743	0	3	2	0	162	0	9
Grp Sat Flow(s),veh/h/ln	714	1770	0	1774	1770	1583	1774	1863	0	1721	0	1696
Q Serve(g_s), s	0.6	6.2	0.0	4.4	0.0	0.0	0.1	0.1	0.0	4.6	0.0	0.4
Cycle Q Clear(g_c), s	0.6	6.2	0.0	4.4	0.0	0.0	0.1	0.1	0.0	4.6	0.0	0.4
Prop In Lane	1.00		0.00	1.00		1.00	1.00		0.00	1.00		0.56
Lane Grp Cap(c), veh/h	360	1426	0	541	1864	834	389	414	0	245	0	492
V/C Ratio(X)	0.02	0.23	0.00	0.25	0.40	0.00	0.01	0.00	0.00	0.66	0.00	0.02
Avail Cap(c_a), veh/h	360	1426	0	765	1864	834	631	414	0	998	0	492
HCM Platoon Ratio	1.00	1.00	1.00	2.00	2.00	2.00	1.00	1.00	1.00	1.00	1.00	1.00
Upstream Filter(I)	1.00	1.00	0.00	0.75	0.75	0.00	1.00	1.00	0.00	1.00	0.00	1.00
Uniform Delay (d), s/veh	18.0	19.7	0.0	13.7	0.0	0.0	30.1	30.3	0.0	45.3	0.0	25.3
Incr Delay (d2), s/veh	0.1	0.4	0.0	0.1	0.5	0.0	0.0	0.0	0.0	3.7	0.0	0.1
Initial Q Delay(d3),s/veh	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
%ile BackOfQ(50%),veh/ln	0.1	3.1	0.0	2.1	0.1	0.0	0.1	0.0	0.0	2.3	0.0	0.2
LnGrp Delay(d),s/veh	18.1	20.1	0.0	13.7	0.5	0.0	30.1	30.3	0.0	48.9	0.0	25.4
LnGrp LOS	B	C		B	A		C	C		D		C
Approach Vol, veh/h		339			881			5			171	
Approach Delay, s/veh		20.0			2.6			30.2			47.7	
Approach LOS		C			A			C			D	
Timer	1	2	3	4	5	6	7	8				
Assigned Phs	1	2	3	4		6	7	8				
Phs Duration (G+Y+Rc), s	12.4	46.3	6.3	35.0		58.7	13.1	28.2				
Change Period (Y+Rc), s	6.0	6.0	6.0	6.0		6.0	6.0	6.0				
Max Green Setting (Gmax), s	14.0	14.0	14.0	29.0		39.0	29.0	14.0				
Max Q Clear Time (g_c+1), s	8.2	8.2	2.1	2.4		2.0	6.6	2.1				
Green Ext Time (p_c), s	0.1	2.5	0.0	0.0		5.3	0.6	0.0				

Intersection Summary

HCM 2010 Ctrl Delay	12.4
HCM 2010 LOS	B

HCM 2010 Signalized Intersection Summary

6: Briley Pkwy SB Ramps & Centennial Blvd

Projected AM
07/31/2018



Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		↑↑	↑	↑	↑↑					↑		↑
Traffic Volume (veh/h)	0	202	264	135	839	0	0	0	0	288	0	491
Future Volume (veh/h)	0	202	264	135	839	0	0	0	0	288	0	491
Number	5	2	12	1	6	16				7	4	14
Initial Q (Qb), veh	0	0	0	0	0	0				0	0	0
Ped-Bike Adj(A_pbT)	1.00		1.00	1.00		1.00				1.00		1.00
Parking Bus, Adj	1.00	1.00	1.00	1.00	1.00	1.00				1.00	1.00	1.00
Adj Sat Flow, veh/h/ln	0	1863	1863	1863	1863	0				1863	0	1863
Adj Flow Rate, veh/h	0	220	0	147	912	0				313	0	0
Adj No. of Lanes	0	2	1	1	2	0				1	0	1
Peak Hour Factor	0.92	0.92	0.92	0.92	0.92	0.92				0.92	0.92	0.92
Percent Heavy Veh, %	0	2	2	2	2	0				2	0	2
Cap, veh/h	0	2069	925	838	2464	0				353	0	315
Arrive On Green	0.00	0.98	0.00	0.05	0.70	0.00				0.20	0.00	0.00
Sat Flow, veh/h	0	3632	1583	1774	3632	0				1774	0	1583
Grp Volume(v), veh/h	0	220	0	147	912	0				313	0	0
Grp Sat Flow(s),veh/h/ln	0	1770	1583	1774	1770	0				1774	0	1583
Q Serve(g_s), s	0.0	0.2	0.0	3.1	10.5	0.0				17.2	0.0	0.0
Cycle Q Clear(g_c), s	0.0	0.2	0.0	3.1	10.5	0.0				17.2	0.0	0.0
Prop In Lane	0.00		1.00	1.00		0.00				1.00		1.00
Lane Grp Cap(c), veh/h	0	2069	925	838	2464	0				353	0	315
V/C Ratio(X)	0.00	0.11	0.00	0.18	0.37	0.00				0.89	0.00	0.00
Avail Cap(c_a), veh/h	0	2069	925	1083	2464	0				541	0	483
HCM Platoon Ratio	1.00	1.67	1.67	1.00	1.00	1.00				1.00	1.00	1.00
Upstream Filter(I)	0.00	0.91	0.00	1.00	1.00	0.00				1.00	0.00	0.00
Uniform Delay (d), s/veh	0.0	0.5	0.0	6.5	6.2	0.0				39.0	0.0	0.0
Incr Delay (d2), s/veh	0.0	0.1	0.0	0.0	0.4	0.0				11.1	0.0	0.0
Initial Q Delay(d3),s/veh	0.0	0.0	0.0	0.0	0.0	0.0				0.0	0.0	0.0
%ile BackOfQ(50%),veh/ln	0.0	0.1	0.0	1.5	5.2	0.0				9.5	0.0	0.0
LnGrp Delay(d),s/veh	0.0	0.6	0.0	6.5	6.6	0.0				50.1	0.0	0.0
LnGrp LOS		A		A	A					D		
Approach Vol, veh/h		220			1059						313	
Approach Delay, s/veh		0.6			6.6						50.1	
Approach LOS		A			A						D	
Timer	1	2	3	4	5	6	7	8				
Assigned Phs	1	2		4		6						
Phs Duration (G+Y+Rc), s	1.2	64.4		24.4		75.6						
Change Period (Y+Rc), s	6.0	6.0		4.5		6.0						
Max Green Setting (Gmax), s	3.0	34.0		30.5		59.0						
Max Q Clear Time (g_c+I), s	2.2	2.2		19.2		12.5						
Green Ext Time (p_c), s	0.1	5.5		0.7		5.6						
Intersection Summary												
HCM 2010 Ctrl Delay				14.3								
HCM 2010 LOS				B								

HCM 2010 TWSC
25: Site Access & Cockrill Bend Blvd

Projected AM
07/31/2018

Intersection						
Int Delay, s/veh	1.1					
Movement	EBT	EBR	WBL	WBT	NBL	NBR
Lane Configurations	↑			↑	↑	
Traffic Vol, veh/h	132	0	50	431	0	36
Future Vol, veh/h	132	0	50	431	0	36
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Stop	Stop
RT Channelized	-	None	-	None	-	None
Storage Length	-	-	-	-	0	-
Veh in Median Storage, #	0	-	-	0	0	-
Grade, %	0	-	-	0	0	-
Peak Hour Factor	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	143	0	54	468	0	39
Major/Minor	Major1	Major2	Minor1			
Conflicting Flow All	0	0	143	0	720	143
Stage 1	-	-	-	-	143	-
Stage 2	-	-	-	-	577	-
Critical Hdwy	-	-	4.12	-	6.42	6.22
Critical Hdwy Stg 1	-	-	-	-	5.42	-
Critical Hdwy Stg 2	-	-	-	-	5.42	-
Follow-up Hdwy	-	-	2.218	-	3.518	3.318
Pot Cap-1 Maneuver	-	-	1440	-	395	905
Stage 1	-	-	-	-	884	-
Stage 2	-	-	-	-	562	-
Platoon blocked, %	-	-	-	-	-	-
Mov Cap-1 Maneuver	-	-	1440	-	375	905
Mov Cap-2 Maneuver	-	-	-	-	375	-
Stage 1	-	-	-	-	884	-
Stage 2	-	-	-	-	533	-
Approach	EB	WB	NB			
HCM Control Delay, s	0	0.8	9.2			
HCM LOS			A			
Minor Lane/Major Mvmt	NBLn1	EBT	EBR	WBL	WBT	
Capacity (veh/h)	905	-	-	1440	-	
HCM Lane V/C Ratio	0.043	-	-	0.038	-	
HCM Control Delay (s)	9.2	-	-	7.6	0	
HCM Lane LOS	A	-	-	A	A	
HCM 95th %tile Q(veh)	0.1	-	-	0.1	-	

Queues

Projected AM

4: White Bridge Pk/Briley Pkwy & Robertson Ave/Urbandale Ave

07/26/2018



Lane Group	EBL	EBT	EBR	WBL	WBT	NBL	NBT	SBL	SBT	SBR
Lane Group Flow (vph)	51	125	515	62	63	161	383	90	1102	68
v/c Ratio	0.23	0.68	0.85	0.30	0.19	0.18	0.18	0.15	0.65	0.08
Control Delay	44.7	76.1	46.1	46.5	30.0	7.5	13.6	10.0	30.8	0.2
Queue Delay	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
Total Delay	44.7	76.1	46.1	46.5	30.0	7.5	13.6	10.0	30.8	0.2
Queue Length 50th (ft)	37	108	323	45	12	21	77	24	415	0
Queue Length 95th (ft)	71	170	479	82	34	38	120	48	499	0
Internal Link Dist (ft)		1162			993		1102		743	
Turn Bay Length (ft)	150		160	145		100		170		160
Base Capacity (vph)	250	331	604	208	534	878	2073	675	1696	830
Starvation Cap Reductn	0	0	0	0	0	0	0	0	0	0
Spillback Cap Reductn	0	0	0	0	0	0	0	0	0	0
Storage Cap Reductn	0	0	0	0	0	0	0	0	0	0
Reduced v/c Ratio	0.20	0.38	0.85	0.30	0.12	0.18	0.18	0.13	0.65	0.08
Intersection Summary										

Queues

Projected AM

5: Private Drive & Cockrill Bend Blvd & Centennial Blvd

07/26/2018



Lane Group	EBL	EBT	WBL	WBT	WBR	NBL	NBT	SBL	SBT
Lane Group Flow (vph)	7	332	138	743	564	3	15	162	9
v/c Ratio	0.04	0.40	0.38	0.54	0.59	0.01	0.03	0.45	0.01
Control Delay	32.8	34.9	22.9	26.1	7.3	14.0	13.3	45.5	12.6
Queue Delay	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
Total Delay	32.8	34.9	22.9	26.1	7.3	14.0	13.3	45.5	12.6
Queue Length 50th (ft)	3	94	69	216	93	1	1	50	1
Queue Length 95th (ft)	16	144	m103	m264	m147	6	16	80	12
Internal Link Dist (ft)		927		1052			590		565
Turn Bay Length (ft)	120		240		450	80		290	
Base Capacity (vph)	160	824	468	1380	961	701	534	995	802
Starvation Cap Reductn	0	0	0	0	0	0	0	0	0
Spillback Cap Reductn	0	0	0	0	0	0	0	0	0
Storage Cap Reductn	0	0	0	0	0	0	0	0	0
Reduced v/c Ratio	0.04	0.40	0.29	0.54	0.59	0.00	0.03	0.16	0.01

Intersection Summary

m Volume for 95th percentile queue is metered by upstream signal.

Queues
6: Briley Pkwy SB Ramps & Centennial Blvd

Projected AM
07/26/2018



Lane Group	EBT	EBR	WBL	WBT	SBL	SBR
Lane Group Flow (vph)	220	287	147	912	313	534
v/c Ratio	0.13	0.32	0.22	0.43	0.61	0.95
Control Delay	27.2	21.3	9.9	11.6	35.8	53.7
Queue Delay	0.0	0.0	0.0	0.0	0.0	0.0
Total Delay	27.2	21.3	9.9	11.6	35.8	53.7
Queue Length 50th (ft)	79	128	39	157	168	252
Queue Length 95th (ft)	117	162	68	201	258	#462
Internal Link Dist (ft)	1052			1619		
Turn Bay Length (ft)		170	170			240
Base Capacity (vph)	1632	884	754	2135	539	581
Starvation Cap Reductn	0	0	0	0	0	0
Spillback Cap Reductn	0	0	0	0	0	0
Storage Cap Reductn	0	0	0	0	0	0
Reduced v/c Ratio	0.13	0.32	0.19	0.43	0.58	0.92

Intersection Summary

95th percentile volume exceeds capacity, queue may be longer.
Queue shown is maximum after two cycles.

HCM 2010 AWSC
1: Basswood Ave/Quarry Driveway & Robertson Ave

Projected PM
07/31/2018

Intersection

Intersection Delay, s/veh	7.2
Intersection LOS	A

Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		↕			↕			↕			↕	
Traffic Vol, veh/h	19	0	6	45	0	0	0	0	18	0	0	8
Future Vol, veh/h	19	0	6	45	0	0	0	0	18	0	0	8
Peak Hour Factor	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92
Heavy Vehicles, %	2	2	2	2	2	2	2	2	2	2	2	2
Mvmt Flow	21	0	7	49	0	0	0	0	20	0	0	9
Number of Lanes	0	1	0	0	1	0	0	1	0	0	1	0

Approach	EB	WB	NB	SB
Opposing Approach	WB	EB	SB	NB
Opposing Lanes	1	1	1	1
Conflicting Approach Left	SB	NB	EB	WB
Conflicting Lanes Left	1	1	1	1
Conflicting Approach Right	NB	SB	WB	EB
Conflicting Lanes Right	1	1	1	1
HCM Control Delay	7.2	7.5	6.6	6.5
HCM LOS	A	A	A	A

Lane	NBLn1	EBLn1	WBLn1	SBLn1
Vol Left, %	0%	76%	100%	0%
Vol Thru, %	0%	0%	0%	0%
Vol Right, %	100%	24%	0%	100%
Sign Control	Stop	Stop	Stop	Stop
Traffic Vol by Lane	18	25	45	8
LT Vol	0	19	45	0
Through Vol	0	0	0	0
RT Vol	18	6	0	8
Lane Flow Rate	20	27	49	9
Geometry Grp	1	1	1	1
Degree of Util (X)	0.019	0.03	0.057	0.008
Departure Headway (Hd)	3.471	4.027	4.203	3.479
Convergence, Y/N	Yes	Yes	Yes	Yes
Cap	1026	891	855	1023
Service Time	1.509	2.043	2.212	1.519
HCM Lane V/C Ratio	0.019	0.03	0.057	0.009
HCM Control Delay	6.6	7.2	7.5	6.5
HCM Lane LOS	A	A	A	A
HCM 95th-tile Q	0.1	0.1	0.2	0

HCM 2010 TWSC
2: Annex Ave & Robertson Ave

Projected PM
07/31/2018

Intersection												
Int Delay, s/veh	7.6											
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		↕			↕			↕			↕	
Traffic Vol, veh/h	0	35	2	214	52	6	1	17	108	8	30	8
Future Vol, veh/h	0	35	2	214	52	6	1	17	108	8	30	8
Conflicting Peds, #/hr	0	0	0	0	0	0	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Free	Free	Stop	Stop	Stop	Stop	Stop	Stop
RT Channelized	-	-	None	-	-	None	-	-	None	-	-	None
Storage Length	-	-	-	-	-	-	-	-	-	-	-	-
Veh in Median Storage, #	-	0	-	-	0	-	-	0	-	-	0	-
Grade, %	-	0	-	-	0	-	-	0	-	-	0	-
Peak Hour Factor	92	92	92	92	92	92	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2	2	2	2	2	2	2
Mvmt Flow	0	38	2	233	57	7	1	18	117	9	33	9

Major/Minor	Major1			Major2			Minor1			Minor2		
Conflicting Flow All	63	0	0	40	0	0	585	567	39	632	565	60
Stage 1	-	-	-	-	-	-	-	39	39	-	525	525
Stage 2	-	-	-	-	-	-	-	546	528	-	107	40
Critical Hdwy	4.12	-	-	4.12	-	-	7.12	6.52	6.22	7.12	6.52	6.22
Critical Hdwy Stg 1	-	-	-	-	-	-	6.12	5.52	-	6.12	5.52	-
Critical Hdwy Stg 2	-	-	-	-	-	-	6.12	5.52	-	6.12	5.52	-
Follow-up Hdwy	2.218	-	-	2.218	-	-	3.518	4.018	3.318	3.518	4.018	3.318
Pot Cap-1 Maneuver	1540	-	-	1570	-	-	422	433	1033	393	434	1005
Stage 1	-	-	-	-	-	-	976	862	-	536	529	-
Stage 2	-	-	-	-	-	-	522	528	-	898	862	-
Platoon blocked, %	-	-	-	-	-	-	-	-	-	-	-	-
Mov Cap-1 Maneuver	1540	-	-	1570	-	-	344	366	1033	296	367	1005
Mov Cap-2 Maneuver	-	-	-	-	-	-	344	366	-	296	367	-
Stage 1	-	-	-	-	-	-	976	862	-	536	448	-
Stage 2	-	-	-	-	-	-	406	447	-	779	862	-

Approach	EB	WB	NB	SB
HCM Control Delay, s	0	6.1	10.3	15.5
HCM LOS			B	C

Minor Lane/Major Mvmt	NBLn1	EBL	EBT	EBR	WBL	WBT	WBR	SBLn1
Capacity (veh/h)	819	1540	-	-	1570	-	-	394
HCM Lane V/C Ratio	0.167	-	-	-	0.148	-	-	0.127
HCM Control Delay (s)	10.3	0	-	-	7.7	0	-	15.5
HCM Lane LOS	B	A	-	-	A	A	-	C
HCM 95th %tile Q(veh)	0.6	0	-	-	0.5	-	-	0.4

HCM 2010 TWSC
3: Westboro Dr/James Ave & Robertson Ave

Projected PM
07/31/2018

Intersection												
Int Delay, s/veh	6.8											
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		↕			↕			↕			↕	
Traffic Vol, veh/h	45	107	4	50	217	19	9	62	36	14	75	55
Future Vol, veh/h	45	107	4	50	217	19	9	62	36	14	75	55
Conflicting Peds, #/hr	0	0	0	0	0	0	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Free	Free	Stop	Stop	Stop	Stop	Stop	Stop
RT Channelized	-	-	None	-	-	None	-	-	None	-	-	None
Storage Length	-	-	-	-	-	-	-	-	-	-	-	-
Veh in Median Storage, #	-	0	-	-	0	-	-	0	-	-	0	-
Grade, %	-	0	-	-	0	-	-	0	-	-	0	-
Peak Hour Factor	92	92	92	92	92	92	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2	2	2	2	2	2	2
Mvmt Flow	49	116	4	54	236	21	10	67	39	15	82	60

Major/Minor	Major1	Major2	Minor1	Minor2								
Conflicting Flow All	257	0	0	121	0	0	642	581	118	625	573	246
Stage 1	-	-	-	-	-	-	216	216	-	355	355	-
Stage 2	-	-	-	-	-	-	426	365	-	270	218	-
Critical Hdwy	4.12	-	-	4.12	-	-	7.12	6.52	6.22	7.12	6.52	6.22
Critical Hdwy Stg 1	-	-	-	-	-	-	6.12	5.52	-	6.12	5.52	-
Critical Hdwy Stg 2	-	-	-	-	-	-	6.12	5.52	-	6.12	5.52	-
Follow-up Hdwy	2.218	-	-	2.218	-	-	3.518	4.018	3.318	3.518	4.018	3.318
Pot Cap-1 Maneuver	1308	-	-	1467	-	-	387	425	934	397	430	793
Stage 1	-	-	-	-	-	-	786	724	-	662	630	-
Stage 2	-	-	-	-	-	-	606	623	-	736	723	-
Platoon blocked, %	-	-	-	-	-	-	-	-	-	-	-	-
Mov Cap-1 Maneuver	1308	-	-	1467	-	-	283	390	934	310	395	793
Mov Cap-2 Maneuver	-	-	-	-	-	-	283	390	-	310	395	-
Stage 1	-	-	-	-	-	-	755	695	-	636	603	-
Stage 2	-	-	-	-	-	-	464	596	-	611	694	-























Approach	EB	WB	NB	SB
HCM Control Delay, s	2.3	1.3	15.2	16.3
HCM LOS			C	C

Minor Lane/Major Mvmt	NBLn1	EBL	EBT	EBR	WBL	WBT	WBR	SBLn1
Capacity (veh/h)	467	1308	-	-	1467	-	-	473
HCM Lane V/C Ratio	0.249	0.037	-	-	0.037	-	-	0.331
HCM Control Delay (s)	15.2	7.9	0	-	7.5	0	-	16.3
HCM Lane LOS	C	A	A	-	A	A	-	C
HCM 95th %tile Q(veh)	1	0.1	-	-	0.1	-	-	1.4

HCM 2010 Signalized Intersection Summary

4: White Bridge Pk/Briley Pkwy & Robertson Ave/Urbandale Ave

Projected PM
07/31/2018

												
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations												
Traffic Volume (veh/h)	64	71	213	137	135	84	357	1011	66	51	406	90
Future Volume (veh/h)	64	71	213	137	135	84	357	1011	66	51	406	90
Number	3	8	18	7	4	14	5	2	12	1	6	16
Initial Q (Qb), veh	0	0	0	0	0	0	0	0	0	0	0	0
Ped-Bike Adj(A_pbT)	1.00		1.00	1.00		1.00	1.00		1.00	1.00		1.00
Parking Bus, Adj	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Adj Sat Flow, veh/h/ln	1863	1863	1863	1863	1863	1900	1863	1863	1900	1863	1863	1863
Adj Flow Rate, veh/h	70	77	232	149	147	91	388	1099	72	55	441	98
Adj No. of Lanes	1	1	1	1	2	0	2	2	0	1	2	1
Peak Hour Factor	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92
Percent Heavy Veh, %	2	2	2	2	2	2	2	2	2	2	2	2
Cap, veh/h	235	186	303	293	280	164	1049	1630	107	250	1505	673
Arrive On Green	0.05	0.10	0.10	0.08	0.13	0.13	0.09	0.48	0.48	0.03	0.43	0.43
Sat Flow, veh/h	1774	1863	1583	1774	2152	1258	3442	3373	221	1774	3539	1583
Grp Volume(v), veh/h	70	77	232	149	119	119	388	576	595	55	441	98
Grp Sat Flow(s), veh/h/ln	1774	1863	1583	1774	1770	1641	1721	1770	1824	1774	1770	1583
Q Serve(g_s), s	3.2	3.5	9.0	6.7	5.7	6.1	5.4	22.5	22.5	1.6	7.4	3.4
Cycle Q Clear(g_c), s	3.2	3.5	9.0	6.7	5.7	6.1	5.4	22.5	22.5	1.6	7.4	3.4
Prop In Lane	1.00		1.00	1.00		0.77	1.00		0.12	1.00		1.00
Lane Grp Cap(c), veh/h	235	186	303	293	231	214	1049	856	882	250	1505	673
VC Ratio(X)	0.30	0.41	0.77	0.51	0.52	0.56	0.37	0.67	0.67	0.22	0.29	0.15
Avail Cap(c_a), veh/h	289	186	303	293	231	214	1175	856	882	339	1505	673
HCM Platoon Ratio	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Upstream Filter(I)	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Uniform Delay (d), s/veh	34.1	38.0	34.5	32.8	36.5	36.7	11.9	17.8	17.8	15.5	17.0	15.8
Incr Delay (d2), s/veh	0.7	0.5	10.1	1.4	0.9	1.9	0.3	4.2	4.1	0.6	0.5	0.5
Initial Q Delay(d3),s/veh	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
%ile BackOfQ(50%),veh/ln	1.6	1.8	6.3	3.4	2.8	2.9	2.6	11.9	12.2	0.8	3.7	1.6
LnGrp Delay(d),s/veh	34.8	38.6	44.6	34.3	37.4	38.6	12.2	22.0	21.9	16.1	17.5	16.3
LnGrp LOS	C	D	D	C	D	D	B	C	C	B	B	B
Approach Vol, veh/h		379			387			1559			594	
Approach Delay, s/veh		41.5			36.6			19.6			17.2	
Approach LOS		D			D			B			B	
Timer	1	2	3	4	5	6	7	8				
Assigned Phs	1	2	3	4	5	6	7	8				
Phs Duration (G+Y+Rc), s	9.5	50.5	11.3	18.7	14.7	45.3	14.0	16.0				
Change Period (Y+Rc), s	6.5	7.0	7.0	7.0	6.5	7.0	6.5	7.0				
Max Green Setting (Gmax), s	7.5	39.0	7.0	9.0	11.5	35.0	7.5	9.0				
Max Q Clear Time (g_c+1), s	3.6	24.5	5.2	8.1	7.4	9.4	8.7	11.0				
Green Ext Time (p_c), s	0.0	6.0	0.0	0.2	0.8	7.3	0.0	0.0				
Intersection Summary												
HCM 2010 Ctrl Delay			24.2									
HCM 2010 LOS			C									
Notes												

HCM 2010 Signalized Intersection Summary
 5: Private Drive & Cockrill Bend Blvd & Centennial Blvd

Projected PM
 07/31/2018



Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations	↖	↖↗		↖	↖↗	↖	↖	↖	↖	↖↗	↖	
Traffic Volume (veh/h)	4	523	3	12	193	222	2	2	48	627	3	10
Future Volume (veh/h)	4	523	3	12	193	222	2	2	48	627	3	10
Number	5	2	12	1	6	16	3	8	18	7	4	14
Initial Q (Qb), veh	0	0	0	0	0	0	0	0	0	0	0	0
Ped-Bike Adj(A_pbT)	1.00		1.00	1.00		1.00	1.00		1.00	1.00		1.00
Parking Bus, Adj	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Adj Sat Flow, veh/h/ln	1863	1863	1900	1863	1863	1863	1863	1863	1900	1863	1863	1900
Adj Flow Rate, veh/h	4	568	3	13	210	0	2	2	0	682	3	11
Adj No. of Lanes	1	2	0	1	2	1	1	1	0	2	1	0
Peak Hour Factor	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92
Percent Heavy Veh, %	2	2	2	2	2	2	2	2	2	2	2	2
Cap, veh/h	512	1361	7	312	1589	711	271	261	0	795	129	474
Arrive On Green	0.38	0.38	0.38	0.02	0.75	0.00	0.00	0.14	0.00	0.23	0.37	0.37
Sat Flow, veh/h	1167	3610	19	1774	3539	1583	1774	1863	0	3442	351	1285
Grp Volume(v), veh/h	4	278	293	13	210	0	2	2	0	682	0	14
Grp Sat Flow(s),veh/h/ln	1167	1770	1859	1774	1770	1583	1774	1863	0	1721	0	1636
Q Serve(g_s), s	0.2	11.6	11.6	0.4	1.6	0.0	0.1	0.1	0.0	19.0	0.0	0.5
Cycle Q Clear(g_c), s	0.2	11.6	11.6	0.4	1.6	0.0	0.1	0.1	0.0	19.0	0.0	0.5
Prop In Lane	1.00		0.01	1.00		1.00	1.00		0.00	1.00		0.79
Lane Grp Cap(c), veh/h	512	667	701	312	1589	711	271	261	0	795	0	603
V/C Ratio(X)	0.01	0.42	0.42	0.04	0.13	0.00	0.01	0.01	0.00	0.86	0.00	0.02
Avail Cap(c_a), veh/h	512	667	701	627	1589	711	516	261	0	998	0	603
HCM Platoon Ratio	1.00	1.00	1.00	1.67	1.67	1.67	1.00	1.00	1.00	1.00	1.00	1.00
Upstream Filter(I)	1.00	1.00	1.00	0.99	0.99	0.00	1.00	1.00	0.00	1.00	0.00	1.00
Uniform Delay (d), s/veh	19.5	23.0	23.0	18.4	7.1	0.0	36.8	37.0	0.0	36.9	0.0	20.1
Incr Delay (d2), s/veh	0.0	1.9	1.8	0.0	0.2	0.0	0.0	0.1	0.0	6.6	0.0	0.1
Initial Q Delay(d3),s/veh	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
%ile BackOfQ(50%),veh/ln	0.1	6.0	6.3	0.2	0.8	0.0	0.0	0.1	0.0	9.7	0.0	0.3
LnGrp Delay(d),s/veh	19.5	25.0	24.9	18.4	7.3	0.0	36.8	37.1	0.0	43.5	0.0	20.2
LnGrp LOS	B	C	C	B	A		D	D		D		C
Approach Vol, veh/h		575			223			4			696	
Approach Delay, s/veh		24.9			7.9			37.0			43.0	
Approach LOS		C			A			D			D	
Timer	1	2	3	4	5	6	7	8				
Assigned Phs	1	2	3	4		6	7	8				
Phs Duration (G+Y+Rc), s	7.2	43.7	6.2	42.9		50.9	29.1	20.0				
Change Period (Y+Rc), s	6.0	6.0	6.0	6.0		6.0	6.0	6.0				
Max Green Setting (Gmax), s	9.0	14.0	14.0	29.0		39.0	29.0	14.0				
Max Q Clear Time (g_c+1), s	4	13.6	2.1	2.5		3.6	21.0	2.1				
Green Ext Time (p_c), s	0.0	0.1	0.0	0.0		3.3	2.1	0.0				
Intersection Summary												
HCM 2010 Ctrl Delay				30.8								
HCM 2010 LOS				C								

HCM 2010 Signalized Intersection Summary
 6: Briley Pkwy SB Ramp & Centennial Blvd

Projected PM
 07/31/2018



Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		↑↑	↑	↑	↑↑					↑		↑
Traffic Volume (veh/h)	0	623	575	137	309	0	0	0	0	138	0	118
Future Volume (veh/h)	0	623	575	137	309	0	0	0	0	138	0	118
Number	5	2	12	1	6	16				7	4	14
Initial Q (Qb), veh	0	0	0	0	0	0				0	0	0
Ped-Bike Adj(A_pbT)	1.00		1.00	1.00		1.00				1.00		1.00
Parking Bus, Adj	1.00	1.00	1.00	1.00	1.00	1.00				1.00	1.00	1.00
Adj Sat Flow, veh/h/ln	0	1863	1863	1863	1863	0				1863	0	1863
Adj Flow Rate, veh/h	0	677	0	149	336	0				150	0	0
Adj No. of Lanes	0	2	1	1	2	0				1	0	1
Peak Hour Factor	0.92	0.92	0.92	0.92	0.92	0.92				0.92	0.92	0.92
Percent Heavy Veh, %	0	2	2	2	2	0				2	0	2
Cap, veh/h	0	2392	1070	664	2762	0				186	0	166
Arrive On Green	0.00	1.00	0.00	0.04	0.78	0.00				0.10	0.00	0.00
Sat Flow, veh/h	0	3632	1583	1774	3632	0				1774	0	1583
Grp Volume(v), veh/h	0	677	0	149	336	0				150	0	0
Grp Sat Flow(s),veh/h/ln	0	1770	1583	1774	1770	0				1774	0	1583
Q Serve(g_s), s	0.0	0.0	0.0	2.4	2.3	0.0				8.3	0.0	0.0
Cycle Q Clear(g_c), s	0.0	0.0	0.0	2.4	2.3	0.0				8.3	0.0	0.0
Prop In Lane	0.00		1.00	1.00		0.00				1.00		1.00
Lane Grp Cap(c), veh/h	0	2392	1070	664	2762	0				186	0	166
V/C Ratio(X)	0.00	0.28	0.00	0.22	0.12	0.00				0.81	0.00	0.00
Avail Cap(c_a), veh/h	0	2392	1070	922	2762	0				523	0	467
HCM Platoon Ratio	1.00	2.00	2.00	1.00	1.00	1.00				1.00	1.00	1.00
Upstream Filter(I)	0.00	0.74	0.00	1.00	1.00	0.00				1.00	0.00	0.00
Uniform Delay (d), s/veh	0.0	0.0	0.0	3.7	2.7	0.0				43.8	0.0	0.0
Incr Delay (d2), s/veh	0.0	0.2	0.0	0.1	0.1	0.0				8.1	0.0	0.0
Initial Q Delay(d3),s/veh	0.0	0.0	0.0	0.0	0.0	0.0				0.0	0.0	0.0
%ile BackOfQ(50%),veh/ln	0.0	0.1	0.0	1.1	1.2	0.0				4.5	0.0	0.0
LnGrp Delay(d),s/veh	0.0	0.2	0.0	3.8	2.8	0.0				51.8	0.0	0.0
LnGrp LOS		A		A	A					D		
Approach Vol, veh/h		677			485						150	
Approach Delay, s/veh		0.2			3.1						51.8	
Approach LOS		A			A						D	
Timer	1	2	3	4	5	6	7	8				
Assigned Phs	1	2		4		6						
Phs Duration (G+Y+Rc), \$0.5		73.6		16.0		84.0						
Change Period (Y+Rc), s	6.0	6.0		5.5		6.0						
Max Green Setting (Gmax), s	34.0	34.0		29.5		59.0						
Max Q Clear Time (g_c+1), s	2.0	2.0		10.3		4.3						
Green Ext Time (p_c), s	0.2	4.6		0.4		4.7						
Intersection Summary												
HCM 2010 Ctrl Delay				7.2								
HCM 2010 LOS				A								

HCM 2010 TWSC
25: Site Access & Cockrill Bend Blvd

Projected PM
07/31/2018

Intersection

Int Delay, s/veh 0.1

Movement EBT EBR WBL WBT NBL NBR

Movement	EBT	EBR	WBL	WBT	NBL	NBR
Lane Configurations	↕			↕	↕	
Traffic Vol, veh/h	333	0	8	86	0	22
Future Vol, veh/h	333	0	8	86	0	22
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	-	-	-	-	0	-
Veh in Median Storage, #	0	-	-	0	0	-
Grade, %	0	-	-	0	0	-
Peak Hour Factor	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	362	0	9	93	0	24

Major/Minor Minor2 Major2 Major1

Major/Minor	Minor2	Major2	Major1			
Conflicting Flow All	135	93	24	0	93	0
Stage 1	111	-	-	-	-	-
Stage 2	24	-	-	-	-	-
Critical Hdwy	6.52	6.22	4.12	-	4.12	-
Critical Hdwy Stg 1	5.52	-	-	-	-	-
Critical Hdwy Stg 2	-	-	-	-	-	-
Follow-up Hdwy	4.018	3.318	2.218	-	2.218	-
Pot Cap-1 Maneuver	756	964	1591	-	1501	-
Stage 1	804	-	-	-	-	-
Stage 2	-	-	-	-	-	-
Platoon blocked, %				-	-	-
Mov Cap-1 Maneuver	0	964	1591	-	1501	-
Mov Cap-2 Maneuver	0	-	-	-	-	-
Stage 1	0	-	-	-	-	-
Stage 2	0	-	-	-	-	-

Approach EB WB NB

HCM Control Delay, s		0.6	0
HCM LOS	-		

Minor Lane/Major Mvmt NBL NBR EBLn1 WBL WBT

Capacity (veh/h)	1501	-	-	1591	-
HCM Lane V/C Ratio	-	-	-	0.005	-
HCM Control Delay (s)	0	-	-	7.3	0
HCM Lane LOS	A	-	-	A	A
HCM 95th %tile Q(veh)	0	-	-	0	-

Queues

Projected PM

4: White Bridge Pk/Briley Pkwy & Robertson Ave/Urbandale Ave

07/26/2018



Lane Group	EBL	EBT	EBR	WBL	WBT	NBL	NBT	SBL	SBT	SBR
Lane Group Flow (vph)	70	77	232	149	238	388	1171	55	441	98
v/c Ratio	0.33	0.46	0.40	0.64	0.62	0.33	0.66	0.20	0.28	0.12
Control Delay	31.1	47.9	5.6	42.4	31.6	8.4	21.0	10.1	18.2	0.3
Queue Delay	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
Total Delay	31.1	47.9	5.6	42.4	31.6	8.4	21.0	10.1	18.2	0.3
Queue Length 50th (ft)	31	42	0	69	42	46	283	12	90	0
Queue Length 95th (ft)	65	86	51	121	80	69	369	27	127	0
Internal Link Dist (ft)		1162			993		1102		743	
Turn Bay Length (ft)	150		160	145		100		170		160
Base Capacity (vph)	221	186	590	233	415	1205	1780	281	1557	815
Starvation Cap Reductn	0	0	0	0	0	0	0	0	0	0
Spillback Cap Reductn	0	0	0	0	0	0	0	0	0	0
Storage Cap Reductn	0	0	0	0	0	0	0	0	0	0
Reduced v/c Ratio	0.32	0.41	0.39	0.64	0.57	0.32	0.66	0.20	0.28	0.12

Intersection Summary

Queues

Projected PM

5: Private Drive & Cockrill Bend Blvd & Centennial Blvd

07/26/2018

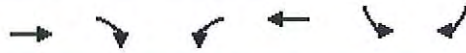


Lane Group	EBL	EBT	WBL	WBT	WBR	NBL	NBT	SBL	SBT
Lane Group Flow (vph)	4	571	13	210	241	2	54	682	14
v/c Ratio	0.01	0.44	0.05	0.15	0.32	0.01	0.17	0.79	0.02
Control Delay	23.5	26.2	16.8	17.4	2.6	17.5	13.0	41.7	10.2
Queue Delay	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
Total Delay	23.5	26.2	16.8	17.4	2.6	17.5	13.0	41.7	10.2
Queue Length 50th (ft)	2	136	4	31	0	1	1	206	1
Queue Length 95th (ft)	10	223	14	53	16	4	36	261	14
Internal Link Dist (ft)		890		1052			590		565
Turn Bay Length (ft)	120		240		450	80		290	
Base Capacity (vph)	423	1295	426	1380	764	495	326	995	775
Starvation Cap Reductn	0	0	0	0	0	0	0	0	0
Spillback Cap Reductn	0	0	0	0	0	0	0	0	0
Storage Cap Reductn	0	0	0	0	0	0	0	0	0
Reduced v/c Ratio	0.01	0.44	0.03	0.15	0.32	0.00	0.17	0.69	0.02

Intersection Summary

Queues
6: Briley Pkwy SB Ramp & Centennial Blvd

Projected PM
07/26/2018



Lane Group	EBT	EBR	WBL	WBT	SBL	SBR
Lane Group Flow (vph)	677	625	149	336	150	128
v/c Ratio	0.31	0.51	0.27	0.13	0.61	0.39
Control Delay	14.1	8.7	5.3	4.1	50.9	10.2
Queue Delay	0.0	0.0	0.0	0.0	0.0	0.0
Total Delay	14.1	8.7	5.3	4.1	50.9	10.2
Queue Length 50th (ft)	138	152	22	26	91	0
Queue Length 95th (ft)	176	183	48	48	147	49
Internal Link Dist (ft)	1052			1619		
Turn Bay Length (ft)		170	170			240
Base Capacity (vph)	2184	1216	687	2643	522	557
Starvation Cap Reductn	0	0	0	0	0	0
Spillback Cap Reductn	0	0	0	0	0	0
Storage Cap Reductn	0	0	0	0	0	0
Reduced v/c Ratio	0.31	0.51	0.22	0.13	0.29	0.23
Intersection Summary						

APPENDIX F
TURN LANE ANALYSES

Westbound Cockrill Bend Boulevard and New Site Access Road (AM Peak Hour)

Figure 2 - 5. Guideline for determining the need for a major-road left-turn bay at a two-way stop-controlled intersection.

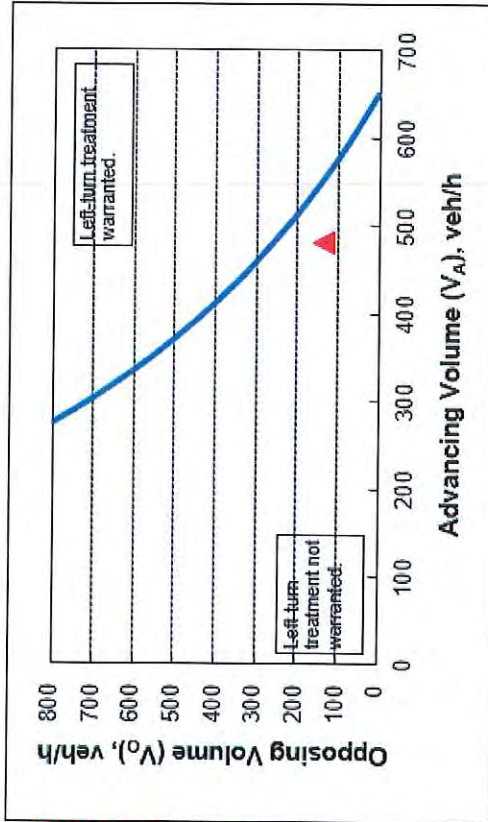
2-lane roadway (English)

INPUT

Variable	Value
85 th percentile speed, mph:	30
Percent of left-turns in advancing volume (V _A), %:	10%
Advancing volume (V _A), veh/h:	481
Opposing volume (V _O), veh/h:	132

OUTPUT

Variable	Value
Limiting advancing volume (V _A), veh/h:	553
Guidance for determining the need for a major-road left-turn bay: Left-turn treatment NOT warranted.	



CALIBRATION CONSTANTS

Variable	Value
Average time for making left-turn, s:	3.0
Critical headway, s:	5.0
Average time for left-turn vehicle to clear the advancing lane, s:	1.9

Westbound Cockrill Bend Boulevard and New Site Access Road (PM Peak Hour)

Figure 2 - 5. Guideline for determining the need for a major-road left-turn bay at a two-way stop-controlled intersection.

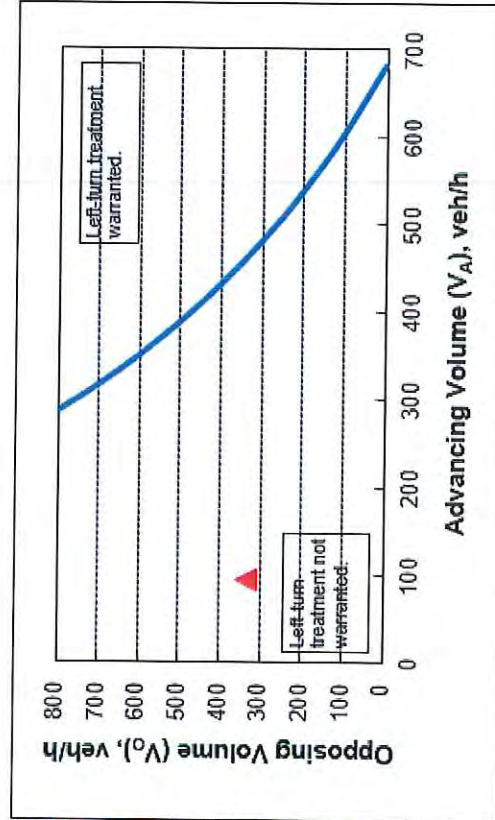
2-lane roadway (English)

INPUT

Variable	Value
85 th percentile speed, mph:	30
Percent of left-turns in advancing volume (V _A), %:	9%
Advancing volume (V _A), veh/h:	94
Opposing volume (V _O), veh/h:	333

OUTPUT

Variable	Value
Limiting advancing volume (V _A), veh/h:	463
Guidance for determining the need for a major-road left-turn bay:	
	Left-turn treatment NOT warranted.



CALIBRATION CONSTANTS

Variable	Value
Average time for making left-turn, s:	3.0
Critical headway, s:	5.0
Average time for left-turn vehicle to clear the advancing lane, s:	1.9

Report No. 18-134

**TECHNICAL EVALUATION
Of
Blasting Operation
For
Cockrill Bend Location
Proposed Underground Mining Operation**

For:

**Rogers Group Inc.
421 Great Circle Road
Nashville, TN 37228**

Prepared By:

**VCE Inc.
2604 Foster Avenue
Nashville, TN 37210
(615) 781-3844**

June 30, 2018



FORENSIC INVESTIGATIONS

REPORT NO. 18-134

REPORT

LOCATION OF OPERATION: Rogers Group Inc. Reostone Roberston Avenue Open Pit Quarry & Proposed Underground Mine on the Adjacent Cockrill Bend Site

ADDRESS: 6514 Robertson Avenue, Nashville, TN 37209

DATE OF INITIAL SITE EVALUATION: April 18, 2018

SCOPE OF WORK: Perform an evaluation and technical feasibility assessment of the blasting operation proposed for the underground mine on the Cockrill Bend site. The proposed blasting operation for the underground mine on the Cockrill Bend site will be of similar size as the operation presently conducted on the Rogers Group Inc. Whites Creek Pike underground mine located at 2855 Whites Creek Pike in Nashville, TN. The Cockrill Bend site, where the proposed underground mine is planned, is situated on a parcel of property that is adjacent to the present Rogers Group Inc. Reostone open pit quarry located at 6514 Robertson Avenue in Nashville, TN. Determine the expected vibration and air over-pressure levels from such an underground mine operation and compare those levels to the present blasting vibration and air over-pressure levels resulting from the present open pit quarry operation at Rogers Group Inc. Reostone open pit quarry.

REPORT OF INVESTIGATION: An evaluation of the present blasting operation and site layout for the Rogers Group Inc. Reostone open pit quarry, located at 6514 Robertson Avenue in Nashville, TN, was conducted. (Continued on page 3)

CONCLUSIONS: Based on the site layout and topographical evaluations, the comparative blasting data review, the seismic data and air over-pressure data reviews, (Continued on page 2)

DATED AT Nashville, Tennessee

This 30th **DAY OF** June, 2018

INVESTIGATOR: Wade C. Hutchison, P.E.
No. 105775



REPORT NO. 18-134

PAGE 2 OF 20

CONCLUSIONS: (continued)

the vibration projection and air over-pressure comparison analysis for the present open pit quarry located at Robertson Avenue and the proposed underground mine located on the adjacent Cockrill Bend parcel, and based on the reports of the historical blasting concerns in correlation with the various blasting exposure from the Rogers Group Inc. Reostone Robertson Avenue site and the Whites Creek Site and the vibration transmission analysis for the present open pit quarry located at the Rogers Group Inc. Reostone Quarry located on 6514 Robertson Avenue and the adjacent proposed underground mine on the Cockrill Bend site adjacent to the present Reostone Quarry, I **conclude that it is feasible to perform blasting on the proposed underground mining site and that blasting would reduce the impact to the neighboring residential and business community in the local area by reducing the ground vibration and air over-pressure exposure levels to the surrounding property owners, thereby reducing their perceptions of the blasting activities and reducing their concerns of the blasting activities potential effects on their respective structures which adjoin the blasting areas.**

The comparison between the blasting operation for the present open pit quarry and the blasting operation for the proposed underground mine found a significant reduction in ground vibration and air over-pressure exposures from the quarry blasting activities associated with a transition from the open pit mine to the proposed underground mine. Specifically, the vibration reduction associated with the transition from the open pit quarry to the proposed underground mine was calculated to average 56.90 percent at the structures of closest exposure and at those structures where previous concerns have been voiced by neighbors who have contacted Rogers Group, Inc. in the past.

Air over-pressure level reductions associated with moving underground from the present above ground open pit quarry are projected to be almost 89.06 percent. The topography of the site and the exposure distance opposite the proposed mine entrance and exit locations are favorable toward reducing any elevated directional air over-pressure associated with creating the mine entrance and exit portals.

Given its location, the local topography and the proposed blasting vibration and air over-pressure reductions identified for the proposed underground mine blasting operation as compared to the present open pit mine blasting operation, it is not only feasible but desirable to mine underground at this site. The underground mining will also significantly minimize the perception of blasting to the neighbors and reduce their concerns about the blasting operation and its potential impact to the structures on their properties.

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This evaluation included a visit to the site and a review of blasting and seismic records from June of 2016 to April of 2018. This review included a follow-up evaluation of all blasts conducted during the time period mentioned above as detailed by the blasting logs and seismic records.

As part of the blasting records review, a discussion with Rogers Group Inc. personnel was conducted to evaluate the calls of complaint or concern, regarding the blasting activities, which have been previously received from their neighbors adjacent to both the Reostone Roberston Avenue open pit quarry location and the Whites Creek Pike underground mine location.

Additionally, site topography was reviewed and evaluated for the Rogers Group Inc. Reostone open pit quarry located on Robertson Avenue in Nashville, TN and the Rogers Group Inc. proposed underground mine site on the Cockrill Bend parcel adjacent to the open pit quarry. As part of the review of the proposed underground site, a review of the mining plan was discussed, and it was determined that the plans for mining the adjacent Cockrill Bend site would utilize the same shaft heights, widths, pillar size and blasting operations as the present Rogers Group Inc. Whites Creek Pike underground mine also located in Nashville, TN.

A site visit and evaluation was also conducted at the Rogers Group Inc. Whites Creek Pike underground mine operation in Nashville, TN. Digital still shot color photography was used during the various site visits to capture some of the enclosed images contained in this report.

During these site visits, the general layout of the operations was evaluated, and the recent blasting records and seismic data were requested from each operation. The blasting records were obtained and reviewed in order to perform a comparative evaluation between the blasting conducted at the present Reostone open pit quarry operation, and the blasting conducted at Rogers Group Inc. underground mine operation at the Whites Creek Pike location which was determined to typify the attributes of the blasting proposed for the underground mine planned on the Cockrill Bend parcel adjacent to the present Rogers Group Inc. Reostone open pit quarry located on Robertson Avenue.

Rogers Group Inc. Reostone Robertson Avenue Open Pit Blast Site Layout Evaluation

As shown in the Google image (shown on the next page), labeled Figure 1, the Rogers Group Inc. Reostone open pit quarry is located on Robertson Avenue and is situated with neighborhoods to the east and to the south. Additionally, there are some commercial and industrial facilities located to the north, east and west of the mine. This

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open pit quarry has existed for 56 years. Currently the east wall elevation is 336 feet above the lower floor in the quarry pit, and the west wall elevation is 286 feet above the same pit floor.

At present, the closest exposure distance to an adjoining structure from any mine area where blasting could occur in the open pit floor at this site is 336 feet from a structure on Annex Avenue to the east of the open pit. The lateral distance from the pit wall to the neighbors is actually less than 336 feet but the depth of the quarry at that location is such that a blast in the quarry floor would be at least 336 feet from the closest residence to the quarry. The neighborhoods are located a sufficient distance from the present mining operation so blasting can be conducted within the vibration and air over-pressure limits of the Tennessee State Blasting Law.



Figure 1

The nature of an open pit blasting operation is such that people's perception of a given blast event is most often affected by the air over-pressure and not necessarily from the ground vibrations created by that event. The topography of the open pit quarry site is such that it is conducive to air over-pressure being readily disseminated to the neighboring property owners around the quarry. This dissemination of air over-pressure influences the property owner's perceptions of the blasting activities at the quarry. The present depth of the open pit quarry at this location helps dissipate some of the air over-pressure that is being disseminated to the neighboring property owners around the quarry, but it doesn't totally eliminate that air over-pressure. It also doesn't reduce that air over-pressure in the same way an underground mine is shown to reduce the air over-pressure from a blasting operation.

The effects of air over-pressure from the open pit mine can be increased or amplified on days when a temperature inversion is present, as is often the case on a cloudy or rainy day. This temperature inversion condition provides an environment for some amplification of the air over-pressure that is disseminated from the blast. This amplification often adds to the perception of a given blast event creating the concern that a blast event is more severe than it actually is, in terms of ground vibration and its potential effects on a given structure. The effects associated with air over-pressure amplification from a temperature inversion are known as "focusing".

It should be noted that this "focusing" condition does not have an appreciable effect on ground vibration from blasting nor is it responsible for causing air over-pressure type blasting damage for typical open pit blasting scenarios. The principle effect of this "focusing" condition is to increase the air over-pressure levels of a blast in certain isolated locations and thus worsen the perception of a given blast event at these locations.

Due to the general reduction of blast induced air over-pressure levels and the limited path of air over-pressure released from an underground blast due to the mine confinement geometry, the temperature related blast induced air over-pressure "focusing" effect doesn't typically accompany underground blasting. Because air over-pressure from blasting for an underground rock mining operation is significantly less than that of an open pit mine, the lower air over-pressure levels further reduce the perception of a blast for those who live near an underground mine, as compared to those who live near an open pit mining operation where blasting is present.

Rogers Group Inc. Reostone Proposed Underground Mining Operation at the Cockrill Bend parcel adjacent to the present Reostone Open Pit Quarry

As shown in Figure 2 on the next page, the Cockrill Bend parcel where the proposed Rogers Group Inc. Reostone mine site is located, actually adjoins the western edge of the present Reostone open pit quarry operation. Figure 2 also shows the planned mine

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overlay on the Google image below. The closest exposure distance to an adjoining structure from any future potential blasting, planned at the proposed underground site, is 300 feet (as shown on Figure 2). As previously mentioned, the blasting operation proposed for the site planned at Cockrill Bend parcel will utilize the same shaft heights, widths, pillar size and blasting operations as the present Rogers Group Inc. Whites Creek Pike underground mine located in Nashville, TN.



Figure 2

The blasting operation associated with this proposed underground mining operation, on the Cockrill Bend site, will further reduce the blast induced air over-pressure exposure to the neighborhood as blasting progresses underground. It will also reduce blasting vibration exposures to the neighborhood as the size of blasting charges are reduced to accommodate the physical constraints associated with rock removal from an underground limestone mine. As the mine is developed and blasting progresses, the distance from the surrounding neighborhoods to the south and west, in relation to the blast locations in the underground mine, will increase. As the underground mining and blasting operations move to the north of the present open pit quarry and extend the area shown on the proposed underground mine overlay in Figure 2, the vibration exposures to the surrounding residential neighbors to the south and west of the open pit will experience additional reductions in the blasting related air over-pressure exposure and ground vibration exposure.

The result of the blasting related air over-pressure and ground vibration reductions associated with a change to underground mine blasting is expected to cause the overall neighborhood's perception of the blasting activities to change in a favorable way and to further reduce the occasional concerns previously voiced about the blasting operations for the open pit quarry.

Rogers Group Inc. Reostone Robertson Avenue Open Pit Quarry Blasting Data Review

A review of all blasting logs was conducted for the blasting which occurred from June of 2016 to April of 2018. Due to the geometry of the open pit, there is more variation in pounds per delay for the open pit blasting than there is for the underground mining operation where the geometry is very consistent due to uniform ceiling heights, shaft width and support pillar dimensions. The blast locations, shot design and maximum pounds of explosives per delay were reviewed for the open pit blasting operation. The bench height, hole depth and drilling pattern have some variations given the quarry layout and the production demands. These changes in various areas of the quarry cause the maximum pounds of explosive from different blasts in the open pit quarry to vary considerably. Maximum pounds of explosive per delay data from past blasts was compiled to use in combination with seismic data vibration transmission characteristics identified for the site for various analysis, in order to prepare a comparison between the open and underground blasting operations. These comparisons are presented in later sections of this report.

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Rogers Group Inc. Reostone Robertson Avenue Open Pit Seismic and Air Over-Pressure Data Review

A review of all blast related seismic data was conducted for the blasting at Rogers Group Inc.'s Reostone Robertson Avenue open pit quarry for the period of time from June of 2016 to April of 2018. The blasts evaluated in this data set were used to develop a scale factor plot of data which defines the typical ground vibration transmission characteristics of the blasting at this location. The vibration transmissibility analysis of this data set allows for a site specific projection of vibration for blasts from the open pit or the proposed underground mine.

These transmission characteristics were applied to both the open pit blasting exposures at the site and to the blasting exposures for the proposed underground mining operation on the Cockrill Bend site adjacent to the present open pit site, in order to prepare comparative ground vibration projections for each of the blasting operations.

Air over-pressure data for all blasts occurring from June of 2016 to April of 2018 at the at Rogers Group Inc. Reostone Robertson Avenue open pit quarry was compiled and analyzed. The mean or average air over-pressure level from these blasts was calculated to be 118 decibels and the analysis indicated that the calculated median value was also 118 decibels. The mode observed for this data set was slightly higher at 120 decibels.

The level of 120 decibels equals an air over-pressure of 0.0032 pounds per square inch and was conservatively evaluated to be representative of the typical blast for the open pit operation.

Rogers Group Inc. Whites Creek Pike Nashville, TN Underground Mine Layout Evaluation

As shown in Figure 3 below, the underground mine is situated adjacent to the northern side of the open pit mine located on the same property. Blasting for the initial access portal for this underground mine began in December of 2015, and it was in full production within a year and has been in operation ever since. The distances to the surrounding structures in the area around the mine are such that the ground vibration from the blasting for the underground mining operation is easily maintained at levels well within the limits of the Tennessee State Blasting Law.

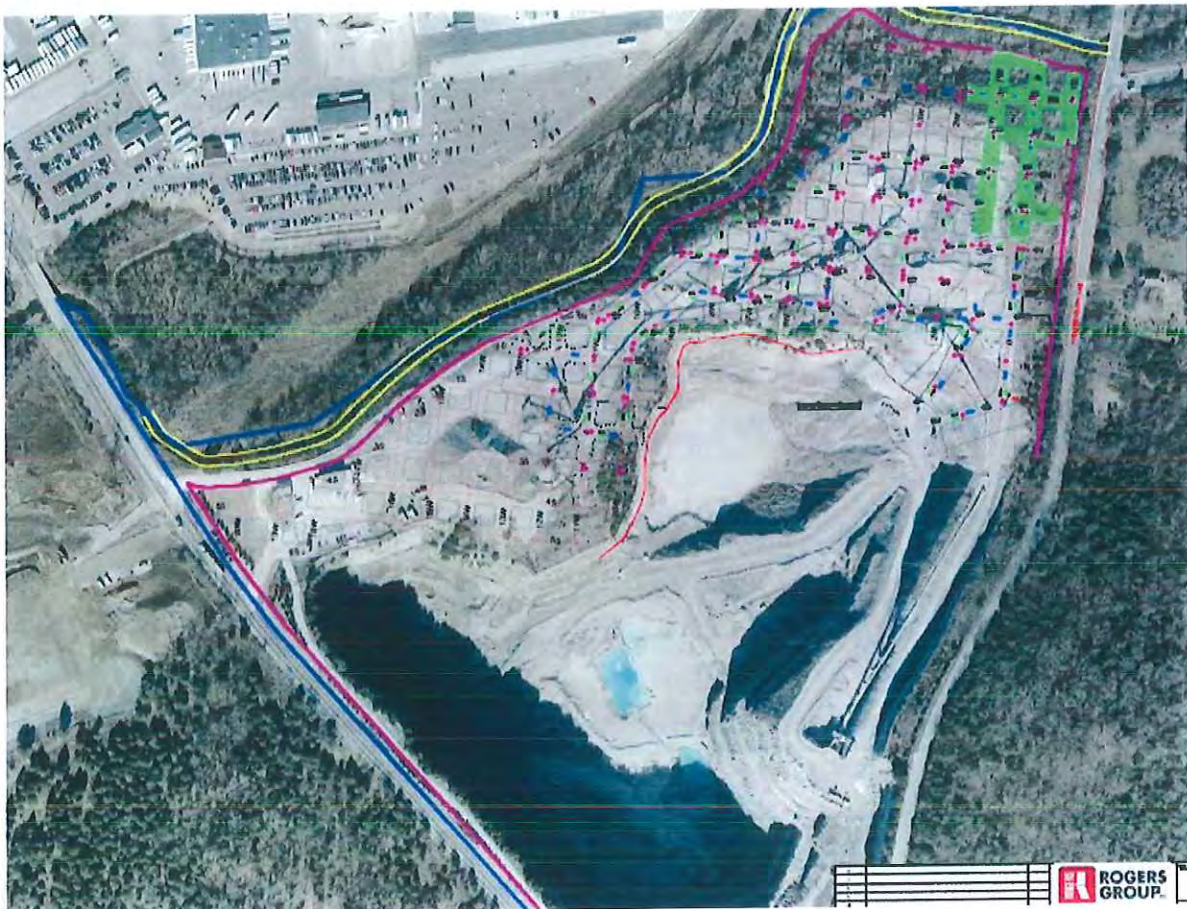


Figure 3

The nature of an underground limestone mine blast is such that the charge weight for a typical blast is considerably less than that in an open pit quarry blast, and therefore the ground vibration levels are less for a given exposure distance to surrounding structures. The surface topography has little effect on the air over-pressure from the underground mining operation, as the principle energies from the blasting are contained in the mine and the air over-pressure dissemination is limited to minor air over-pressure release through the mine entrance and air shaft vents installed in the mine. Since air over-pressure contributes significantly to one's perception of a blasting event, the blasting in an underground mining operation is perceived with significantly less concern than a similar sized blasting operation in an open pit mining operation. As previously mentioned, the underground mine is not subject to the typical "focusing" effect of air over-pressure amplification that can accompany days when temperature inversions are present.

The underground blasting operation utilized by Rogers Group Inc. at their Whites Creek Pike underground mine in Nashville, TN is the same size blasting operation as the one proposed for the underground mine blasting operation at the Rogers Group Inc. Reostone Cockrill Bend parcel adjacent to the present Reostone open pit quarry located on Robertson Avenue in Nashville, TN.

The photograph contained in Figure 4 below shows the present entrance and exit portals into the Rogers Group Inc. underground mine at the Whites Creek Pike location in Nashville, TN. In order to mine the underground rock at this location, the entrance and exit portals are located within the open pit quarry at a depth well below the top of the open pit wall. The positioning of this entrance and exit, in combination with the geometry of the mine, significantly reduces the surface level air over-pressure dissemination experienced by the neighbors from underground blasting and therefore decreases their perception of the blasting operation.



Figure 4

The underground mine has several air shaft vents similar to the one shown in the photograph contained in Figure 5 below. These air shafts vents provide ventilation for the mine and allow some air limited over-pressure dissemination when a blast occurs in the mine. The geometry of the mine and the construction features of the air shaft vents significantly reduces the surface level air over-pressure experienced by the neighbors and therefore decreases the perception of the blasting operation. This reduction is well documented by the comparison of air over-pressure decibel levels for typical blasts at either Rogers Group Inc. Reostone Robertson Avenue open pit mine in Nashville, TN and the projected blasting at the adjacent Cockrill Bend parcel where the planned underground mine is proposed.



Figure 5

Rogers Group Inc. Whites Creek Pike Open Pit Historical Blasting Concerns Evaluation

Rogers Group, Inc. has historical data regarding calls they receive from individuals who live in areas adjacent to the open pit quarry at Whites Creek Pike before the Underground Mine was opened. People previously called when they felt or heard the blasting activity or if they had specific concerns about the blast. Rogers Group, Inc. personnel indicated that these calls virtually ceased when the blasting activities went underground. The only calls they have received since these activities went underground occurred on occasions when they were blasting in the open pit area and not in the underground mine.

Rogers Group Inc. Whites Creek Pike Underground Mine Seismic and Air Over-Pressure Data Review

A review of seismic and air over-pressure data from blasting at the Rogers Group Inc. Whites Creek Pike underground mine site was conducted of all blasts between June of 2016 to April of 2018.

Rogers Group Inc. Reostone Robertson Avenue Proposed Underground Mine Blasting Plan Review

A review of all proposed blasting plans was conducted to assess the proposed typical blast locations, shot design and maximum pounds of explosives per delay. This underground mine site has physical dimensions in wall height, passage size and entry openings that are consistent with the present Rogers Group Inc. Whites Creek Pike underground mine site. Due to the consistent geometry in an underground mining operation, resulting from the ceiling height, passage width and support pillar dimensions, the shot design and maximum pounds of explosive per delay will be similar at both the proposed location on the Cockrill Bend parcel and the present Whites Creek Pike underground mine locations.

When blasting is conducted at an underground mine, the shot designs include significantly reduced pounds per delay explosive charges as compared to an open pit quarrying type blasting activity like the ones which have been conducted at Rogers Group Inc. Reostone open pit quarry operation at Robertson Avenue in Nashville, TN. In fact, the typical blasting in the Rogers Groups Inc. Whites Creek Pike underground mine has a maximum pound per delay charge of 80 pounds on any delay period which is 95.3 percent less than the maximum pound per delay charge of 2,082 pounds for the largest blast evaluated at the Rogers Group Inc. Reostone open pit quarry operation that occurred during the period of time between June of 2016 to April of 2018.

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A data set was developed from the blasting activities for the Rogers Group Inc. Whites Creek Pike underground mine blasting and seismic data, and this data was used, in combination with the scale factor plot which was developed for the Rogers Group Inc. Reostone Robertson Avenue site. In order for comparisons to be made between the present and proposed blasting activities at the Rogers Group Inc. Reostone Robertson Avenue open pit site and the adjacent underground proposed Cockrill Bend site, this scale factor plot and data set were used along with the maximum pounds of explosive per delay period previously identified at the open pit Rogers Group Inc. Reostone Robertson Avenue site and the planned max per delay for the proposed underground blasting at the proposed mine site on the Cockrill Bend Property adjacent to the Rogers Group Inc. Reostone Robertson Avenue site, to evaluate the transmission characteristics present at the site and apply those characteristics to both the open pit quarry blasting and the planned underground mine blasting.

Air over-pressure data for blasting at the Whites Creek Pike underground site from June of 2016 to April of 2018 was compiled and analyzed. The mean or average air over-pressure level from any one of these blasts was measured to be 98 decibels. The analysis indicated that the median value for the data was calculated to be 100 decibels and the mode was observed to be 101 decibels for this data set which equals an air over-pressure of 0.00035 pounds per square inch. This mode value was conservatively evaluated to be representative of the typical blast for the underground mine operation that is currently being conducted at Rogers Group Inc. Whites Creek Pike pit underground mine operation which is representative of the proposed operation for the Cockrill Bend parcel.

Rogers Group Inc. Reostone Robertson Avenue and adjacent Cockrill Bend Site Ground Vibration Transmission Analysis

Utilizing the relevant scale factor data, the exposure distance measurements, and the maximum pounds of explosive on a delay period identified in the blasting data for the open pit quarry and for the underground blasting operation that is representative of the proposed underground mine blasting operation, a series of comparison data sets were prepared.

The comparative data set projected vibration levels at each of the address for the closest structures in relation to the Rogers Group Inc.'s Reostone Robertson Avenue open pit mine and the proposed underground mine on the adjacent Cockrill Bend Site. Additionally, this comparative data set shows the address of some locations during the time period from June of 2016 to April of 2018, where several property owners have previously called Rogers Group Inc. and expressed some concerns about the blasting operation in the present open pit mine.

The first data set is shown below in Table 1, and it includes the projected maximum vibration levels based on a blast design that is loaded with the maximum pounds of explosive previously used at the open pit quarry between June of 2016 to April of 2018 and calculated with the closest exposure distance to the open pit blasting operations as identified to the locations of concern in the area surrounding the Reostone Robertson Avenue open pit blasting operation and the proposed Cockrill Bend underground mine site. This data set projection takes into account projected vibration levels for the structure exposure distances associated with the foreseeable future potential blasting zones at the present open pit quarry operation.

Rogers Group Inc. Reostone Robertson Avenue Open Pit Blasting Operation Maximum Vibration Projection for Closest Exposure Distances Resulting From a Blast with Maximum Pounds of Explosives Used During the Data Analysis Period		
Location	Distance (ft)	Vibration (in/s)
7127 Cockrill Bend Industrial Blvd.	1000	0.563
7131 Cockrill Bend Industrial Blvd.	1200	0.470
676 Annex Avenue	336	1.648
6601 Centennial Blvd.	700	0.800
6615 Robertson Avenue	700	0.800
7140 Cockrill Bend Industrial Blvd.	1500	0.378
7204 Cockrill Bend Industrial Blvd.	2210	0.258
6737 Centennial Blvd.	2400	0.238
7201 Cockrill Bend Industrial Blvd.	1925	0.295
7235 Cockrill Bend Industrial Blvd.	1825	0.311

Table 1

The second data set is shown below in Table 2, and it includes the projected maximum vibration levels based on a blast design that is loaded with the maximum pounds of explosives typical to a blast conducted in the Rogers Group Inc. Reostone Whites Creek Pike underground mine blasting operation that were conducted for the period of time between March 15 to May 15 of 2018. This maximum load was used with the closest exposure distance to any portion of the underground mine blasting operation proposed for the Cockrill Bend Site adjacent to Rogers Group Inc. present Reostone Robertson Avenue open pit operation in order to calculate the proposed vibration levels in Table 2 below. This data set projection takes into account the transmissibility data identified for the local area and uses the maximum pounds explosives per delay to project the vibration for each blast area. The maximum pounds of explosives used were similar to the underground mine located at Whites Creek Pike in Nashville, TN. Projected vibration levels contained in Table 2 below take into consideration both the present structure's closest exposure distance to any underground blasting and any exposure distances associated with any future potential blasting zones at the proposed underground mine operation on the Cockrill Bend site.

Rogers Group Inc. Reostone Robertson Avenue Proposed Underground Cockrill Bend Site Blasting Operation Maximum Vibration Projection for Proposed Closest Exposure Distances Resulting From a Blast with Maximum Pounds of Explosives Representative of Maximum Pounds Used at White Creek Pike Underground Mine During the Data Analysis Period		
Location	Distance (ft)	Vibration (in/s)
7127 Cockrill Bend Industrial Blvd.	600	0.187
7131 Cockrill Bend Industrial Blvd.	400	0.279
676 Annex Avenue	2200	0.052
6601 Centennial Blvd.	2140	0.053
6615 Robertson Avenue	300	0.037
7140 Cockrill Bend Industrial Blvd.	510	0.220
7204 Cockrill Bend Industrial Blvd.	770	0.146
6737 Centennial Blvd.	2440	0.047
7201 Cockrill Bend Industrial Blvd.	420	0.266
7235 Cockrill Bend Industrial Blvd.	360	0.309

Table 2

Rogers Group Inc. Reostone Robertson Avenue Vibration Comparison Analysis from Blasting for Open Pit Quarry Operation Versus Proposed Underground Mining Operation at the Cockrill Bend Site

A comparison was made of the projected maximum vibration levels for blasting at the open pit quarry blasts and the projected maximum vibration levels for blasting at the proposed underground mine site on the Cockrill Bend site. This projection was based on the maximum pounds of explosives used for a blast at the open pit quarry during the period of time between June of 2016 to April of 2018 and the vibration levels projected based on the maximum pounds of explosives for the underground mining operation proposed for the Cockrill Bend site adjacent to the present Rogers Group Inc. Reostone Robertson Avenue open pit quarry site. Table 3 below shows the 56.90 percentage average vibration reduction associated with the proposed underground mine blasting operation in comparison with the present open pit blasting operation.

Rogers Group Inc. Reostone Percent Vibration Reduction at Robertson Avenue Location With Transition From Open Pit Blasting Operation to An Underground Blasting Operation at the Proposed Adjacent Underground Cockrill Bend Site	
Location	Vibration Reduction
7127 Cockrill Bend Industrial Blvd.	66.79 %
7131 Cockrill Bend Industrial Blvd.	40.64 %
676 Annex Avenue	96.84 %
6601 Centennial Blvd.	93.38 %
6615 Robertson Avenue	95.38 %
7140 Cockrill Bend Industrial Blvd.	41.80 %
7204 Cockrill Bend Industrial Blvd.	43.41 %
6737 Centennial Blvd.	80.25 %
7201 Cockrill Bend Industrial Blvd.	9.83%
7235 Cockrill Bend Industrial Blvd.	0.64%
Average Vibration Reduction	56.90 %

Table 3

Proposed Rogers Group Inc.'s Cockrill Bend Underground Mine Entrance and Exit Initial Portal Locations, Air Over-pressure Topographical Evaluation and Analysis

The proposed site has been evaluated by the project team, and the area shown in the photograph in Figure 6 below is the initial portal location planned for the mine entrance and exit portals. These portal locations are planned for the western wall well below its top rim of the present open pit. These portal locations will help reduce the air over-pressure dissemination from the underground mine blasts.

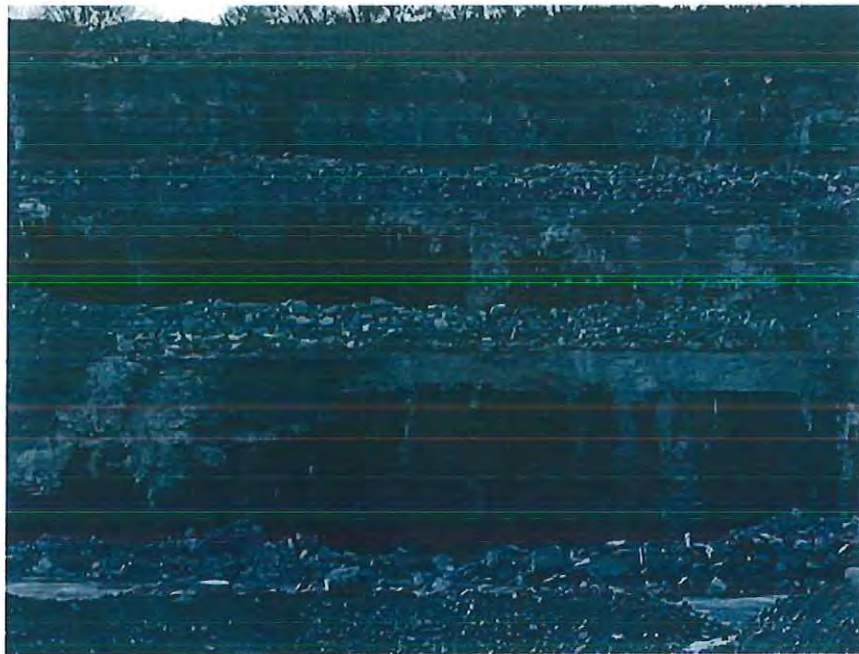


Figure 6

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The topography of the present pit is such that the high wall in the open pit quarry is located opposite and to the east of the wall where the planned entrance and exit portals are shown in the Google image below referenced as Figure 7. The image below indicates this high wall is approximately 1,080 feet from the proposed entrance and exit portals planned for the underground mining operation.



Figure 7

The photograph shown in Figure 8 below shows the opposite high wall of the open pit which extends approximately 164 feet above the level of the opposite pit wall area, where the proposed entrance and exit portals are located. The pit wall shown in this photograph will serve as a sound berm and will further reduce any directional air over-pressure created when the underground mine blasting occurs.

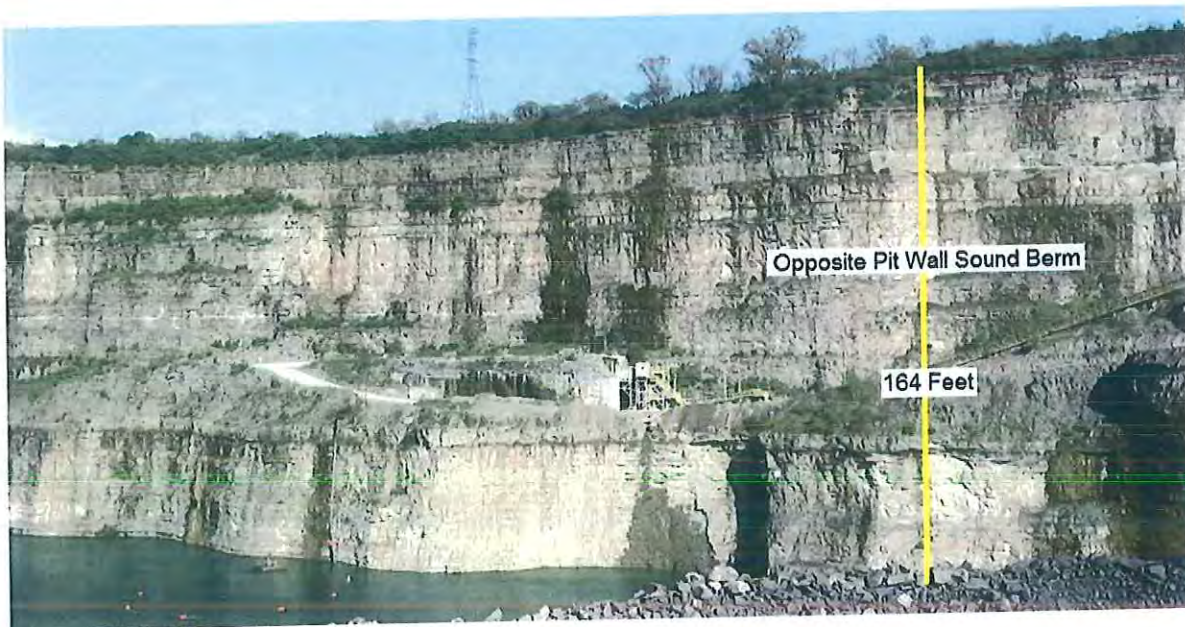


Figure 8

Rogers Group Inc. Reostone Robertson Avenue Open Pit Quarry and Proposed Underground Mine Air Over-Pressure Levels Comparison

A comparison was made of the air over-pressure levels monitored at the open pit blasting operation at the Reostone Robertson Avenue Quarry and the blasting activities planned for the adjacent Cockrill Bend property that are similar and represented by those that were monitored at the Whites Creek Pike Underground mine site during the period of time between June of 2016 to April of 2018.

The mean or average air over-pressure level from the blasts at Rogers Group Inc. Reostone Robertson Avenue open pit quarry were calculated to be 118 decibels, and the analysis indicated that the calculated median value was also 118 decibels. The mode observed for this data set was slightly higher at 120 decibels. The level of 120 decibels equals an air over-pressure of 0.0032 pounds per square inch and was conservatively evaluated to be representative of a typical blast for the open pit operation.

The mean or average air over-pressure level from the blasts at the Whites Creek Pike underground site was calculated to be 98 decibels. The analysis indicated that the median value for the data was calculated to be 100 decibels and the mode was observed to be 101 decibels for this data set which equals an air over-pressure of 0.00035 pounds per square inch. This mode value was conservatively evaluated to be representative of a typical blast for the underground mine operation that is currently being conducted at Rogers Group Inc. Whites Creek Pike underground mine operation which is representative of the proposed operation for the Cockrill Bend parcel adjacent to the Rogers Group Inc. Reostone Robertson Avenue location.

Comparing the typical over-pressure levels monitored at the open pit blasting operation at the Rogers Group Inc. Reostone Robertson Avenue location with a typical blast from the underground mine operation that is currently being conducted at Rogers Group Inc. Whites Creek Pike mine operation which is representative of the proposed underground mine operation planned for the Cockrill Bend parcel adjacent to the Rogers Group Inc. Reostone Robertson Avenue location it was determined that the proposed underground site would experience a significant reduction in air over-pressure levels of almost 90 percent as shown in Table 4 below.

Rogers Group Inc. Reostone Robertson Avenue / Cockrill Bend Site Percent Air Over-pressure Reduction With Transition From Open Pit Quarry to Underground Blasting Operation		
Location	Air Over-Pressure Decibels / PSI	Transition Open Pit to Underground % Air Over-Pressure Reduction
Open Pit Mining Typical Blast Air Over-pressure(Mode)	120 / 0.0032	
Underground Mining Typical Blast Air Over-pressure (Mode)	101 / 0.00035	89.06

TABLE 4



December 11, 2018

Mr. Dan Rose
Rogers Group, Inc.
421 Great Circle Road
Nashville, Tennessee 37202

Re: Proposed Reostone Underground Mine

Dear Mr. Rose,

An underground extension of the existing Reostone, LLC ("**Reostone**") surface quarry is proposed to develop limestone reserves in the Carters, Lebanon, Ridley, and Murfreesboro limestones located under the property of the former Bass Correctional Facility ("**Underground Reserves**") in Nashville, Tennessee. **Reostone** is operated by the **Rogers Group, Inc.** ("**Rogers Group**"). **Reostone** proposes to access the **Underground Reserves** from portals developed in the west wall of the existing surface quarry (see Figure 1). Twin headers will be tunneled in the Carters Limestone well below Richland Creek to reach the **Underground Reserves**. The **Underground Reserves** in the Carters and Lebanon limestones are massive formations that have lower permeability. These formations do not have vugs or karst features that could potentially transmit water. These units are same deposits that **Reostone** has been extracting via open-pit mining for the last 50 years. The +/-1,300-foot (0.25-mile) long highwall on the west of the surface quarry provides a clear view of the Carters strata into which the twin tunnels will be driven.

I. Geological Investigation of the Underground Reserve

The **Underground Reserve** geology and the anticipated ground conditions in both the twin tunnels and in the multiple levels of the future underground mine have been defined by seventeen exploration holes, a bathymetric survey of Richland Creek, and resistivity lines across the property. A second drilling program incorporating angled

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core holes has been conducted to define both geologic structures identified during the initial phase of exploration and any potential faults or jointing in the limestone material in the interburden between Richland Creek and the twin portals.

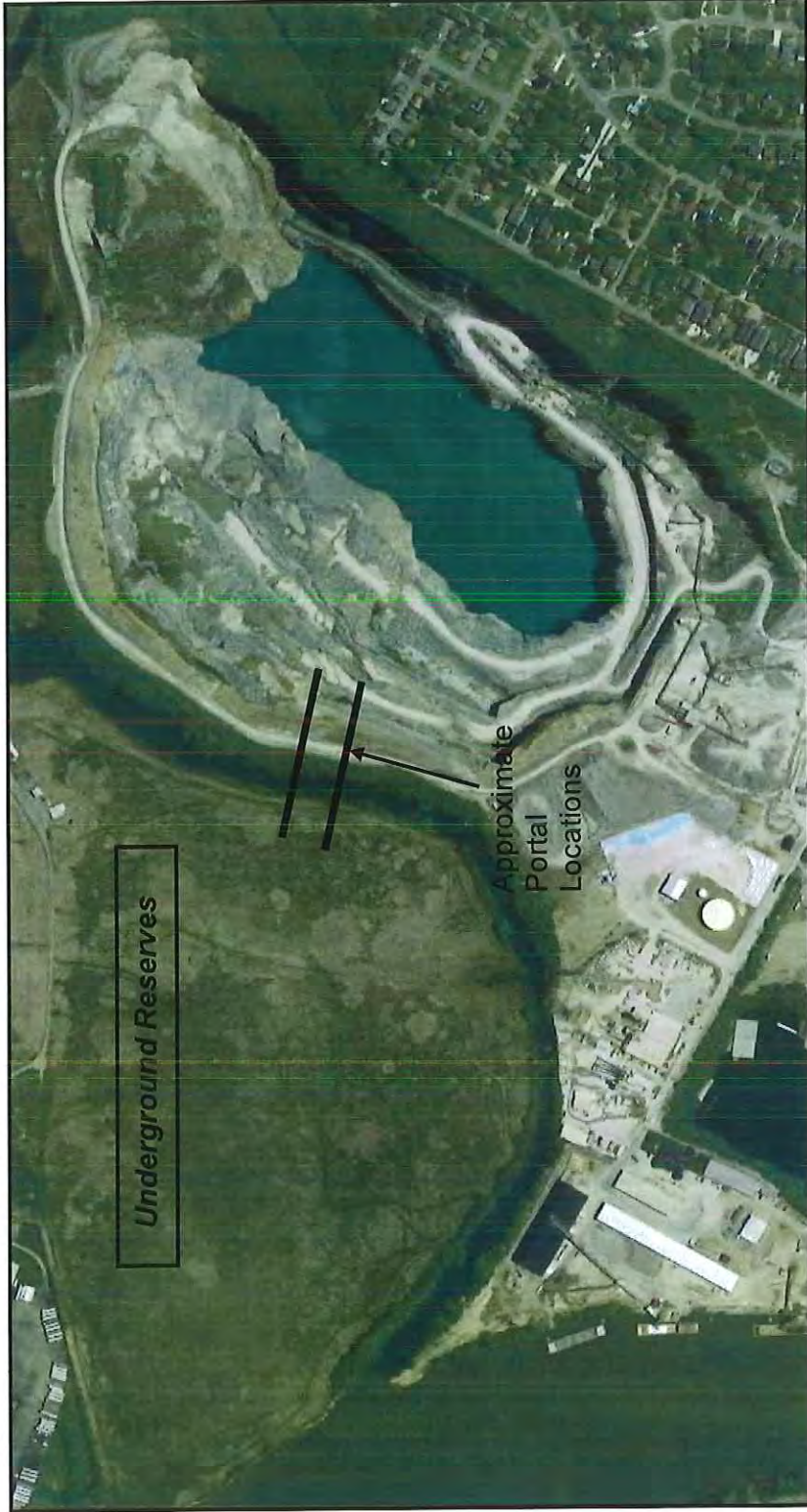


Figure 1. Plan View of the Proposed Reostone Underground Mine (Source: Google Earth)

The multi-phase (drilling, bathymetric, and geophysical) geologic investigation enables **Reostone** to manage tunnel development by anticipation of ground conditions having a full knowledge of the geology and geologic structures.

II. Mine Layout and Design

The proposed portals and multiple level mine development at **Reostone** will be similar to that done at the **Whites Creek** mine (also operated by **Rogers Group**) where the portals to develop Level 1 were driven from a haul road in the existing surface mine. Figure 2, a Google Earth map, illustrates the underground development of the **Whites Creek** mine from the adjacent surface quarry.

Whites Creek has successfully developed Level 1 over the past two years and is in the process of developing Level 2. The initial three levels of the **Whites Creek** mine are shown in Figure 3 which is annotated with the overburden height, mining height, and interburden thickness. The pillars between adjacent levels are columnized in order to efficiently transfer the overburden stress between the levels.



Figure 2. Aerial View of the Existing Surface Quarry and Underground Portals at the Whites Creek Mine



Figure 3. Cross Section of the Initial Three Levels of the Whites Creek Mine



Figure 4. Reostone Mine Location and Projections in the Underground Reserves

The **Reostone** mine projections and the fact that the mine is located immediately off an existing surface quarry as shown in Figure 4 are very similar to the **Whites Creek** mine shown in Figure 2.

III. Rock Mechanics Investigation and Mine Design

Concurrent with the geological investigation, **Reostone** has conducted an extensive geotechnical testing program in accordance with ASTM (American Society for Testing and Materials) Standards. The strength and material properties of the strata that comprise the immediate roof, pillar, immediate floor, and the interburden between vertically adjacent levels have been determined. This information is used to design;

- safe header and crosscut widths,
- roof support requirements for long-term stability,
- stable pillars, and to
- ensure that the interburden between adjacent levels is stable.

The uniaxial compressive strength, tensile strength, density, and elastic modulus have been used as site-specific input data for well-accepted analytical equations and for numerical modeling to design the roof, pillars, and floor of the multiple level mine.

At the **Reostone** underground quarry, the rock strength information is used to plan the roof support using 6-foot to 7-foot long roof bolts spaced on uniform centers. The roof bolts create a composite beam in the immediate roof so that the individual layers act as a monolithic layer to prevent roof falls.

The pillars are approximately 40-feet by 40-feet with 40-foot wide headers and crosscuts. The pillars are designed with a safety factor of 2.0 that is commensurate with long-term stability such that the individual pillars are capable of holding twice the weight of the overlying rock.

The interburden thickness between adjacent levels has been designed to prevent stress transfer between mine openings and the development of fracturing between adjacent levels. The objective is to enable the interburden to isolate mine openings in each level from those above and below. All the overburden stresses are directed to the pillars and transferred through the interburden to the pillars of the underlying level.

The roof elevation of the twin portals will be at the T-3 bentonite bed in the Carters Limestone. The elevation varies but is 240-feet to 253-feet msl. The portals will pass under Richland Creek at a depth of approximately +/- 135 feet below the creek bed. The potential for water inflow into the portals has been defined as part of the exploration drilling program. Sources of water inflow in the area around the portals will be pre-grouted to form a grout curtain preventing water from Richland Creek from entering the portals or the underground mine. The low permeability of the Carters Limestone will aid in limiting the amount of water inflow. Fluctuations in the level and flow rate of Richland Creek will remain a function of the seasonal variation of the watershed.

Similar to the hydrologic planning, if faults are encountered the headers will be oriented perpendicular to the fault so that the area opened up in unfavorable ground is minimized. The cross cuts or cross streets are adjusted so that they are also not developed in less favorable ground. When faults are encountered, their orientation will be measured and used to project the fault to lower levels. The objective is to identify their location on a lower level so that the mine design can be altered to isolate the fault in a pillar or solid rock as opposed to a header or crosscut.

All rock testing data indicate that the underground mine can be designed and developed to provide a safe working environment while the operation is active and ensure that subsidence and surface deformation will not occur after the **Underground Reserves** are depleted. The **Reostone** underground quarry should resemble the quarry workings shown in Photograph 1.



Photograph 1. Typical Opening in an Underground Limestone Mine With Competent Strata Similar to the Carters Limestone

Dan, should you or others have any questions or comments regarding the mine design and rock mechanics investigations, please contact me by telephone or email.

Sincerely,
Appalachian Mining & Engineering, Inc.

**David
Newman**

Digitally signed by David Newman
DN: cn=David Newman,
o=Appalachian Mining & Engineering,
Inc., ou, email=dnewman@ame-
geolab.com, c=US
Date: 2018.12.11 16:40:31 -05'00'

David Newman Ph.D., P.E.
President



Waller Lansden Dortch & Davis, LLP
511 Union Street, Suite 2700
P.O. Box 198966
Nashville, TN 37219-8966

615.244.6380 main
615.244.6804 fax
wallerlaw.com

Erica K. Garrison
615.850.8779 direct
erica.garrison@wallerlaw.com

December 14, 2018

HAND DELIVERED

Board of Zoning Appeals
Metro Office Building, 3rd Floor
800 Second Avenue South
Nashville, TN 37210

Re: Special Exception Application for the Rogers Group - Mineral Extraction
Case No. 2018-715

Dear Members of the Board:

As outside land-use counsel to the Rogers Group, our firm is providing a land-use letter for your review which explains the current zoning and land-use policies applicable to the site in question.

The site is 115.22 acres located at 7177 Cockrill Bend Boulevard and it is zoned IR, Industrial Restrictive. Pursuant to the City of Nashville's own land-use table, a copy of which is attached hereto, mineral extraction is allowed as a special exception on IR zoned properties. So, by its very terms, this use has been deemed by the Metropolitan Planning Department, which reviews and recommends all zoning bills and zoning designations, and by the Council which takes the ultimate vote on all zoning bills, as being appropriate and allowed on industrial restrictive sites when the special exception requirements are satisfied.

The site sits adjacent to the Cumberland River and Richland Creek and it abuts Cockrill Bend Boulevard, which is an arterial boulevard that does not have a sidewalk and the Major and Collector Street Plan does not call for any pedestrian activities. The site plan calls for a 250 foot buffer from the road and it specifically indicates that only underground quarrying will occur on the site – there will be no open pit mining on this site. Processing and rock crushing activities, as delineated on the site plan, will occur on the surface, but these activities are consistent with other industrial uses in the area and are consistent with the definition of "medium manufacturing," which is a permitted use with conditions in this district.

By acquiring this site and obtaining a special exception, the Rogers Group will be positioned to move its current quarry operations at Reostone, which are adjacent to this parcel but sit much closer to residential properties, underground and much further away from the residential properties. As a part of this application, the Rogers Group will also construct a new private road to specifically route its truck traffic and the truck traffic of other industrial users off of Robertson Road, which is in a residential area, and onto a more appropriately designated arterial boulevard that can handle industrial traffic.

waller

Board of Zoning Appeals
December 14, 2018
Page 2

Quarrying underground limits the blasting noise and dust that can typically occur with a mining use, and it makes it significantly more conducive and less impactful to its adjacent industrial neighbors.

The site in question is surrounded by other industrially zoned properties and the adjacent areas along Cockrill Bend Boulevard all share a designation of D-IN policy as denoted by the attached maps, so this site is the perfect location for a quarry. In fact, the property has a specific deed restriction in place from the State of Tennessee indicating that it cannot be used for any use other than an industrial use.

The D-IN policy is applicable to areas zoned industrial where the primary land uses are industrial or are envisioned to become industrial. Street trees and landscaping are recommended and are usually formal, and general and dense buffers are used to create separation between the D-IN and adjacent non-Industrial community character areas. Parking shall be designated and designed to minimize its appearance and vehicular access shall be from arterial boulevards. The zoning districts that are appropriate in this policy area include IWD and IR.

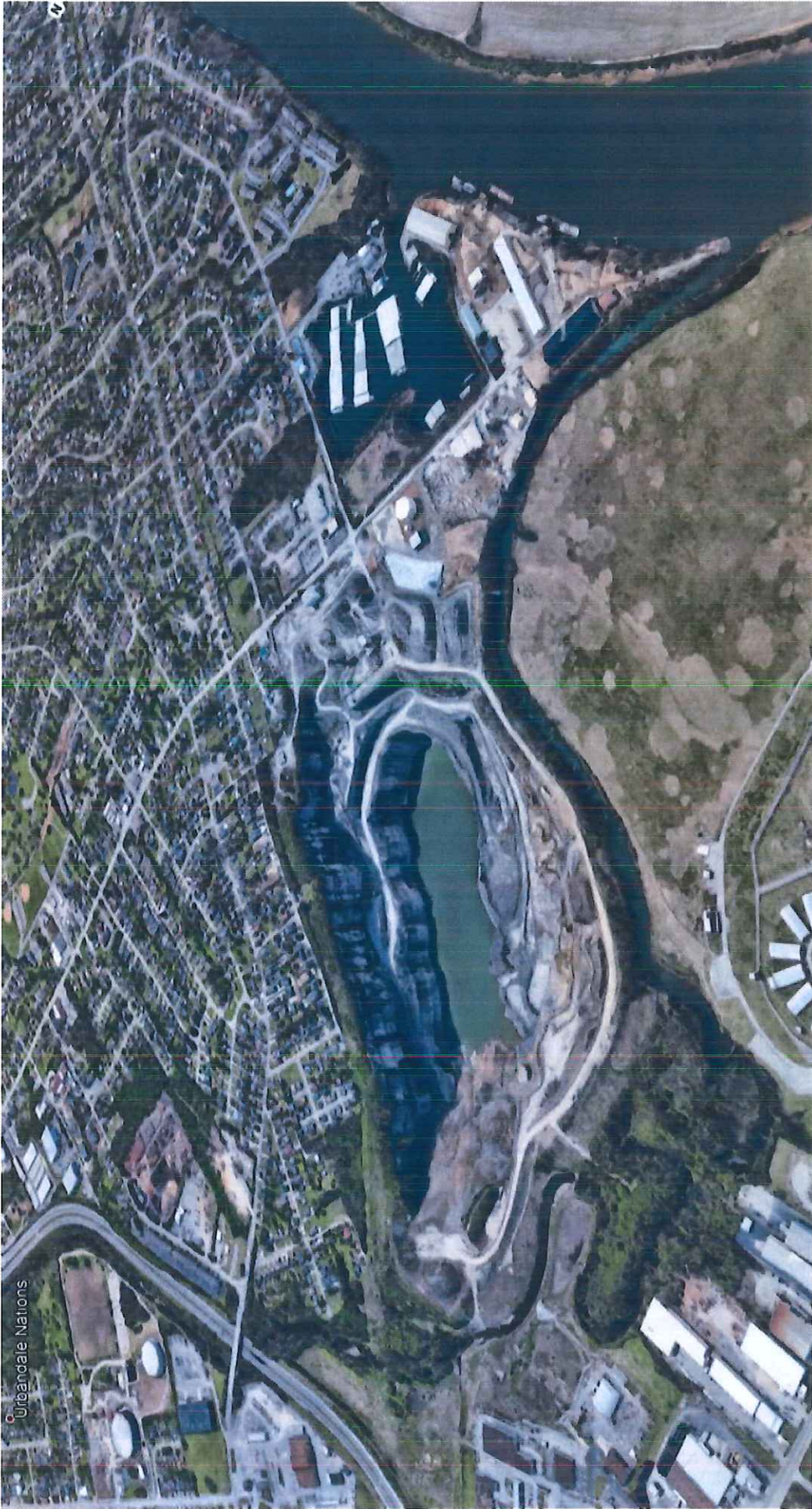
This site is zoned IR and as indicated above it sits on an arterial boulevard. It will include a 250 foot buffer along the roadway to hide all employee parking and to buffer the use from the adjacent properties. The zoning for this site is consistent with the D-IN policy and mineral extraction is a use that is permitted in the IR districts with a special exception. For these reasons alone, we would submit to the Board that this use is consistent with the policy and will not impact the growth and development of this area, which is predominantly industrial. If you add to this the given benefits of moving the quarry operations underground and routing truck traffic off of Robertson Road, we believe that this use is appropriate and beneficial for the area.

Sincerely,



Erica K. Garrison

EKG:
Attachments



Urbandale Nations



**ROGERS
GROUP** INC.

REOSTONE Quarry

Presentation Agenda

- Existing operations
- Reconfiguring REOSTONE
- Benefits:
 - Redirection of industrial truck traffic off of Robertson Rd.
 - Relocation of industrial quarry operations to industrial property - away from residential neighborhood.
 - Surface blasting operations move underground.
 - Reduced vibration, noise, and dust.
 - Aesthetic improvements.
- Questions and conversation.



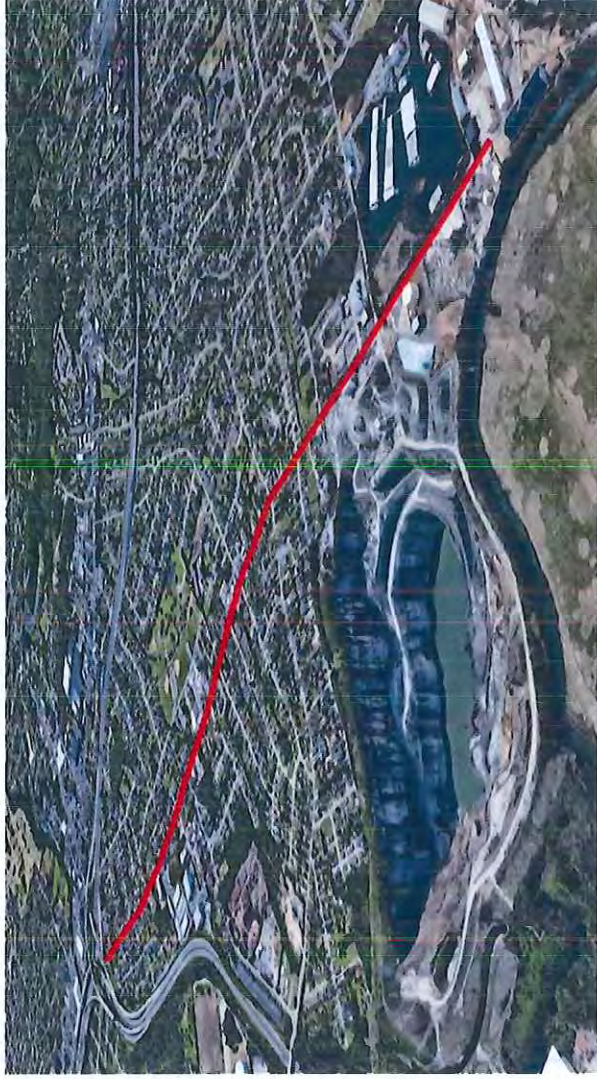
Existing Operations

Existing Operations



Existing Operations

As many as 1,000 heavy truck trips per day on Robertson Road originating from quarry and other industrial operations on Robertson Road.



Industrial quarry operation located adjacent to residential neighborhood.

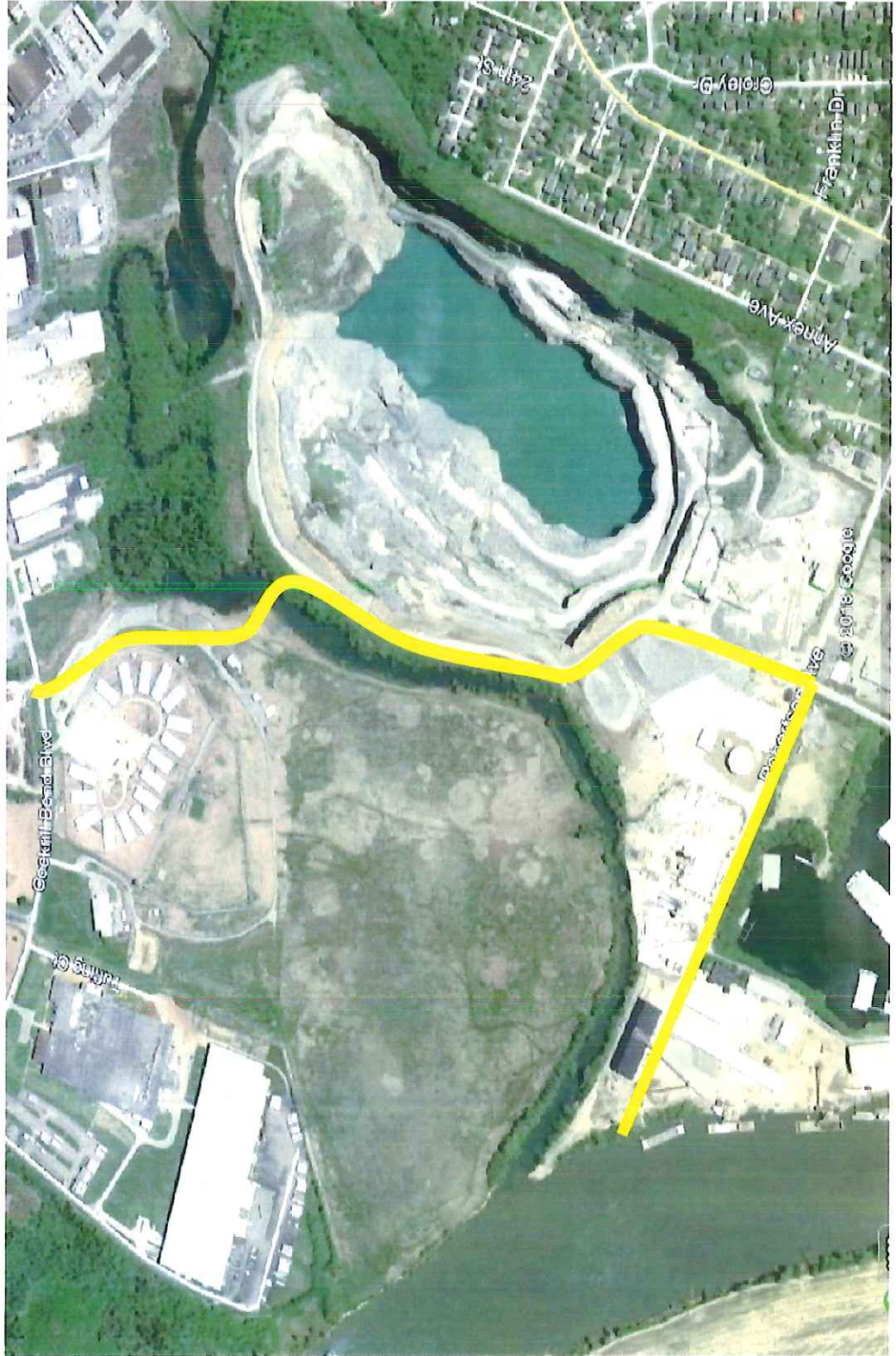


Reconfiguring REOSTONE

Reconfiguring REOSTONE

- Redirect heavy truck traffic from Robertson Road to Cockrill Bend Blvd via a newly constructed connector road including bridge over Richland Creek.
- Move processing equipment and truck loading activities 2,500 feet away from residential neighbors to industrial area.
- Migrate blasting & extraction activities underground.

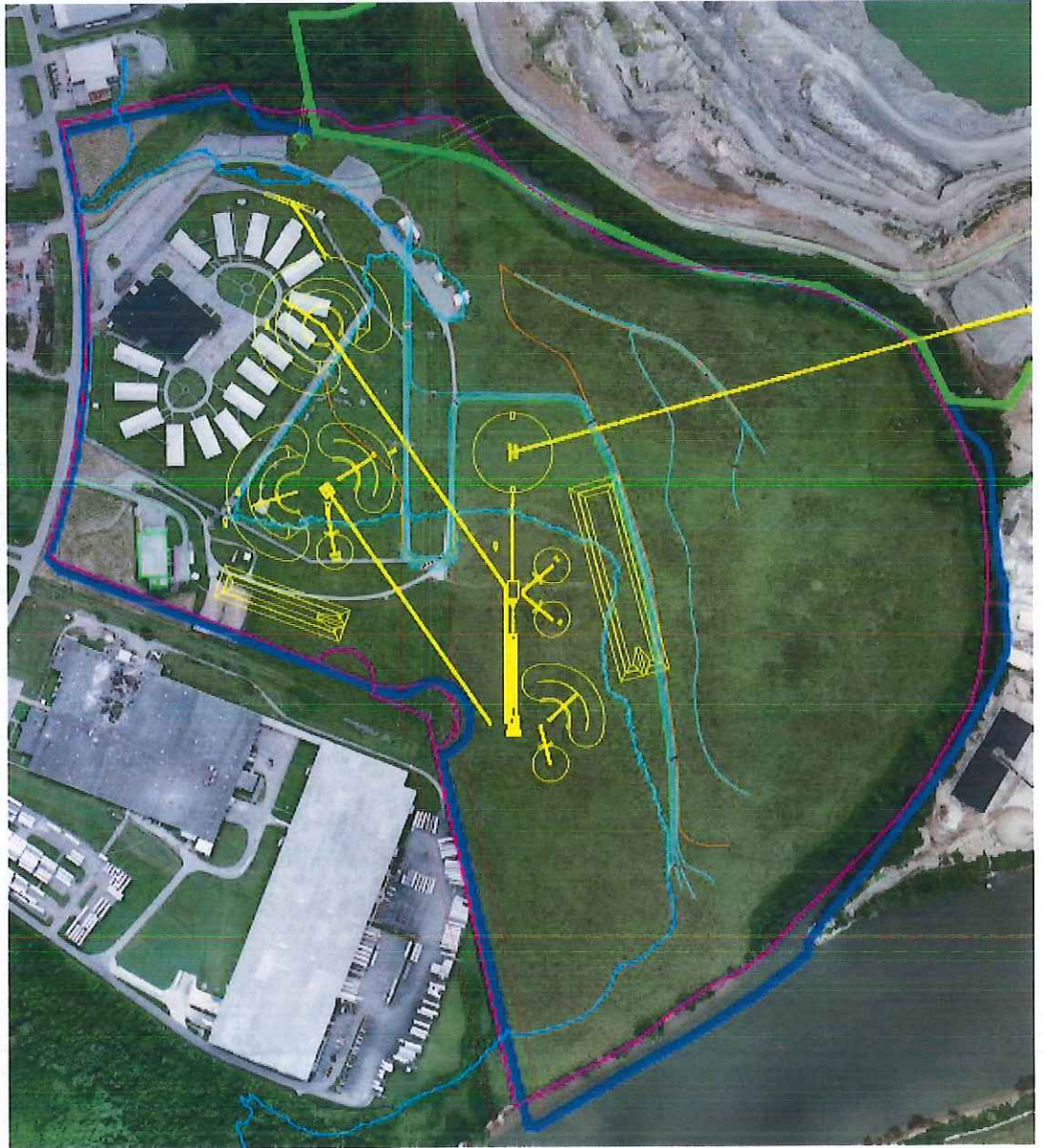
New Truck Route



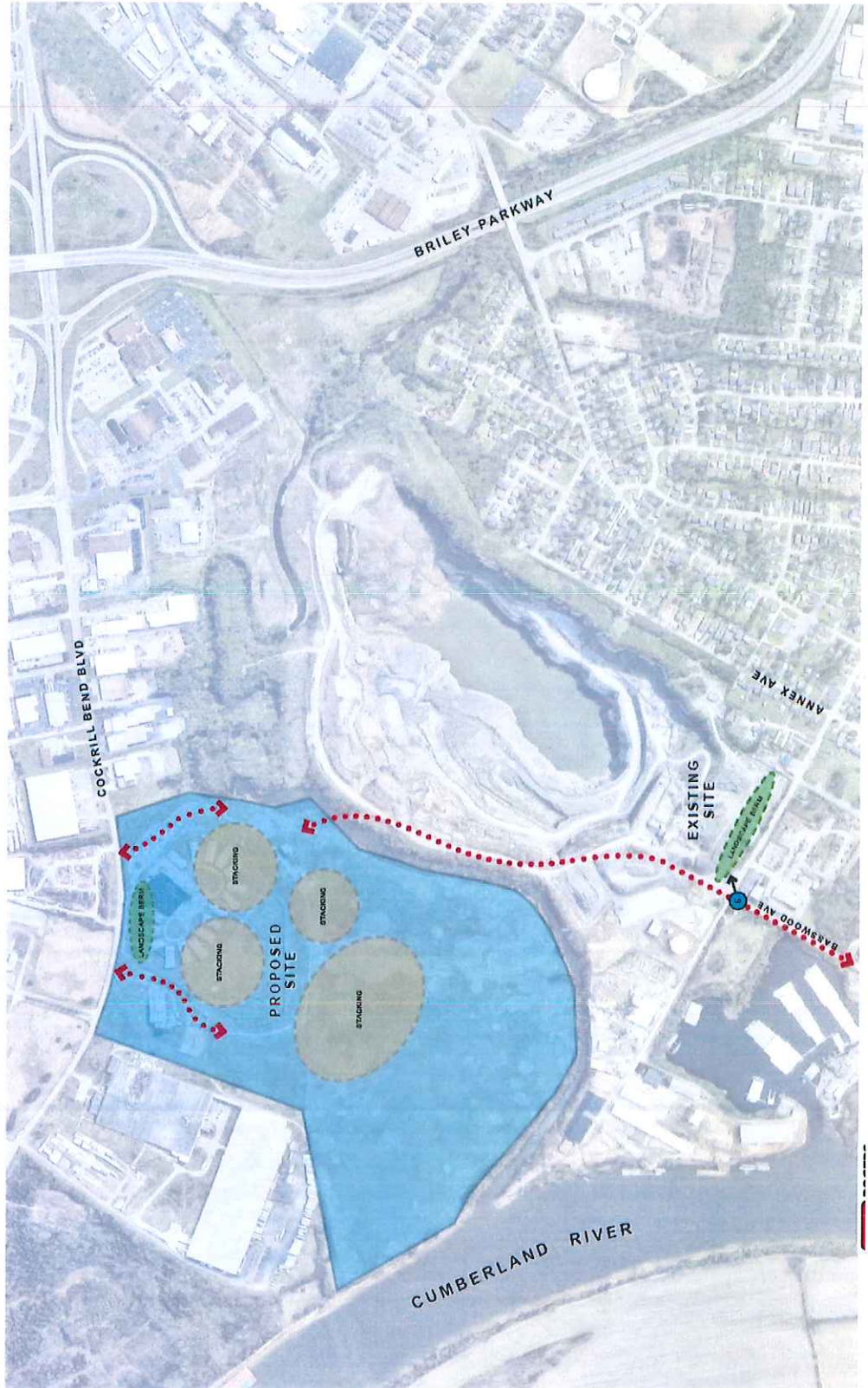
Operations Relocation



Operations Relocation



Operations Relocation

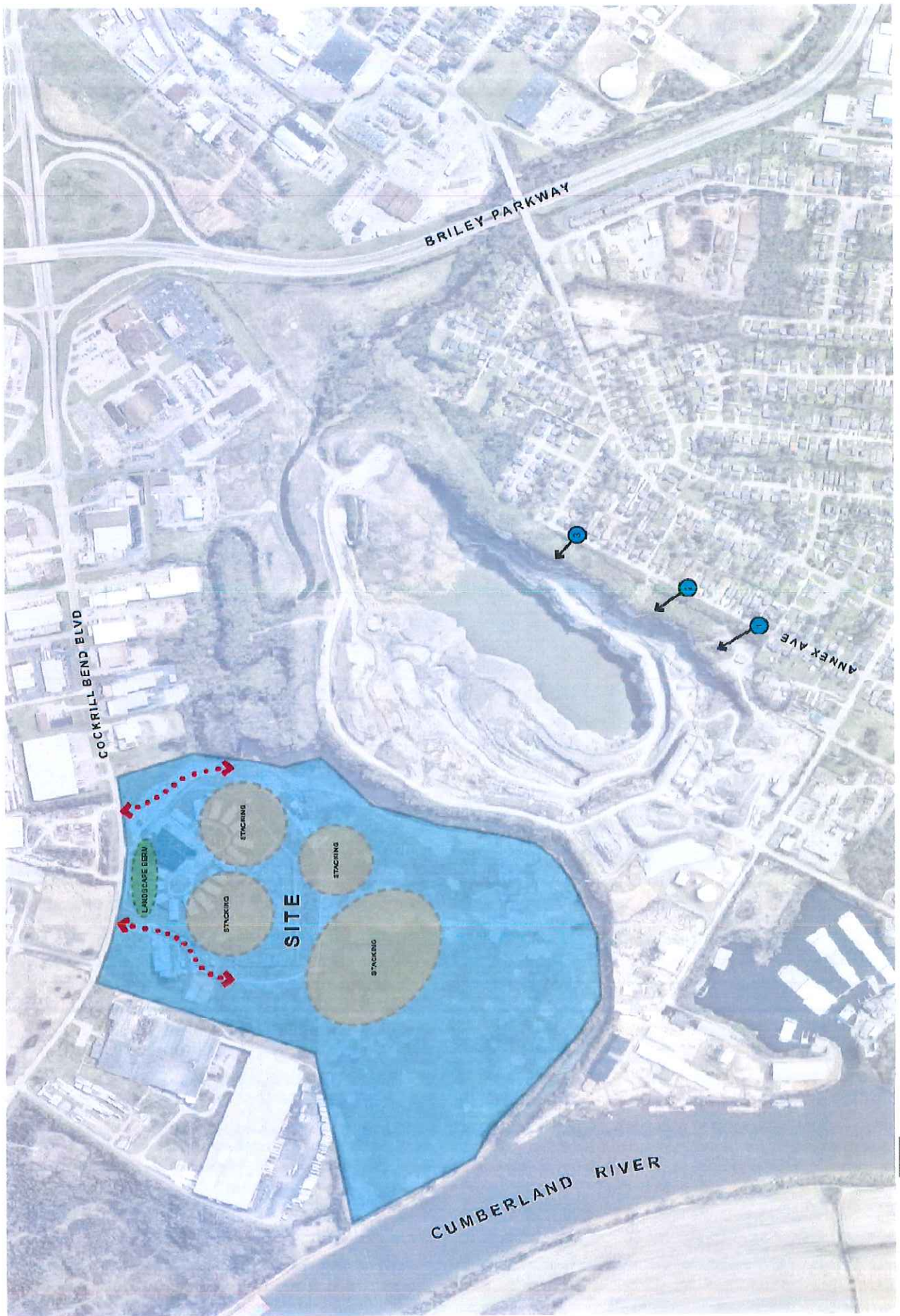


Operations Relocation



Operations Relocation



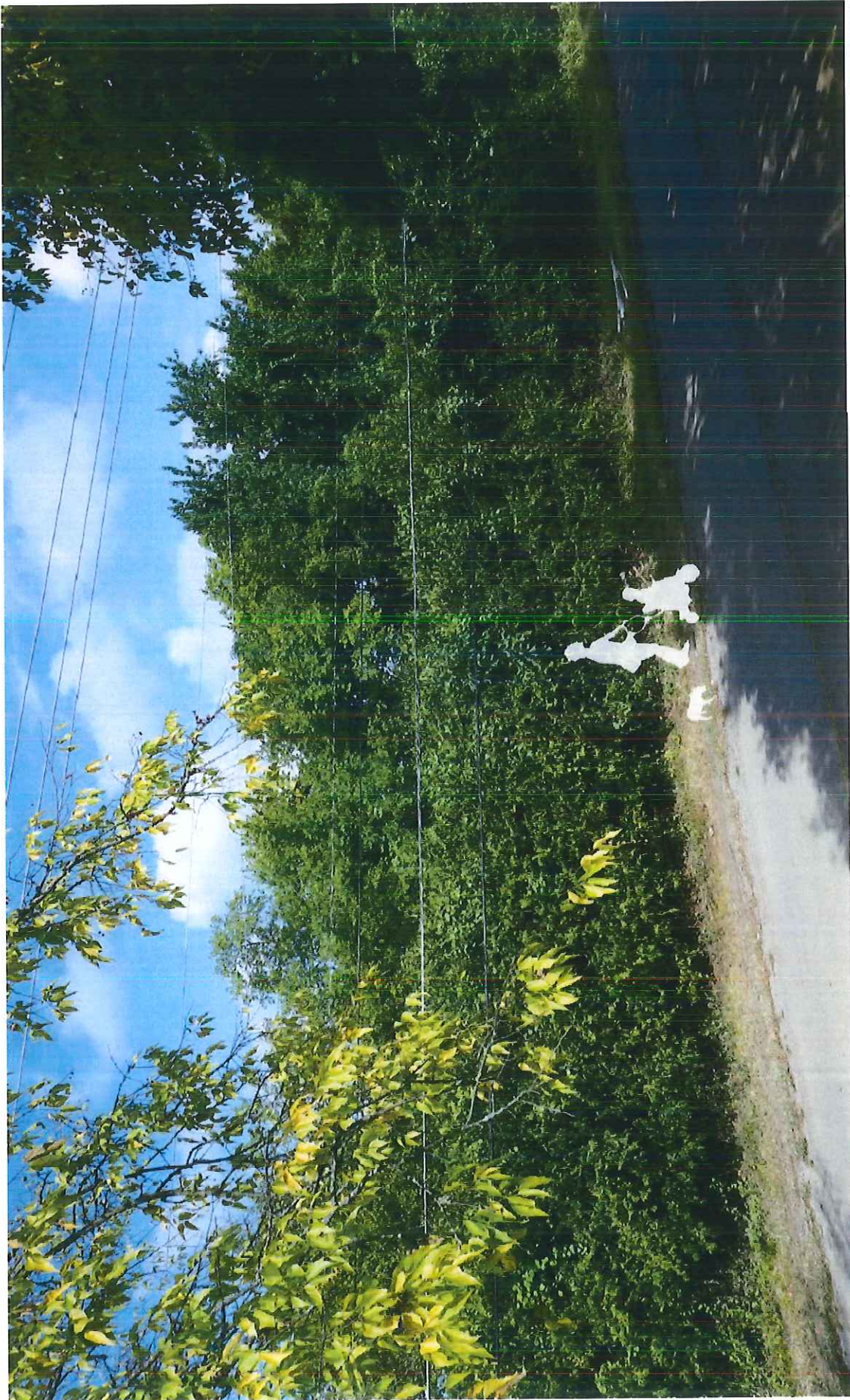




618 ANNEX AVENUE

PICTURE HEIGHT: GROUND LEVEL

NOTE: ALL PHOTO RECORDING EQUIPMENT MUST BE CALIBRATED BY AN NHTSA APPROVED BODY

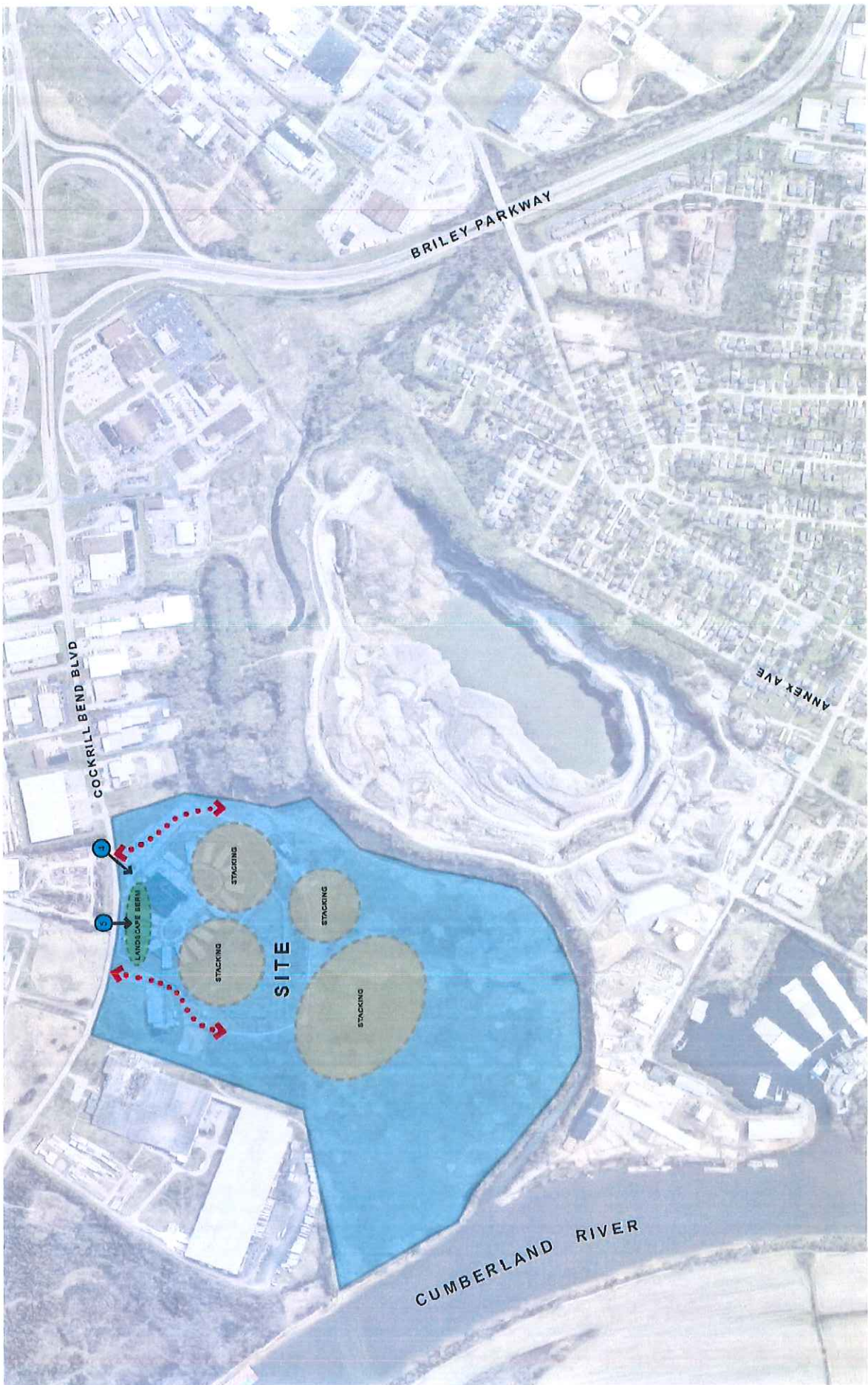


638 ANNEX AVENUE
PICTURE HEIGHT: 2ND STORY LEVEL (4'-7" - 15 FEET)
NOTE: LOCATION INDICATED BY ELECTRIC METER COVER AND METERS COVER FROM PHOTOGRAPH





678 ANNEX AVENUE
PICTURE HEIGHT: 2nd STORY LEVEL (-/-, 15 FEET)
NOTE: LOCATIONS OF PLANTINGS ARE CURRENTLY UNDETERMINED





COCKFIELD BEND BOULEVARD
PICTURE HEIGHT: GROUND LEVEL
EPCOR 340 960 0000 / 111 222 2222 / 111 2222 2222





COCKRILL BEND BOULEVARD
PERSPECTIVE HEIGHT: GROUND LEVEL
NOTE: THE PLANTINGS IS CONCEPTUAL IN NATURE

Underground Operations



Recostone Quarry

Google Earth

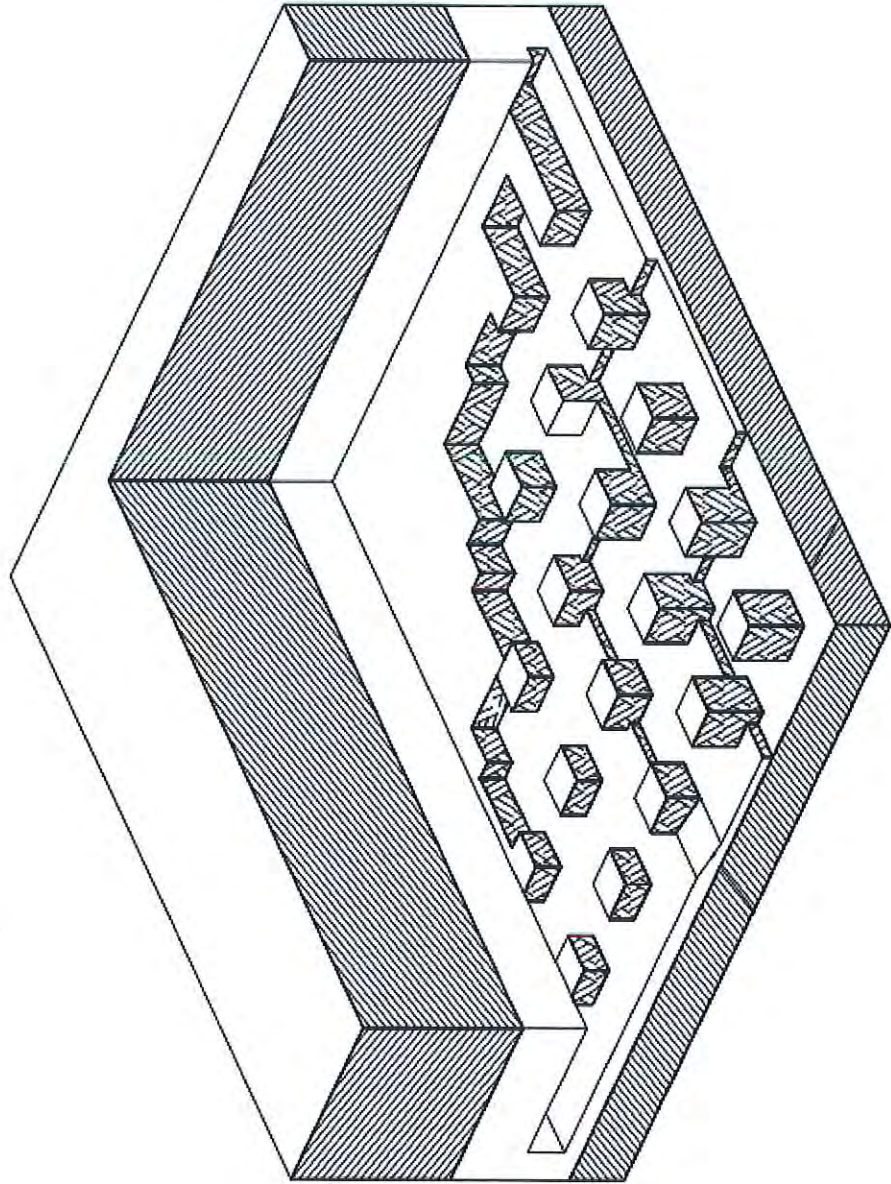
Image Landsat / Satellites
© 2018 Google

Preliminary Underground Layout

Level 1



Room and Pillar Mining







Benefits

- Redirect industrial truck traffic off of Robertson Rd.
- Relocation of industrial processing operations away from residential neighborhood to industrial property.
- Significant Reductions of:
 - Vibration
 - Noise
 - Dust
- Aesthetic improvements to current REOSTONE site.

Robertson Road Residents' Benefits



AIR PRESSURE BLASTING NOISE

89%

GROUND VIBRATION

95%

TRAFFIC

1,000

truck

trips per

day



Questions and Conversation



From: Mary Carolyn Roberts <marycarolynroberts@gmail.com>
Date: December 16, 2018 at 5:27:49 PM CST
To: Emily Lamb <emily.lamb@nashville.gov>, "Herbert, Bill (Codes)" <bill.herbert@nashville.gov>, Jon Michael <jon.michael@nashville.gov>
Subject: 2018-715

Dear Members of the BZA,

Case 2018-715, a special exception request for mineral extraction in my district, will be before you this Thursday, December 20th.

While I intend to speak in favor during the hearing, I am also putting my strongest possible support for this application in writing as well.

It gives me great pleasure to see this project before the BZA, as it is the first step towards significant quality of life improvements for the Robertson and Charlotte Park neighborhoods in my district. I have envisioned this type of relief for my constituents since knocking on doors in 2010.

If granted, this special exception will permit the Rogers Group to move mining operations underground and phase out their current "open pit" quarry. This will move industrial uses further away from the neighborhood and result in smaller blasts, less dust, less vibration and fewer disturbances for the residents of my district. Most critically, included in this plan is a commitment from the Rogers Group to construct an industrial bypass road and internal bridge that will re-route heavy truck traffic and remove up to 1,000 truck trips per day from my neighborhood roads.

I'd also like to comment on the community input that Rogers Group has sought out during the process of redesigning their quarry site. Executives and engineering professionals from Rogers met with my constituents and me on numerous occasions, in large and small groups, both before and after this application was submitted to the BZA. This includes four public meetings at West Police Precinct since October. All were publicized in advance, including on neighborhood listservs, and the media attended and reported on two of those meetings. Significant numbers of my constituents attended.

This project is a true win-win – for both the community, and all the industrial businesses (not only the Rogers Group) that will get their goods to market faster — and away from the neighborhood — via the new Cockrill Bend Boulevard to Briley Parkway access route. These commitments from Rogers Group can be seen as a model of good public-private partnership.

I appreciate your service to our city and urge you to grant this very important BZA request.

Sincerely,

Mary Carolyn Roberts
Council Member, District 20

Metropolitan Council of Nashville-Davidson County



Mary Carolyn Roberts
Village Real Estate
615-977-9262 (c)
615-383-6964 (w)
Metro Council, District 20

James
Robertson
Neighborhood
Association

December 17, 2018

Metro Nashville Board of Zoning Appeals
700 Second Avenue South
Nashville, TN 37210

RE: Support for Special Exception Case 2018-715 (Reostone Quarry/Rogers Group)

Dear Board of Zoning Appeals Members:

I am writing to express the support that the neighbors of the James Robertson Neighborhood Association (JRNA) have for Reostone's request for a special exception. JRNA represents the neighbors who live in the area of Robertson Avenue. This area includes the Reostone quarry.

Representatives of Reostone and Rogers Group met with JRNA and explained their plan to move mining operations underground and further away from the neighbors and to build a bridge that would reroute the multitude of dump trucks away from Robertson Avenue. JRNA supports this proposal because it will improve the quality of life of the neighbors who live in the Robertson Avenue area, especially the neighbors who live along Robertson Avenue itself.

JRNA supports this request for a special exception and hopes that you will approve it.

Regards,



Fred C. Pickney
President
James Robertson Neighborhood Association

December 17, 2018

REOSTONE RECONFIGURATION COMMUNITY ENGAGEMENT REPORT

In relation to Case 2018-715, a special exception request for mineral extraction on the former C. H. Bass prison property at 7177 Cockrill Bend Boulevard in Nashville, applicant Rogers Group, Inc. has undertaken significant community engagement activities to inform, explain, and respond to questions related to the BZA request. This letter summarizes these efforts.

Community Outreach Meetings

During the period from October until present, Rogers Group has held a series of public and private meetings with stakeholders and neighbors in the affected communities and beyond. They are as follows:

1. *Meeting with President of James Robertson Neighborhood Association (JRNA) at Blue Moon Waterfront Grille, 525 Basswood Drive, on October 3, 2018*

This meeting occurred prior to any submission to the BZA. Rogers Group, Inc. (RGI) executives presented the details of the plan in a private meeting with CM Mary Carolyn Roberts and JRNA President Fred Pickney. Specifics of the quarry's plan were discussed at length. The meeting lasted approximately 90 minutes. Mr. Pickney and RGI agreed on October 18 for RGI to present its plan to the entire JRNA.

2. *Community Meeting with the James Robertson Neighborhood Association on October 18, 2018 at West Police Precinct, 5500 Charlotte Pike.*

After an introduction by CM Mary Carolyn Roberts, RGI Vice President Bryan Ledford presented to the JRNA neighborhood for approximately 40 minutes. About 35 residents were in attendance and the meeting was publicized via neighborhood email lists and social media. Dozens of questions from the neighborhood were answered. As reported by the *Tennessean*, RGI's quarry reconfiguration and truck removal plan was met with applause and cheers from residents.

3. *Community Meeting with the Charlotte Park Neighborhood Association on October 25, 2018 at West Police Precinct, 5500 Charlotte Pike.*

Similar to the JRNA meeting a week earlier, after an introduction by CM Mary Carolyn Roberts, RGI Vice President Bryan Ledford presented for approximately 45 minutes. About 30 residents were in attendance. This meeting was covered by NewsChannel 5 and had been publicized via neighborhood listservs.

4. *Public Meeting on December 10, 2018 at West Police Precinct, 5500 Charlotte Pike.*

This meeting was held as a formal public meeting per BZA requirements. It was notified via first-class mail to property owners within the radius proscribed by Codes. Neighbors were also invited via door-to-door canvassing along Robertson Avenue and nearby side streets. The meeting information also appeared in emails from the JRNA listserv, Councilmember Kathleen Murphy's "Murphy for Metro" email list, and the Richland Creek Watershed Association's email distribution list. About 60 people attended, including NewsChannel 5 and WKRN 2 (ABC). CM Roberts gave opening remarks, followed by RGI's presentation that lasted about 30 minutes, then a question-and-answer period of approximately 50 minutes. Experts on-hand included certified hydrologist and geologist David Jackson, of BDY Inc. Several neighbors requested copies of technical reports; all requests were met within four days. A follow-up meeting was announced for Sunday, December 16.

5. *Public Meeting on December 16, 2018 at West Police Precinct, 5500 Charlotte Pike.*

The follow-up meeting was a sparsely attended informal gathering. In addition to the Council Member, geologist David Jackson, and RGI personnel, two proponents and one opponent attended; the opponent asked questions for nearly one hour. At the conclusion, the opponent said she was comfortable with the project and would not oppose. No further meetings were announced.

Door-to-Door Canvassing Activities

Rogers Group, Inc. retained a Nashville-based company specializing in grassroots outreach to execute a "field canvass" program for the purpose of educating and informing neighbors about the Special Exception request. Throughout the month of December, the team knocked on doors in the Robertson neighborhood and surrounding environs. The details of the canvass are as follows:

- **267 owner-occupied residential parcels** on Robertson Avenue and nearby side streets were door-knocked.
- In addition, where accessible, parcels from a list of **247 tenant-occupied and non-residential** were canvassed.

All canvassers were professionally trained and carried “leave-behind” literature with a map of the proposal and pertinent information. Each contained a comment card that solicited questions or comments.

At the conclusion of the canvass program, all residents registering an opinion indicated they were supportive of the plan. (No one was opposed.) Several were willing to sign support cards to petition in favor of the project. The names and addresses of the signers are provided under separate cover.

Direct Mail

For residents living outside the Robertson Avenue area or unable to be reached by the canvass team, **1648 homes** in the Robertson and Charlotte Park received a piece of mail in the week preceding the BZA hearing. The mail piece explained the project in some detail and contained a map of the planned truck route and BZA-requested mining area. On the reverse was a letter from RGI encouraging neighbors to attend the BZA and asking for their support.

Summary

By any standard, Rogers Group, Inc. has engaged in genuine community outreach prior to the consideration of the aforementioned special exception request at the BZA. The company has held four public meetings—and offered to sit down for several additional meetings, including with the Richland Creek Watershed Association as early as October. They have also attempted to engage with over 500 neighbors at doorsteps and via 1,648 pieces of direct mail. *Every resident* of Charlotte Park or Robertson providing feedback on the project has expressed support; several of these comments of support have been recorded and are submitted separately.

I Support the Reostone Quarry Site Changes

Name Bladys Furlough

Email _____

Street Address 6406 Futura Dr. nash.
Tn.

I can attend Monday, Dec. 10 community meeting
 Thursday, Dec. 20 BZA hearing

PLACE
STAMP
HERE

IF YOU CAN, PLEASE SHARE A COMMENT:

I appreciate that you are changing
the rock quarry traffic.

Reostone Quarry
Rogers Group Inc.
Attn: Bryan Ledford, VP
2124 Nashville Pike
Gallatin, TN 37066

Bladys Furlough (615) 494-5966
Signature Phone

I Support the Reostone Quarry Site Changes

Name Jordan Brunelle

Email jrichardbrunelle@gmail.com

Street Address 6410 Futura Dr NASHVILLE

I can attend Monday, Dec. 10 community meeting
 Thursday, Dec. 20 BZA hearing

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IF YOU CAN, PLEASE SHARE A COMMENT:

Reostone Quarry
Rogers Group Inc.
Attn: Bryan Ledford, VP
2124 Nashville Pike
Gallatin, TN 37066

Jordan Brunelle (570) 506 3550
Signature Phone

I Support the Reostone Quarry Site Changes

PLACE
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Name Sharon Downing

Email shaydoug@bellsouth.net

Street Address 6409 Henry Ford Dr.

I can attend Monday, Dec. 10 community meeting
 Thursday, Dec. 20 BZA hearing

IF YOU CAN, PLEASE SHARE A COMMENT:

Reostone Quarry
Rogers Group Inc.
Attn: Bryan Ledford, VP
2124 Nashville Pike
Gallatin, TN 37066

Sharon Downing (415) 356-8577
Signature Phone

I Support the Reostone Quarry Site Changes

PLACE
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HERE

Name Melissa Bradley

Email melb68@hotmail.com

Street Address 4411 Henry Ford Dr.

I can attend Monday, Dec. 10 community meeting
 Thursday, Dec. 20 BZA hearing

IF YOU CAN, PLEASE SHARE A COMMENT:

Reostone Quarry
Rogers Group Inc.
Attn: Bryan Ledford, VP
2124 Nashville Pike
Gallatin, TN 37066

MP (415) 352-1047
Signature Phone

I Support the Reostone Quarry Site Changes

PLACE STAMP HERE

Name Myl Pac

Email Myl Pac 03@gmail.com

Street Address 6407 Henry Ford Dr

I can attend Monday, Dec. 10 community meeting
 Thursday, Dec. 20 BZA hearing

IF YOU CAN, PLEASE SHARE A COMMENT:

I Support the zoning. It would
be ~~wondering~~ wonderful to
see the trucks removed from
Robertson Ave

Myl Pac
Signature

(615) 972-9995
Phone

Reostone Quarry
Rogers Group Inc.
Attn: Bryan Ledford, VP
2124 Nashville Pike
Gallatin, TN 37066

I Support the Reostone Quarry Site Changes

PLACE STAMP HERE

Name Kenny Smith

Email _____

Street Address 6200 Laramie Ave.

I can attend Monday, Dec. 10 community meeting
 Thursday, Dec. 20 BZA hearing

IF YOU CAN, PLEASE SHARE A COMMENT:

traffic

Kenneth Smith
Signature

(615) 352-3964
Phone

Reostone Quarry
Rogers Group Inc.
Attn: Bryan Ledford, VP
2124 Nashville Pike
Gallatin, TN 37066

I Support the Reostone Quarry Site Changes

Name Raymond Harris

Email _____

Street Address 6222 Laredo Ave

- I can attend Monday, Dec. 10 community meeting
- Thursday, Dec. 20 BZA hearing

IF YOU CAN, PLEASE SHARE A COMMENT:

Less Traffic

[Signature] (615) 926-5765
 Signature Phone

PLACE STAMP HERE

Reostone Quarry
 Rogers Group Inc.
 Attn: Bryan Ledford, VP
 2124 Nashville Pike
 Gallatin, TN 37066

I Support the Reostone Quarry Site Changes

Name Willis Hatcher

Email _____

Street Address 6206 Laredo Ave.

- I can attend Monday, Dec. 10 community meeting
- Thursday, Dec. 20 BZA hearing

IF YOU CAN, PLEASE SHARE A COMMENT:

Less traffic

[Signature] (615) 356-6972
 Signature Phone

PLACE STAMP HERE

Reostone Quarry
 Rogers Group Inc.
 Attn: Bryan Ledford, VP
 2124 Nashville Pike
 Gallatin, TN 37066

I Support the Reostone Quarry Site Changes

Name Sean Ballard

Email sth.futura@aol.com

Street Address 6415 Futura Ct.

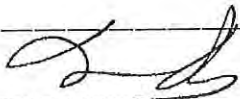
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I can attend Monday, Dec. 10 community meeting
 Thursday, Dec. 20 BZA hearing

IF YOU CAN, PLEASE SHARE A COMMENT:

We would like ~~to~~ to have
the dump trucks to be
routed to a different direction

Reostone Quarry
Rogers Group Inc.
Attn: Bryan Ledford, VP
2124 Nashville Pike
Gallatin, TN 37066



Signature

(615) 456-9308

Phone

I Support the Reostone Quarry Site Changes

Name Mary C. Tanksey

Email mtanksey@gmail.com

Street Address 516 Foundry Drive
37909

PLACE
STAMP
HERE

I can attend Monday, Dec. 10 community meeting
 Thursday, Dec. 20 BZA hearing

IF YOU CAN, PLEASE SHARE A COMMENT:

Reostone Quarry
Rogers Group Inc.
Attn: Bryan Ledford, VP
2124 Nashville Pike
Gallatin, TN 37066



Signature

()

Phone

I Support the Reostone Quarry Site Changes

Name Erica Shaw

Email Cupcake033090@yahoo.com

Street Address 505 Foundry Dr. Nashville, TN 37209

PLACE
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HERE

I can attend Monday, Dec. 10 community meeting
 Thursday, Dec. 20 BZA hearing

IF YOU CAN, PLEASE SHARE A COMMENT:

this quarry is a hassel for my homes
foundation. Also I do not appreciate
the roads being destroyed by
the trucks. I don't like seeing
the dump trucks driving up my
road on foundry either.

Erica Shaw (615) 829-2504

Signature

Phone

Reostone Quarry
Rogers Group Inc.
Attn: Bryan Ledford, VP
2124 Nashville Pike
Gallatin, TN 37066

I Support the Reostone Quarry Site Changes

Name Micah Henley

Email _____

Street Address 6420 A Edsel drive

PLACE
STAMP
HERE

I can attend Monday, Dec. 10 community meeting
 Thursday, Dec. 20 BZA hearing

IF YOU CAN, PLEASE SHARE A COMMENT:

Let's do this! No more destroyed roads and
will prevent car damage

Signature

Phone

Reostone Quarry
Rogers Group Inc.
Attn: Bryan Ledford, VP
2124 Nashville Pike
Gallatin, TN 37066

I Support the Reostone Quarry Site Changes

PLACE
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HERE

Name Michael Allen
Email zoesdad0814@yahoo.com
Street Address 6418 Edsel DC

I can attend Monday, Dec. 10 community meeting
 Thursday, Dec. 20 BZA hearing

IF YOU CAN, PLEASE SHARE A COMMENT:

Michael Allen (615) 878-9592
Signature Phone

Reostone Quarry
Rogers Group Inc.
Attn: Bryan Ledford, VP
2124 Nashville Pike
Gallatin, TN 37066

I Support the Reostone Quarry Site Changes

PLACE
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Name CAROL Ann Todd
Email _____
Street Address 6408 Futura

I can attend Monday, Dec. 10 community meeting
 Thursday, Dec. 20 BZA hearing

IF YOU CAN, PLEASE SHARE A COMMENT:

it will be good for the
neighborhood.

Carol Todd (506) 4906
Signature Phone

Reostone Quarry
Rogers Group Inc.
Attn: Bryan Ledford, VP
2124 Nashville Pike
Gallatin, TN 37066

I Support the Reostone Quarry Site Changes

Name Myra A. Smith

Email _____

Street Address 6200 Laramie Ave.

I can attend Monday, Dec. 10 community meeting
 Thursday, Dec. 20 BZA hearing

IF YOU CAN, PLEASE SHARE A COMMENT:

Less traffic on Robertson Rd.

Myra Smith (615) 972-8701
Signature Phone

PLACE
STAMP
HERE

Reostone Quarry
Rogers Group Inc.
Attn: Bryan Ledford, VP
2124 Nashville Pike
Gallatin, TN 37066

I Support the Reostone Quarry Site Changes

Name Nelson Hernandez

Email _____

Street Address 525 FOUNDRY DR NASHVILLE TN
37209

I can attend Monday, Dec. 10 community meeting
 Thursday, Dec. 20 BZA hearing

IF YOU CAN, PLEASE SHARE A COMMENT:

Nelson H () _____
Signature Phone

PLACE
STAMP
HERE

Reostone Quarry
Rogers Group Inc.
Attn: Bryan Ledford, VP
2124 Nashville Pike
Gallatin, TN 37066

I Support the Reostone Quarry Site Changes

Name Billie Upchurch

Email _____

Street Address 6408 Futura

PLACE
STAMP
HERE

I can attend Monday, Dec. 10 community meeting
 Thursday, Dec. 20 BZA hearing

IF YOU CAN, PLEASE SHARE A COMMENT:

Definitely would like trucks off
Robertson Road

Reostone Quarry
Rogers Group Inc.
Attn: Bryan Ledford, VP
2124 Nashville Pike
Gallatin, TN 37066

Billie Upchurch (615) 5064906
Signature Phone

I Support the Reostone Quarry Site Changes

Name LISA Brown

Email _____

Street Address 633 James Ave

PLACE
STAMP
HERE

I can attend Monday, Dec. 10 community meeting
 Thursday, Dec. 20 BZA hearing

IF YOU CAN, PLEASE SHARE A COMMENT:

Reostone Quarry
Rogers Group Inc.
Attn: Bryan Ledford, VP
2124 Nashville Pike
Gallatin, TN 37066

Lisa Brown (615) 589-1956
Signature Phone

I Support the Reostone Quarry Site Changes

PLACE STAMP HERE

Name Brian Egan

Email _____

Street Address 669 James road

I can attend Monday, Dec. 10 community meeting
 Thursday, Dec. 20 BZA hearing

IF YOU CAN, PLEASE SHARE A COMMENT:

Reostone Quarry
Rogers Group Inc.
Attn: Bryan Ledford, VP
2124 Nashville Pike
Gallatin, TN 37066

Brian Egan (615) 542-1428
Signature Phone

I Support the Reostone Quarry Site Changes

PLACE STAMP HERE

Name Cynthia C Smith

Email _____

Street Address 617 James Ave Nash TN
37209

I can attend Monday, Dec. 10 community meeting
 Thursday, Dec. 20 BZA hearing

IF YOU CAN, PLEASE SHARE A COMMENT:

Reostone Quarry
Rogers Group Inc.
Attn: Bryan Ledford, VP
2124 Nashville Pike
Gallatin, TN 37066

Cynthia C Smith (615) 566-8293
Signature Phone

I Support the Reostone Quarry Site Changes

Name Zander El-Hindi

Email zanderel5@gmail.com

Street Address 6209 Ceramic Ave

PLACE
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HERE

I can attend Monday, Dec. 10 community meeting
 Thursday, Dec. 20 BZA hearing

IF YOU CAN, PLEASE SHARE A COMMENT:

this needs to happen for the
neighborhood for value & community.
Also, less noise for the neighborhood

Reostone Quarry
Rogers Group Inc.
Attn: Bryan Ledford, VP
2124 Nashville Pike
Gallatin, TN 37066



Signature

(315) 450-6064

Phone

I Support the Reostone Quarry Site Changes

Name Kara Chambers

Email kcham84@yahoo.com

Street Address 619 Pies Ave #A


PLACE
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HERE

I can attend Monday, Dec. 10 community meeting
 Thursday, Dec. 20 BZA hearing

IF YOU CAN, PLEASE SHARE A COMMENT:

less noise

Reostone Quarry
Rogers Group Inc.
Attn: Bryan Ledford, VP
2124 Nashville Pike
Gallatin, TN 37066



Signature

(314) 371-4139

Phone

PLACE STAMP HERE

I Support the Reostone Quarry Site Changes

Name Anthony Demombreun
Email antfarm1028@gmail.com
Street Address 629 Ries ave. Nashville, 37209

I can attend Monday, Dec. 10 community meeting
 Thursday, Dec. 20 BZA hearing

IF YOU CAN, PLEASE SHARE A COMMENT:

Less environmental damage
Peace and Quiet.

[Signature] (917) 808-9137
Signature Phone

Reostone Quarry
Rogers Group Inc.
Attn: Bryan Ledford, VP
2124 Nashville Pike
Gallatin, TN 37066

PLACE STAMP HERE

I Support the Reostone Quarry Site Changes

Name Teresa Harris
Email _____
Street Address 6202 Laredo Ave

I can attend Monday, Dec. 10 community meeting
 Thursday, Dec. 20 BZA hearing

IF YOU CAN, PLEASE SHARE A COMMENT:

less Traffic

[Signature] (615) 618-0188
Signature Phone

Reostone Quarry
Rogers Group Inc.
Attn: Bryan Ledford, VP
2124 Nashville Pike
Gallatin, TN 37066

I Support the Reostone Quarry Site Changes

PLACE STAMP HERE

Name Denise Ballou

Email _____

Street Address 6606 Ardrey Ave Nashville
37307

I can attend Monday, Dec. 10 community meeting
 Thursday, Dec. 20 BZA hearing

IF YOU CAN, PLEASE SHARE A COMMENT:

[Signature]

() _____
Phone

Reostone Quarry
Rogers Group Inc.
Attn: Bryan Ledford, VP
2124 Nashville Pike
Gallatin, TN 37066

I Support the Reostone Quarry Site Changes

PLACE STAMP HERE

Name Sally Peach

Email _____

Street Address 559 Miller Ave

I can attend Monday, Dec. 10 community meeting
 Thursday, Dec. 20 BZA hearing

IF YOU CAN, PLEASE SHARE A COMMENT:

Sally Peach

() _____
Phone

Reostone Quarry
Rogers Group Inc.
Attn: Bryan Ledford, VP
2124 Nashville Pike
Gallatin, TN 37066

Reostone Quarry
Rogers Group Inc.
Attn: Bryan Ledford, VP
2124 Nashville Pike
Gallatin, TN 37066

Signature _____
Phone _____

IF YOU CAN, PLEASE SHARE A COMMENT:

I can attend Monday, Dec. 10 community meeting
 Thursday, Dec. 20 BZA hearing

Name Daniel Gray
Email danielgray@verizon.net
Street Address 721 Croix Dr.

I Support the Reostone Quarry Site Changes

PLACE
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PLACE
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HERE

I Support the Reostone Quarry Site Changes

Name Stacy Wight
Email Stacydove@msn.com
Street Address 10414 Henry Ford

I can attend Monday, Dec. 10 community meeting
 Thursday, Dec. 20 BZA hearing

IF YOU CAN, PLEASE SHARE A COMMENT:

Reostone Quarry
Rogers Group Inc.
Attn: Bryan Ledford, VP
2124 Nashville Pike
Gallatin, TN 37066

Signature Stacy D. Wight

Phone (615) 815-8417

I Support the Reostone Quarry Site Changes

PLACE
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HERE

Name Lori Smith

Email

Street Address 753 d 23rd st.

I can attend Monday, Dec. 10 community meeting

Thursday, Dec. 20 BZA hearing

IF YOU CAN, PLEASE SHARE A COMMENT:

Lori Smith

Signature

(615) 512-8173

Phone

Reostone Quarry
Rogers Group Inc.
Attn: Bryan Ledford, VP
2124 Nashville Pike
Gallatin, TN 37066

I Support the Reostone Quarry Site Changes

PLACE
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HERE

Name Ronald Williams

Email

Street Address 617 JAMES AVE

I can attend Monday, Dec. 10 community meeting

Thursday, Dec. 20 BZA hearing

IF YOU CAN, PLEASE SHARE A COMMENT:

Ronald Williams ()

Signature

Phone

Reostone Quarry
Rogers Group Inc.
Attn: Bryan Ledford, VP
2124 Nashville Pike
Gallatin, TN 37066

I Support the Reostone Quarry Site Changes

Name Hugh B. Bator

Email hbbator90@gmail.com

Street Address 632 AAINEX

PLACE STAMP HERE

I can attend Monday, Dec. 10 community meeting

Thursday, Dec. 20 BZA hearing

IF YOU CAN, PLEASE SHARE A COMMENT:

Reostone Quarry
Rogers Group Inc.
Attn: Bryan Ledford, VP
2124 Nashville Pike
Gallatin, TN 37066

Hugh B. Bator () _____
Signature Phone

I Support the Reostone Quarry Site Changes

Name Daniel Matthews

Email _____

Street Address 709 23RD ST

PLACE STAMP HERE

I can attend Monday, Dec. 10 community meeting

Thursday, Dec. 20 BZA hearing

IF YOU CAN, PLEASE SHARE A COMMENT:

Reostone Quarry
Rogers Group Inc.
Attn: Bryan Ledford, VP
2124 Nashville Pike
Gallatin, TN 37066

Daniel Matthews (615) 582-7115
Signature Phone

I Support the Reostone Quarry Site Changes

PLACE
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HERE

Name Yolanda Lucio

Email _____

Street Address 649 James 649-A

I can attend Monday, Dec. 10 community meeting
 Thursday, Dec. 20 BZA hearing

IF YOU CAN, PLEASE SHARE A COMMENT:

Yolanda Lucio (_____) _____
Signature Phone

Reostone Quarry
Rogers Group Inc.
Attn: Bryan Ledford, VP
2124 Nashville Pike
Gallatin, TN 37066

I Support the Reostone Quarry Site Changes

PLACE
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HERE

Name Laura Nielsen

Email nielsen.le@gmail.com

Street Address 715 23rd St. Nashville

I can attend Monday, Dec. 10 community meeting
 Thursday, Dec. 20 BZA hearing

IF YOU CAN, PLEASE SHARE A COMMENT:

Laura Nielsen (_____) _____
Signature Phone

Reostone Quarry
Rogers Group Inc.
Attn: Bryan Ledford, VP
2124 Nashville Pike
Gallatin, TN 37066

I Support the Reostone Quarry Site Changes

w

PLACE STAMP HERE

Name Celia Parry
Email 708 2300 54
Street Address Nash 37209

I can attend Monday, Dec. 10 community meeting
 Thursday, Dec. 20 BZA hearing

IF YOU CAN, PLEASE SHARE A COMMENT:

Reostone Quarry
Rogers Group Inc.
Attn: Bryan Ledford, VP
2124 Nashville Pike
Gallatin, TN 37066

Celia Parry ()
Signature Phone

I Support the Reostone Quarry Site Changes

PLACE STAMP HERE

Name Stephanie Ross
Email SROSS1025@gmail.com
Street Address 6018 A ROS AVE

I can attend Monday, Dec. 10 community meeting
 Thursday, Dec. 20 BZA hearing

IF YOU CAN, PLEASE SHARE A COMMENT:

Reostone Quarry
Rogers Group Inc.
Attn: Bryan Ledford, VP
2124 Nashville Pike
Gallatin, TN 37066

Stephanie Ross ()
Signature Phone

I Support the Reostone Quarry Site Changes

Name William Perry

Email _____

Street Address 734 23th St.

PLACE
STAMP
HERE

I can attend Monday, Dec. 10 community meeting
 Thursday, Dec. 20 BZA hearing

IF YOU CAN, PLEASE SHARE A COMMENT:

William Perry
Signature

() _____
Phone

Reostone Quarry
Rogers Group Inc.
Attn: Bryan Ledford, VP
2124 Nashville Pike
Gallatin, TN 37066

I Support the Reostone Quarry Site Changes

Name Stephen Daniel

Email _____

Street Address 643 B James Ave

PLACE
STAMP
HERE

I can attend Monday, Dec. 10 community meeting
 Thursday, Dec. 20 BZA hearing

IF YOU CAN, PLEASE SHARE A COMMENT:

Stephen Daniel
Signature

(615) 416-2173
Phone

Reostone Quarry
Rogers Group Inc.
Attn: Bryan Ledford, VP
2124 Nashville Pike
Gallatin, TN 37066

REOSTONE PUBLIC MEETING - QUESTION AND COMMENT FORM

Name Steve Lynd

Street Address 403 River Rouge Ct

Email _____

Do you live in Robertson or Charlotte Park Neighborhoods (Y/N)? _____

PLEASE SHARE A QUESTION/COMMENT. ROGERS GROUP WILL RESPOND DIRECTLY BY EMAIL OR PHONE.

Like to see all commercial trucks off of Robertson Avenue

Steve Lynd _____ (____) _____
Signature Phone

I Support the Reostone Quarry Site Change

Name Bobby Parker

Email _____

Street Address 735 Urdy Dr. APT. A

I can attend Monday, Dec. 10 community meeting
 Thursday, Dec. 20 BZA hearing

IF YOU CAN, PLEASE SHARE A COMMENT:

PLACE
STAMP
HERE

Reostone Quarry
Rogers Group Inc.
Attn: Bryan Ledford, VP
2124 Nashville Pike
Gallatin, TN 37066

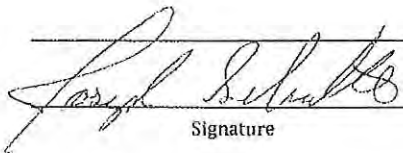
Bobby Parker _____ (818) 778-0945
Signature Phone

REOSTONE PUBLIC MEETING - QUESTION AND COMMENT FORM

Name Joseph SchulteStreet Address 506A Nichol RdEmail josephschulte@gmail.comDo you live in Robertson or Charlotte Park Neighborhoods (Y/N)? Y

PLEASE SHARE A QUESTION/COMMENT. ROGERS GROUP WILL RESPOND DIRECTLY BY EMAIL OR PHONE.

I want to offer my full support to this plan. After speaking with many of my neighbors I can say that there is unanimous support among residents of the neighborhood.



Signature

(251) 599-0020

Phone

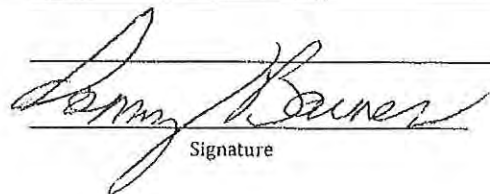
REOSTONE PUBLIC MEETING - QUESTION AND COMMENT FORM

Name Tommy BarnesStreet Address 739 23rd StEmail hinson@comcast.netDo you live in Robertson or Charlotte Park Neighborhoods (Y/N)? Y

PLEASE SHARE A QUESTION/COMMENT. ROGERS GROUP WILL RESPOND DIRECTLY BY EMAIL OR PHONE.

I THINK IT IS GOOD FOR THE NEIGHBORHOOD. I WILL GET RID OF THE TRUCK TRAFFIC ON ROBERTSON BLVD.

ALSO IT WON'T SHAKE MY HOUSE AS MUCH WHEN THEY BLAST. THE DUST WILL BE REDUCED SO THAT PEOPLE WHO ARE HAVING PROBLEMS BREATHING WILL BE BETTER OFF.



Signature

(615) 356-8548

Phone

**AFFIDAVIT OF KEVIN GANGAWARE
CIVIL SITE DESIGN
CONFIRMING COMPLIANCE WITH VARIOUS SPECIFIC CONDITIONS IN THE
ZONING CODE RELATIVE TO A MINERAL EXTRACTION SPECIAL EXCEPTION**

STATE OF TENNESSEE)
COUNTY OF DAVIDSON)

I, Kevin Gangaware, having been duly sworn, do hereby affirm the following:

1. I am over the age of 18 years and competent to testify to the matters herein.
2. I am a professional engineer and an employee of Civil Site Design Group, PLLC.
3. I have worked as an engineer for 30 years and I currently serve as managing principal of Civil Site Design Group, PLLC.
4. I graduated from the University of Tennessee – Knoxville with a Bachelor of Science in Civil Engineering and became a professional engineer in Tennessee in 1990.
5. Civil Site has reviewed the parcel data provided on the Metro Mapping GIS website and can confirm the property exceeds 100 acres as required pursuant to Metropolitan Code Section 17.16.230 (B)(1).
6. Civil Site prepared a site plan to reflect compliance with the 250 foot required setback and non-disturbed buffer for the “mineral extraction” activity which will occur below ground as required by Metropolitan Code Section 17.16.230 (B)(5) and (7).
7. Civil Site confirmed via reasonable and normal efforts that the site is zoned IR and therefore the requirements in Metropolitan Code Section 17.16.230 (B)(3) and (4) are inapplicable.
8. Civil Site has met with Rogers Group and has reviewed the site plan. Based on the fact that there will be a significant buffer along the road, and the mineral extraction will occur underground, Civil Site can confirm compliance with the operational


performance standards in 17.28 of the code which Rogers Group already complies with and will comply with in this particular case.

FURTHER AFFIANT SAITH NOT.

[Signature page follows.]

IN WITNESS WHEREOF, the undersigned has executed this instrument this 14 day of December, 2018.

CIVIL SITE DESIGN GROUP, PLLC



Kevin Gangaware
Managing Principal

STATE OF TENNESSEE)
COUNTY OF DAVIDSON)

Before me, the undersigned, a Notary Public in and for the County and State aforesaid, personally appeared Kevin Gangaware, with whom I am personally acquainted (or proved to me on the basis of satisfactory evidence), and who upon oath acknowledged himself to be the Managing Principal of Civil Site Design, and that as such, being authorized so to do, executed the foregoing instrument for the purposes therein contained.

Witness my hand and seal, at office in Nashville, this the 14th day of December, 2018.





Notary Public

My Commission Expires: 9/20/20



- LEGEND**
- Aggregate Crushing, Screening & Stockpiling
 - Landscape, Screening & Earthen Berming
 - Type B Buffer - 20' Wide
 - 75' Floodway Buffer
 - Floodway Zone

SITE DESIGN

The purpose of this functional diagram is to convey the area associated with the proposed aggregate crushing, screening, and stockpiling activities. In addition to meeting the intent of Metro Nashville regulations and guidelines, this project shall ensure the following:

- The special exception request for mineral extraction is limited to underground mining. No open pit or surface mining will occur. The setbacks required for the special exception will apply below ground as the aboveground uses are at least permitted with conditions in the zoning ordinance.
- Surface and above ground operations shall consist of non-hazardous aggregate crushing, screening & stockpiling. The site shall be fully designed on site to protect the public health, safety and welfare.
- Operational and physical character shall not adversely impact existing or adjacent properties including those properties to the north and east.
- Zoning designation shall remain industrial restrictive to ensure compatibility of the proposed site design with respect to specific character and context of adjacent land uses.
- The site shall be fully designed on site to protect the public health, safety and welfare.
- Owner shall provide, install, and maintain a two-hundred (200) foot buffer along Cockrill Bend Blvd. This buffer shall limit vehicular and pedestrian views of aggregate crushing, screening, and stockpiling.
- Owner shall construct a vehicular roadway to connect Cockrill Bend Blvd. to the site.
- The floodplain and floodway information shown on this plan was taken from the U.S. FEMA FIRM 47937C0217H (dated April 5, 2017).

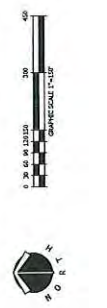
APPLICABILITY TO THE GENERAL PLAN

This property is within the West Nashville Community Planning area adopted June 22, 2015 & amended August 1, 2016. The structure plan for this property identifies this area as D (Industrial).

This plan is consistent with the goals established throughout this policy and also complies with the goals of the West Nashville Community Plan and is a thoughtful design to service the community and region with mineral extraction and aggregate crushing, screening, and stockpiling. The plan is designed to be consistent with the goals and objectives of the plan, but not at the expense of the neighboring properties.

DISCLAIMER

This plan is an illustrative depiction intended to convey the proposed development program and demonstrate the design for aggregate crushing, screening, and stockpiling.



AGGREGATE CRUSHING, SCREENING & STOCKPILING

COCKRILL BEND
Nashville, Davidson County, Tennessee

CIVIL·SITE
ENGINEERS PLANNERS LANDSCAPE ARCHITECTS
3305 Hill Avenue, Suite 300 - Nashville, Tennessee 37211
615.244.9799 www.Civil-Site.com



**AFFIDAVIT OF DAN GOETHEL
ROGERS GROUP VICE PRESIDENT OPERATIONS SERVICE AND SUPPORT
CONCERNING BLASTING REQUIREMENTS FOR THE MINERAL EXTRACTION
SPECIAL EXCEPTION**

STATE OF TENNESSEE)
COUNTY OF DAVIDSON)

I, **Dan Goethel**, having been duly sworn, do hereby affirm the following:

1. I am over the age of 18 years and competent to testify to the matters herein.
2. I am the VP of Operations Service and Support for Rogers Group and as such I oversee blasting operations. I have served in this role for 7 years.
3. I graduated from University of Wisconsin with a Bachelor of Science Degree in Mining Engineering, have been in the aggregate business for 34 years and have worked for Rogers Group for 7 years.
4. I hereby certify that I have read and reviewed the blasting requirements in Metropolitan Code Section 17.16.230 (B)(10) and Rogers Group hereby agrees to comply with these requirements if a special exception is granted.
5. Prior to commencement of operations, the proposed blasting schedule shall be conveyed to every resident living within one-half mile of the proposed blasting site by certified mail and such proof of notification shall be made available for public inspection. Any subsequent change in blasting schedule shall be preceded by a similar notification to the residents and to the zoning administrator;
6. A record of blasting shall be maintained for three years and made available for public inspection. The log shall detail the location of blasts, seismograph readings for each blast, pattern and depth of the drill holes, the amount of explosives used per hole, and the order and length of delay in the blasts;
7. The minimum standards for ground vibration and, airblast overpressure set forth in the Code shall not be exceeded at any time.
8. All blasts shall be monitored by an independent geotechnical expert in the field of seismology using best available current technology in measurement

instrumentation. Such devices shall be placed one each at all four points of the compass surrounding the excavation area. Such monitoring devices shall produce a hard copy record in graph form or equivalent suitable for filing with the department of codes administration as a permanent record. Blasting shall only occur between seven a.m. and seven p.m. Monday through Saturday.

FURTHER AFFIANT SAITH NOT.

[Signature page follows.]

IN WITNESS WHEREOF, the undersigned has executed this instrument this 15th day of December, 2018.

ROGERS GROUP



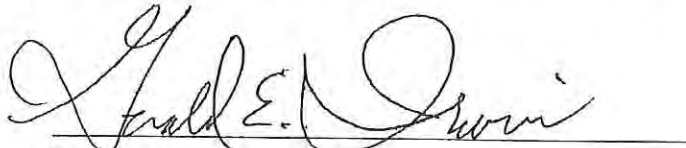
Dan Goethel
Vice President of Operations Services & Support

STATE OF TENNESSEE)

COUNTY OF DAVIDSON)

Before me, the undersigned, a Notary Public in and for the County and State aforesaid, personally appeared Dan Goethel, with whom I am personally acquainted (or proved to me on the basis of satisfactory evidence), and who upon oath acknowledged himself to be the Vice President of Operations Services & Support of Rogers Group, and that as such, being authorized so to do, executed the foregoing instrument for the purposes therein contained.

Witness my hand and seal, at office in MT. JULIET, TN, this the 15th day of December, 2018.


Notary Public

My Commission Expires: 4-27-21

METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY
Planning Department
Metro Office Building
800 Second Avenue South
Nashville, Tennessee 37201
615.862.7150
615.862.7209

Memo

To: Metropolitan Nashville Board of Zoning Appeals
From: Metropolitan Nashville Planning Department
CC: Emily Lamb
Date: December 7, 2018
BZA Hearing Date: December 20, 2018
Re: Planning Department Recommendation for a Special Exception, Case 2018-715

Pursuant to Section 17.40.300 of the Metro Zoning Code, the Metropolitan Planning Department is providing a recommendation on the following Special Exception case:

1. Case 2018-715 (7177 Cockrill Bend Boulevard)

Request: A Special Exception to permit mineral extraction.

Zoning: Industrial Restrictive (IR) is intended for a wide range of light manufacturing uses at moderate intensities within enclosed structures.

Land Use Policy: District Industrial (D-IN) is intended to maintain, enhance, and create Industrial Districts in appropriate locations. The policy creates and enhances areas that are dominated by one or more industrial activities, so that they are strategically located and thoughtfully designed to serve the overall community or region, but not at the expense of the immediate neighbors. Types of uses in D IN areas include non-hazardous manufacturing, distribution centers and mixed business parks containing compatible industrial and non-industrial uses. Uses that support the main activity and contribute to the vitality of the D IN are also found.

Conservation (CO) is intended to preserve environmentally sensitive land features through protection and remediation. CO policy applies in all Transect Categories except T1 Natural, T5 Center, and T6 Downtown. CO policy identifies land with sensitive environmental features including, but not limited to, steep slopes, floodway/floodplains, rare or special plant or animal habitats, wetlands, and unstable or problem soils. The guidance for preserving or enhancing these features varies with what Transect they are in and whether or not they have already been disturbed.

Planning Department Analysis: The Special Exception request is for mineral extraction at property located at 7177 Cockrill Bend Boulevard. Existing conditions include a former correctional facility on a large parcel that consists mostly of vacant land. Surrounding land uses consist primarily of industrial and some commercial with an existing quarry immediately east of the site. Section 17.16.130.D specifies criteria for mineral extraction which is as follows:

Section 17.16.130.D of Metro Zoning Code:

1. **Street Standard.** At a minimum, this use shall have driveway access on a nonresidential collector street as specified in the Major and Collector Street Plan.
2. **Setback.** No mineral extraction activity, including the transport of material extracted, shall occur within five hundred feet of any property line, within one thousand two hundred fifty feet of a residential structure, or within two thousand feet of the property line of a park or community education facility with the exception that residential structures, parks or community education facilities on the opposite side of navigable water ways shall be excluded from the setback requirement.
3. **Landscape Buffer Yard.** Where the site abuts a residential zone district, screening in the form of landscape buffer yard Standard D shall be applied continuously within the setback area required in subdivision 2 of this subsection placed either on the property boundary or along the perimeter of the operation, or both. This screening shall consist of six feet in height densely planted shrubs and/or trees which are of an evergreen type that provide year-round screening, or an opaque wall or barrier of six feet in height. An earthen berm may supplement this screening. All screening shall be maintained in good condition at all times. Areas of hazardous equipment and quarry pits shall be completely enclosed by fencing.
4. **Performance Standards.** The operation shall minimize disturbances and adverse impacts on surrounding lands using best available current technology. The operation shall comply with the performance standards of the industrial zone district regulations and measures shall be taken to control windborne materials in accordance with Section 10.56.190 of the Metropolitan Code. The application shall demonstrate the methodology necessary to ensure that the operation complies with all applicable federal, state and local laws.

The site has access, via an existing drive, to Cockrill Bend Boulevard, which has been designated by the Major and Collector Street Plan as an arterial-boulevard. This proposal meets the setback criteria of Metro Zoning Code as it is located beyond the required distances from residential structures, parks and community education facilities. A landscape buffer is not required due to the site being adjacent to industrial zoning districts with associated industrial uses and not residential zoning districts or residential uses. Adverse impacts of mineral extraction at this location will be minimized since the extraction will occur underground and will be connected to an existing quarry pit located immediately east of the site. Underground portals will extract minerals from the site and relocate them into the adjacent quarry pit to the east.

The existing Industrial Restrictive (IR) zoning district in this location is supported by the District Industrial (D-IN) land use policy area which supports a variety of industrial uses.

Planning Recommendation: Approve.

From: [Lamb, Emily \(Codes\)](#)
To: [Lifsey, Debbie \(Codes\)](#); [Shepherd, Jessica \(Codes\)](#)
Subject: FW: 2018-715
Date: Monday, December 17, 2018 7:38:19 AM

Would one of you please put this in the board packet? Thanks.

Emily Lamb
Metro Codes Department

This email and any files transmitted with it may be confidential and are intended solely for the use of the individual or entity to whom they are addressed. If you are not the intended recipient or the person responsible for delivering the e-mail to the intended recipient, be advised that you have received this communication in error. If you have received this communication in error, please notify the sender immediately and in the interim please do not use, disseminate, forward, print or copy this communication.

From: Mary Carolyn Roberts [mailto:marycarolynroberts@gmail.com]
Sent: Sunday, December 16, 2018 5:28 PM
To: Lamb, Emily (Codes); Herbert, Bill (Codes); Michael, Jon (Codes)
Subject: 2018-715

Attention: This email originated from a source external to Metro Government. Please exercise caution when opening any attachments or links from external sources.

I plan on attending the BZA this Thursday but please pass this letter along on my behalf to the board.

Thank you,
MCR

Dear Members of the BZA,

Case 2018-715, a special exception request for mineral extraction in my district, will be before you this Thursday, December 20th.

While I intend to speak in favor during the hearing, I am also putting my strongest possible support for this application in writing as well.

It gives me great pleasure to see this project before the BZA, as it is the first step towards significant quality of life improvements for the Robertson and Charlotte Park neighborhoods in my district. I have envisioned this type of relief for my constituents since knocking on doors in 2010.

If granted, this special exception will permit the Rogers Group to move mining operations underground and phase out their current "open pit" quarry. This will move industrial uses further away from the neighborhood and result in smaller blasts, less dust, less vibration and fewer disturbances for the residents of my district. Most critically, included in this plan is a commitment from the Rogers Group to construct an industrial bypass road and internal bridge that will re-route heavy truck traffic and remove up to 1,000 truck trips per day from my neighborhood roads.

I'd also like to comment on the community input that Rogers Group has sought out during the process of redesigning their quarry site. Executives and engineering professionals from Rogers met with my constituents and me on numerous occasions, in large and small groups, both before and after this application was submitted to the BZA. This includes four public meetings at West Police Precinct since October. All were publicized in advance, including on neighborhood listservs, and the media attended and reported on two of those meetings. Significant numbers of my constituents attended.

This project is a true win-win – for both the community, and all the industrial businesses (not only the Rogers Group) that will get their goods to market faster — and away from the neighborhood — via the new Cockrill Bend Boulevard to Briley Parkway access route. These commitments from Rogers Group can be seen as a model of good public-private partnership.

I appreciate your service to our city and urge you to grant this very important BZA request.

Sincerely,

Mary Carolyn Roberts
Council Member, District 20
Metropolitan Council of Nashville-Davidson County



Mary Carolyn Roberts
Village Real Estate
615-977-9262 (c)
615-383-6964 (w)
Metro Council, District 20

From: [diflowers](#)
To: [Board of Zoning Appeals \(Codes\)](#)
Subject: Reostone/Rogers Group
Date: Tuesday, December 18, 2018 8:45:12 AM

I want to express approval of the proposed changes for the above referenced project.
Thank you,
Donna Flowers

Sent from my T-Mobile 4G LTE Device



December 17, 2018

Metro Nashville Board of Zoning Appeals
700 Second Avenue South
Nashville, TN 37210

RE: Support for Special Exception Case 2018-715 (Reostone Quarry/Rogers Group)

Dear Board of Zoning Appeals Members:

I am writing to express the support that the neighbors of the James Robertson Neighborhood Association (JRNA) have for Reostone's request for a special exception. JRNA represents the neighbors who live in the area of Robertson Avenue. This area includes the Reostone quarry.

Representatives of Reostone and Rogers Group met with JRNA and explained their plan to move mining operations underground and further away from the neighbors and to build a bridge that would reroute the multitude of dump trucks away from Robertson Avenue. JRNA supports this proposal because it will improve the quality of life of the neighbors who live in the Robertson Avenue area, especially the neighbors who live along Robertson Avenue itself.

JRNA supports this request for a special exception and hopes that you will approve it.

Regards,

A handwritten signature in black ink that reads "Fred Pickney". The signature is written in a cursive, flowing style.

Fred C. Pickney
President
James Robertson Neighborhood Association

From: [Logan Malone](#)
To: [Board of Zoning Appeals \(Codes\)](#)
Subject: Supporting Case # 2018-715
Date: Wednesday, December 5, 2018 10:09:31 AM

I am unable to attend the hearing on December 20, 2018 for case # 2018-715 but my husband and I live on Stevenson, right off of Robertson Rd, and we are both fully in favor of the ReoStone/Rogers Group proposal for a separate bridge to move the industrial traffic off of Robertson Road.

Thank you!

Logan Malone
521 Stevenson St.

From: [Robert Stewart](#)
To: [Board of Zoning Appeals \(Codes\)](#)
Cc: [Roberts, Mary Carolyn \(Council Member\)](#)
Subject: BZA CASE # 2018-715
Date: Wednesday, November 14, 2018 12:17:41 PM

To Whom It May Concern:

I am writing in strong support of the proposal for a special exception for mineral extraction by Rogers Group, Inc. Case # 2018-715.

Thank you very much.

Robert C. Stewart
723 Croley Drive
Nashville, TN 37209
205-999-3200

From: [Robert Stewart](#)
To: [Board of Zoning Appeals \(Codes\)](#)
Cc: [Roberts, Mary Carolyn \(Council Member\)](#); [Mary C. Roberts](#)
Subject: Support for Special exception case 2018-715 Reostone Quarry/Rogers Group
Date: Tuesday, November 27, 2018 1:24:55 PM

11/27/2018

To Whom It May Concern:

As a nearby resident and homeowner, please note that I enthusiastically support the Reostone quarry/Rogers Group proposal # 2018-715, which will come before you for approval in December. Relocating the quarry will result in a significant improvement in the quality of life in our neighborhood by reducing dust, blast noise and vibrations, as well as removing dangerous heavy truck traffic from nearby roads.

Thank you very much,

Lida B. Stewart
723 Croley Drive
Nashville, TN 37209-1266

205.401.2525
rcs1565@yahoo.com

Sent from Yahoo Mail. [Get the app](#)

From: [J. Patrick Curley](#)
To: [Board of Zoning Appeals \(Codes\)](#)
Subject: Special Exception Case # 2018-715
Date: Monday, December 10, 2018 11:28:33 PM

I am all for building a bridge over Richland Creek and diverting all of those trucks off of Robertson Rd. However, we do not know the impact to Richland Creek and the Cumberland River the new underground mining will have. Also, how is the blasting going to affect the buildings in the neighborhood? I am to understand the rock they are going for is denser and 100-135 feet below the surface.

Those are my main concerns.

Pat Curley
515 Basswood Ave. #S167
Nashville, TN 37209

Sent from my iPhone

From: [J. Patrick Curley](#)
To: [Board of Zoning Appeals \(Codes\)](#)
Subject: Special Exception Case # 2018-715
Date: Monday, December 10, 2018 11:28:33 PM

I am all for building a bridge over Richland Creek and diverting all of those trucks off of Robertson Rd. However, we do not know the impact to Richland Creek and the Cumberland River the new underground mining will have. Also, how is the blasting going to affect the buildings in the neighborhood? I am to understand the rock they are going for is denser and 100-135 feet below the surface.

Those are my main concerns.

Pat Curley
515 Basswood Ave. #S167
Nashville, TN 37209

Sent from my iPhone

From: [Robinson Regen](#)
To: [Board of Zoning Appeals \(Codes\)](#)
Cc: [Murphy, Kathleen \(Council Member\)](#)
Subject: Fwd: Quarry West Nashville
Date: Wednesday, December 12, 2018 10:51:13 AM

Dear BZA Board,

A Rock Quarry owned at the time by a Tommy Owens on Highway 52, Garrard Co. KY which runs along the Dix River has impacted the water table of the Dix River as well as created unstable ground above to the point a part of the neighboring farm collapse killing cattle as the land fell. The quarry has been in business over 30 years and is now owned by the Allen Company. The blasting and rock trucks continue to destabilize the Dix River riverbed which is the headwaters of Lake Herrington. This is prime example of what can go wrong with portal/tunnels under and around rivers and streams.

Sincerely,

Robinson Regen
3807 Rolland Road 37205
robinsonhregen@gmail.com
615.604.5655

-----Original Message-----

From: Councilwoman Kathleen Murphy <Kathleen@murphyformetro.com>
To: dwrpfr <dwrpfr@aol.com>
Sent: Sat, Dec 8, 2018 11:08 am
Subject: Quarry West Nashville

Quarry Meeting Monday Dec. 10th

[View this email in your browser](#)

The current Quarry in West Nashville is seeking to expand across Richland Creek by seeking a special exception from the zoning code at the December 20th Board of Zoning Appeals Meeting. See the image below to see where the underground portals will be located at Richland Creek. The image is a little hard to see but the Cumberland River is on the left and you can see Richland Creek wiggling between the propose quarry site and the current quarry site. This is not in of my council district but I've had requests for information.

There is a community meeting on **Monday, December 10th at 6pm** at the West Police Precinct regarding the Special Exception from the Zoning Code Request. This meeting is being held by Councilwoman Roberts becasue it is in her district. I have concerns about this portals going under Richland Creek and about the potential for cave in. You can write to the BZA at BZA@Nashville.gov. This case number 2018-715 will be heard at the BZA on December 20th.



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Paid for by Murphy for Metro, Bart Pickett, Treasurer.

Our mailing address is:

Murphy for Metro
231 Orlando Ave
Nashville, TN 37209

[Add us to your address book](#)

[unsubscribe from this list](#) [update subscription preferences](#)

From: [Susan Castle](#)
To: [Board of Zoning Appeals \(Codes\)](#)
Subject: Against 2018-715
Date: Saturday, December 8, 2018 11:16:44 AM

As a resident of West Nashville I oppose the quarry expansion and it's potential impact on Richland Creek. The community has worked hard to clean up Richland Creek and this development could jeopardize its integrity.

Susan Castle
6624 Rolling Fork Dr
37205
Sent from my iPhone

December 17, 2018

HAND DELIVERED

Board of Zoning Appeals
Metro Office Building, 3rd Floor
800 Second Avenue South
Nashville, TN 37210

Re: Special Exception Application for the Rogers Group – Mineral Extraction
Case No. 2018-715

REQUEST FOR DEFERRAL

Members of the Board,

I represent the owner of an industrial property located at 7134 Cockrill Bend Blvd.

I attended a community meeting on December 10, 2018, at the West Police Precinct concerning the property located at 7177 Cockrill Bend Blvd and the Appeal before you styled, 2018-715 (the "Appeal"). At that meeting, I understood Councilwoman Roberts to state this Appeal would be deferred to a later date than the previously scheduled December 20, 2018, date. Upon review of the docket for December 20, 2018, this Appeal is still on the docket.

Review of the packet submitted to the BZA on December 17, 2018, by the attorneys for Roger's Group, reveals the supporting documentation is well over 200 pages of material.

I submit to you that it is impossible to respond to such a voluminous amount of documentation on such a tight timeline. As such, I am requesting this Appeal be deferred by a least one meeting date so that my client and other interested parties may have time to digest the material and respond accordingly. It is my goal that upon review of all documentation by my clients and any other interested parties, any objections to the content can be addressed between the parties thereby eliminating any opposition to the request for exemption. Should my client or other interested parties be unable to resolve any complaints before the hearing, a thorough review of the submitted documents will allow for a more concise and pointed presentation of any concerns to this Board.

With an undertaking of this massive size, it is in the best interest of my client and to the public at large to provide ample time for the supporting materials to be thoroughly reviewed. My client is merely requesting time to review the documentation to make this Appeal as transparent as possible. As such, please defer this Appeal one meeting.

Sincerely,



Grover Collins

Metropolitan Board of Zoning Appeals

Metro Howard Building
800 Second Avenue South
Nashville, Tennessee 37210



Appellant : _____
Property Owner: Build Nashville
Representative: Duane Cuthbertson

Date: 11.5.18
Case #: 2018- 716
Map & Parcel: 081-16 602

Council District A

The undersigned hereby appeals from the decision of the Zoning Administrator, wherein a Zoning Permit/Certificate of Zoning Compliance was refused:

Purpose: to construct a single-family dwelling

Activity Type: Single-family residential

Location: 1006 17th Avenue North

This property is in the RS 3.75 Zone District, in accordance with plans, application and all data heretofore filed with the Zoning Administrator, all of which are attached and made a part of this appeal. Said Zoning Permit/Certificate of Zoning Compliance was denied for the reason:

Reason: sidewalk compliance

Section(s): 17.20.120

Based on powers and jurisdiction of the Board of Zoning Appeals as set out in Section 17.40.180 Subsection _____ Of the Metropolitan Zoning Ordinance, a Variance, Special Exception, or Modification to Non-Conforming uses or structures is here by requested in the above requirement as applied to this property.

Duane Cuthbertson
Appellant Name (Please Print)

Duane Cuthbertson
Representative Name (Please Print)

2814 12th Av. S.
Address

same
Address

Nashville, TN 37204
City, State, Zip Code

City, State, Zip Code

615.924.9618
Phone Number

Phone Number

dcuthber@gmail.com
Email

Email

Appeal Fee: _____



**Metropolitan Government
of Nashville and Davidson County, Tennessee
Department of Codes and Building Safety
800 Second Avenue South, Nashville, TN 37210**



APPLICATION FOR BUILDING RESIDENTIAL - NEW / CARN - T2018069800

THIS IS NOT A PERMIT

PARCEL: 08116060200

APPLICATION DATE: 11/05/2018

SITE ADDRESS:

1006 11TH AVE N NASHVILLE, TN 37208
PT LOTS 20 21 B W HALL PLAN

PARCEL OWNER: BUILD NASHVILLE, LLC

APPLICANT: BUILD NASHVILLE LLC

MOUNT JULIET, TN 37122 6159249618

PURPOSE:

to construct a single family residence with 2355 sf living area, 430 sf attached garage and 100 sf porch area. MDHA Overlay. Requesting a sidewalk variance perm METZO section 17.20.120.

*Before a building permit can be issued for this project, the following approvals are required.
The Applicant is responsible for providing any plans or other information to the individual agencies*

[A] Site Plan Review		
[A] Zoning Review		
CA - Zoning Sidewalk Requirement Review	SWREQUIRED	615-862-6500 Walter.Morgan@nashville.gov
BZA Hearing		615-862-6505 Debbie.Lifsey@nashville.gov
PW - Public Works Sidewalk Capital Project Coordinatic		
[B] Fire Life Safety Review On Bldg App	IGNORE	615-862-6612 Chanda.Williams@nashville.gov
[E] Sewer Availability Review For Bldg	COND	615-862-4064 Gloria.Bryant@nashville.gov
[E] Sewer Variance Approval For Bldg	N/A	615-862-4064 Gloria.Bryant@nashville.gov
[E] Water Availability Review For Bldg	COND	615-862-4064 Gloria.Bryant@nashville.gov
[E] Water Variance Approval For Bldg	N/A	615-862-4064 Gloria.Bryant@nashville.gov
[A] Bond & License Review On Bldg App	APPROVED	615-862-6500 Walter.Morgan@nashville.gov
[F] Address Review On Bldg App	APPROVED	615-880-2427 Sara.Cain@nashville.gov
[F] Sidewalk Review For Bldg App		862-8758 Benjamin.york@nashville.gov
[D] Grading Plan Review For Bldg App	COND	(615) 862-6038 Logan.Bowman@nashville.gov
[C] Flood Plain Review On Blgd App	IGNORE	(615) 862-6038 Logan.Bowman@nashville.gov
[F] Ramps & Curb Cuts Review For Bldg A		862-8782 PWPermitsl@nashville.gov
[F] Solid Waste Review On Bldg App		862-8782



Metropolitan Government
of Nashville and Davidson County, Tennessee
Department of Codes and Building Safety
800 Second Avenue South, Nashville, TN 37210



3575579

ZONING BOARD APPEAL / CAAZ - 20180069797
Inspection Checklist for Use and Occupancy
This is not a Use and Occupancy Notification

PARCEL: 08116060200

APPLICATION DATE: 11/05/2018

SITE ADDRESS:

1006 11TH AVE N NASHVILLE, TN 37208
PT LOTS 20 21 B W HALL PLAN

PARCEL OWNER: BUILD NASHVILLE, LLC

CONTRACTOR:

APPLICANT:**PURPOSE:**

Requesting a sidewalk variance for proposed new residence per METZO section 17.20.120.

*Before a Use and Occupancy Letter can be issued for this project, the following approvals are required.
Inspections Foundation = before concrete poured, Framing = before covering wall and after rough-in inspections.*

There are currently no required inspections

Inspection requirements may change due to changes during construction.

STANDARDS FOR A VARIANCE

The Metropolitan Board of Zoning Appeals may grant variances from the strict application of the provisions of this Zoning Code based upon findings of fact related to the standards in Section 17.40.370. This Section is included as follows:

Physical characteristics of the property - The exceptional narrowness, shallowness or shape of a specific piece of property, exceptional topographic condition, or other extraordinary and exceptional condition of such property would result in peculiar and exceptional practical difficulties to, or exceptional or undue hardship upon the owner of such property.

Unique characteristics - The specific conditions cited are unique to the subject property and generally not prevalent to other properties in the general area.

Hardship not self-imposed - The alleged difficulty or hardship has not been created by the previous actions of any person having an interest in the property after the effective date of this Zoning Code.

Financial gain not only basis - Financial gain is not the sole basis for granting the variance.

No injury to neighboring property - The granting of the variance will not be injurious to other property or improvements in the area, impair an adequate supply of light and air to adjacent property, or substantially diminish or impair property values within the area.

No harm to public welfare - The granting of the variance will not be detrimental to the public welfare and will not substantially impair the intent and purpose of this Zoning Code.

Integrity of Master Development Plan - The granting of the variance will not compromise the design integrity or functional operation of activities or facilities within an approved Planned Unit Development.

The Board shall not grant variances to the land use provisions of Section 2.3, the density of Floor Area Ratio (FAR) standards of Tables 3-B and 3-C, nor the required size of residential lots approved by the Planning Commission under the authority of Section 3.7 (Lot Averaging), Section 3.8 (Cluster Lot Option) or Section 9.E.3 (PUD). Further the Board shall not act on a variance application within a Planned Unit Development (PUD), Urban Design Overlay or Institutional Overlay district without first considering a recommendation from the Planning Commission.

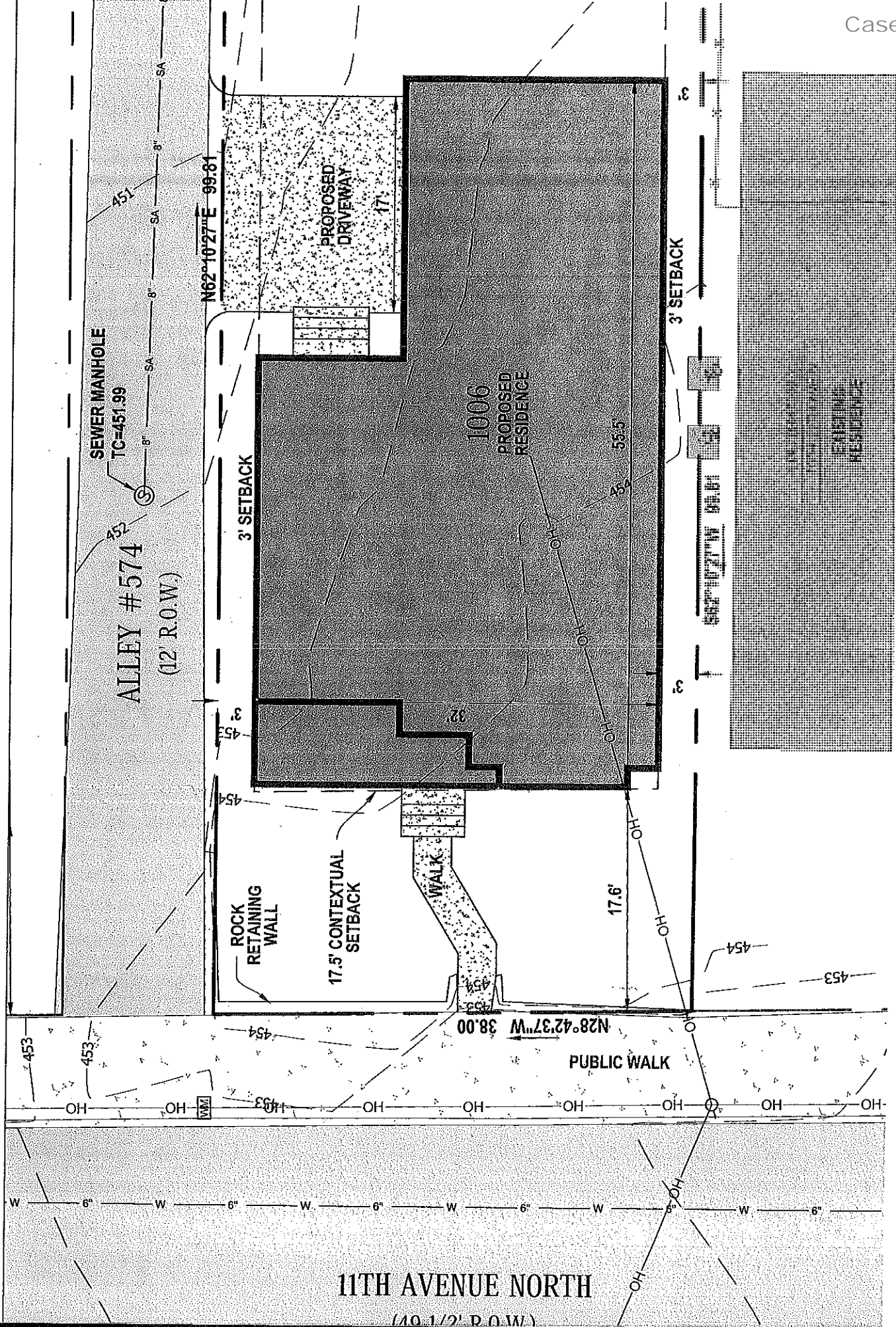
In simple terms, for the Board to grant you a variance in the zoning ordinance, you must convey to the Board what your hardship is. Hardships are narrowness, shallowness, irregular shape, and topography of property. The Board can also consider other practical difficulties such as mature trees, easements, and location of disposal systems which can affect your plan. Consideration can be given to the characteristics of the neighborhood and the way it is developed. One or more of these conditions MUST affect your inability to build or occupy the property to prove your case.

At the public hearing, please be prepared to tell the Board what your hardship is, why you can not build in accordance with zoning without requesting a variance and why you feel you have a legitimate hardship.

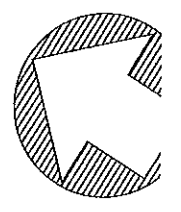
The Board can not grant a variance based solely on an inconvenience to the applicant nor solely on a financial consideration. It is incumbent on you as the appellant to complete this form by conveying a HARDSHIP as outlined. At the meeting it is important that you explain this hardship as effectively as possible.

WHAT SPECIFIC AND UNIQUE CIRCUMSTANCES (HARDSHIP) EXIST THAT WOULD AUTHORIZE THE CONSIDERATION OF THE BOARD UNDER THE REVIEW STANDARDS AS OUTLINED?

- An 8' wide sidewalk exists in front of the parcel.
- The existing sidewalk is consistent with those found on the same side of the street, north and south of subj. property, including new sidewalks.
- The property is located inside an MDHA Redevelopment District.
- The site plan has been approved by MDHA Design Review Committee.



A. C. A.



11TH AVENUE NORTH

(10 1/2' R.O.W.)

Metropolitan Board of Zoning Appeals

Metro Howard Building
800 Second Avenue South
Nashville, Tennessee 37210



Appellant: Scott Deason
Signcraft USA
Property Owner: SSC Rivergate
Representative: Scott Deason

Date: 11/5/18
Case #: 2018-717
Map & Parcel: 34-2-106

Council District 10

The undersigned hereby appeals from the decision of the Zoning Administrator, wherein a Zoning Permit/Certificate of Zoning Compliance was refused:

SIGN PERMIT FOR WALK-IN URGENT CARE.

1...EXISTING STARBUCKS GROUND SIGN.....12X8....NO PERMIT FOUND FOR THE SIGN.

2.... ONLY ONE GROUND SIGN ALLOWED.....

*****THIS REQUEST A 2ND GROUND SIGN AT 12.5' X 8'...MIN 10' OFF GRADE....FRONT LOT LINE SETBACK MIN 10'....SIDE LOT LINE SETBACK MIN 10'...MIN 100' BETWEEN THIS SIGN AND THE STARBUCKS SIGN (WHICH IS THE ONLY OTHER GROUND SIGN ON THIS PARCEL).

Activity Type: Medical office
Location: 1905 Gallatin Pls Madison, TN 37115

This property is in the CS Zone District, in accordance with plans, application and all data heretofore filed with the Zoning Administrator, all of which are attached and made a part of this appeal. Said Zoning Permit/Certificate of Zoning Compliance was denied for the reason:

*****DENIED: BASED ON ROAD FRONTAGE ONLY ONE GROUND SIGN ALLOWED
REQUEST TWO GROUND SIGNS....17.32.130

Based on powers and jurisdiction of the Board of Zoning Appeals as set out in Section 17.40.180 Subsection B Of the Metropolitan Zoning Ordinance, a Variance, Special Exception, or Modification to Non-Conforming uses or structures is here by requested in the above requirement as applied to this property.

Scott Deason
Appellant Name (Please Print)

Representative Name (Please Print)

1301 ANTIOCH PIKE
Address

Address

NASHVILLE TN 37211
City, State, Zip Code

City, State, Zip Code

615-948-7911
Phone Number

Phone Number

sdenson@signcraftusa.com
Email

Email

Appeal Fee: 200.00

APPLICATION FOR A VARIANCE REQUEST

After your appeal is filed, Zoning staff will visit the site to take photographs for the Board members. So they will have a better ideal of the nature of your request. Zoning staff will notify the district council member of the hearing. You will be responsible for preparing the envelopes and notices for mailing to the owners of property within 600 feet pf the property at issue in the case. The envelopes must include the return address for the BZA and case number. Fold and insert notices into envelopes, seal the envelopes, and apply first class postage. These neighbor notices must be delivered to Zoning staff at least twenty-three (23) days before the public hearing. Additionally, you will be responsible for purchasing, posting, and removing the red Zoning Appeal signs for the subject property. (See attached Metro Code of Laws requirements regarding, sign placement.)

The day of the public hearing, it will be your responsibility to convey to the Board the nature of the hardship in your request that makes it difficult/impossible for you to comply with the Zoning Code. **It would be to your benefit to let your neighbors know about your request prior to all notices being sent to them from our office.**

Any party can appeal the Board's decision to Chancery or Circuit Court within sixty (60) days from the date the order in the case is entered. **Should your request be granted, we would remind you that it is your responsibility to obtain the permit for which you have applied.** You should also be aware that you have two (2) years to obtain the permit or you would have to re-file your request with the board.

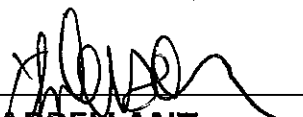
Once your request is filed, the staff will review your request to verify that the submittal is complete. Incomplete submittals will not be scheduled for hearing until complete.

Any correspondence to the Board must be submitted to our office by noon, the Monday prior to the public hearing to be included in the record. You must provide eight (8) copies of your information to staff.

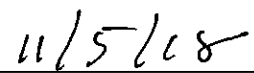
We hope that this information will be of help to you in understanding the variance procedure and if our office can be of further assistance, please do not hesitate to contact us.

METROPOLITAN BOARD OF ZONING APPEALS (615) 862-6510

I am aware that I am responsible for posting and also removing the sign(s) after the public hearing.



 APPELLANT



 DATE

Standards for a Variance

The Metropolitan Board of Zoning Appeals may grant variances from the strict application of the provisions of the Zoning Code based upon findings of fact related to the standards in section 17.40.370. This Section is included as follows:

Physical Characteristics of the property- The exceptional narrowness, shallowness or shape of a specific piece of property, exceptional topographic condition, or other extraordinary and exceptional condition of such property would result in peculiar and exceptional practical difficulties to, or exceptional or undue hardship upon the owners of such property.

Unique characteristics- *The specific conditions cited are unique to the subject property and generally not prevalent to other properties in the general area.*

Hardship not self-imposed- *The alleged difficulty or hardship has not been created by the previous actions of any person having an interest in the property after date of Zoning Code.*

Financial gain not only bases- *Financial gain is not the sole basis for granting the variance.*

No injury to neighboring property- *The granting of a variance will not be injurious to other property or improvements in the area, impair and adequate supply of light and air to adjacent property, or substantially diminish or impair property values within the area.*

No harm to public welfare- *The granting of the variance will not be detrimental to the public welfare and will not substantially impair the intent and purpose of this Zoning Code.*

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The Board shall not grant variances to the land use provisions of section 2.3, nor the density of Floor Area Ratio (FAR) standards of Tables 3-B and 2-C, nor the required size of residential lots approved by the Planning Commission under the authority of section 3.7 (Lot Averaging), section 3.8 (Cluster Lot Option) or Section 9. E.3 (PUD). Further the Board shall not act on a variance application within a Planned Unit Development (PUD), Urban Design Overlay or Institutional Overlay district without first considering a recommendation from the Planning Commission.

In Simple terms, for the Board to grant you a variance in the zoning ordinance, you must convey to the Board what your hardship is. Hardships are narrowness, shallowness, irregular shape, and topography of property. The Board can also consider other practical difficulties such as mature trees, easements, and location of disposal systems which can affect your plan. Consideration can be given to the characteristics of neighborhood and the way it is developed. One or more of these conditions must affect your inability to build or occupy the property to provide your case.

At the public hearing, please be prepared to tell the Board what your hardship is, why you cannot build in accordance with zoning without requesting a variance and why you feel you have legitimate hardship.

The Board cannot grant a variance based solely on inconvenience to the applicant or solely on a financial consideration. It is incumbent on you as the appellant to complete this form by conveying a **HARDSHIP** as outlined. At the meeting it is important that you explain this hardship as effectively as possible.

WHAT SPECIFIC AND UNIQUE CIRCUMSTANCES (HARDSHIP) EXIST THAT WOULD AUTHORIZE THE CONSIDERATION OF THE BOARD UNDER THE REVIEW STANDARDS AS OUTLINED?

ORIGINALLY CLIENT WAS TOLD THEY WERE ALLOWED A SECOND SIGN, BUT THIS WAS IN ERROR BECAUSE STREET FRONTAGE MUST BE 200' AND IS ONLY 162'. THE STARBUCKS SIGN MAY BE TOO LARGE TO ALLOW A SECOND SIGN.



Walk-In Ur
 + urger
Madison,

Date: 06/05/18

Revised:

Drawn by: AJ

Scale: As Noted

File Name: 01

U>
Ma
File Folder: Shi

Project Manag

Location: 0
Pylon Sign
NEW

sign
 iden
 Na

This design is being submitted for your review. It is being submitted for you to be reproduced, copied or given to any other manufacturer without permission from Signcraft, Inc. subject to design charge and collection fees.

Superimposed Photo
 Scale: NTS

Square Footage of Sign: 100
 Square Footage Allowed: 288

Sign is 115' from Starbucks Sign.

Material: New Double Faced Illuminated Cabinet
 2 faces mounted to New 12" Sched 40 steel post,
 on new footing. - 30' Overall Height.

Required for new footing and pole size and height.

Walk-In Urgent Care
urgent team
Madison, TN

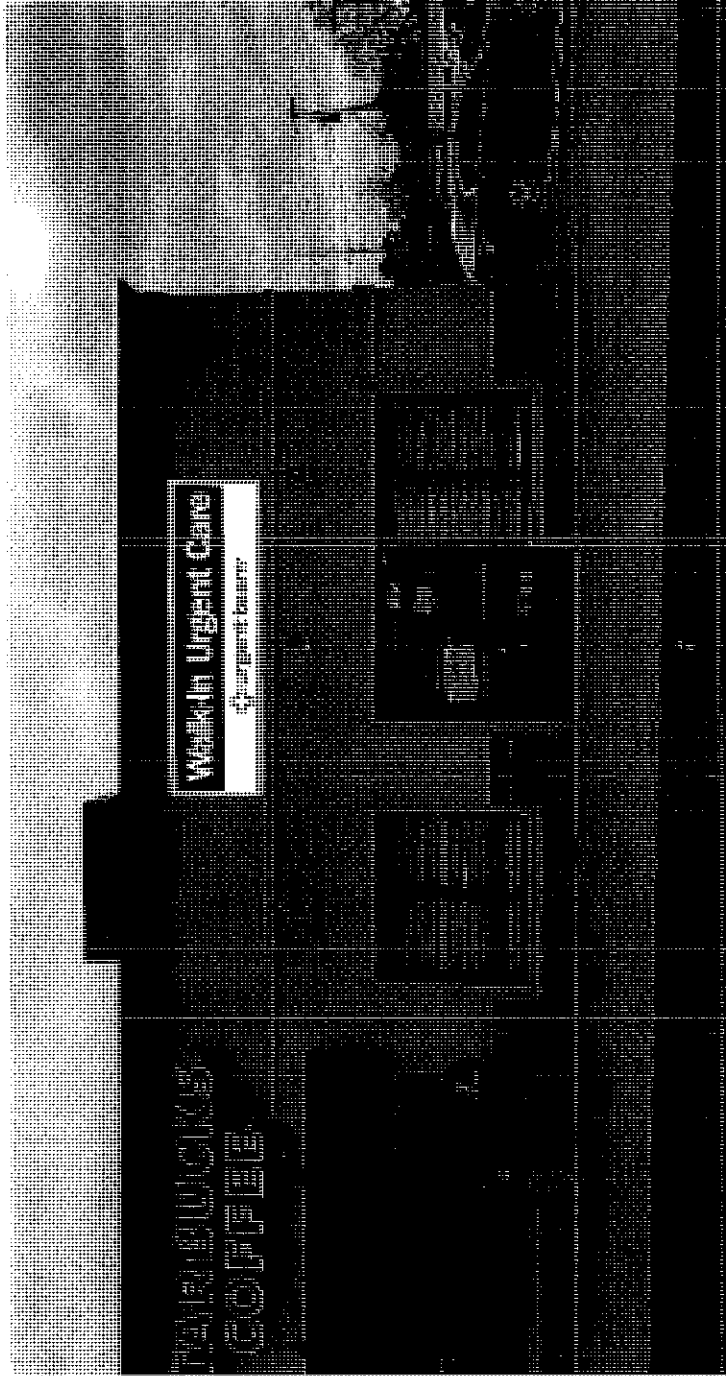
Date: 05/10/18
Revised:
Drawn by: AIS
Scale: As Noted
File Name: 02.ai
U- Urgent Team
Madison TN
File Folder: Shop Drawings
Project Manager: AIS

Front Wall Sign

Signcraft
Identifying your way

1301 Antioch Pike
Nashville, TN 37211
P. 615-885-2900
F. 615-885-2989

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Superimposed Photo
Scale: NTS

12'-0"

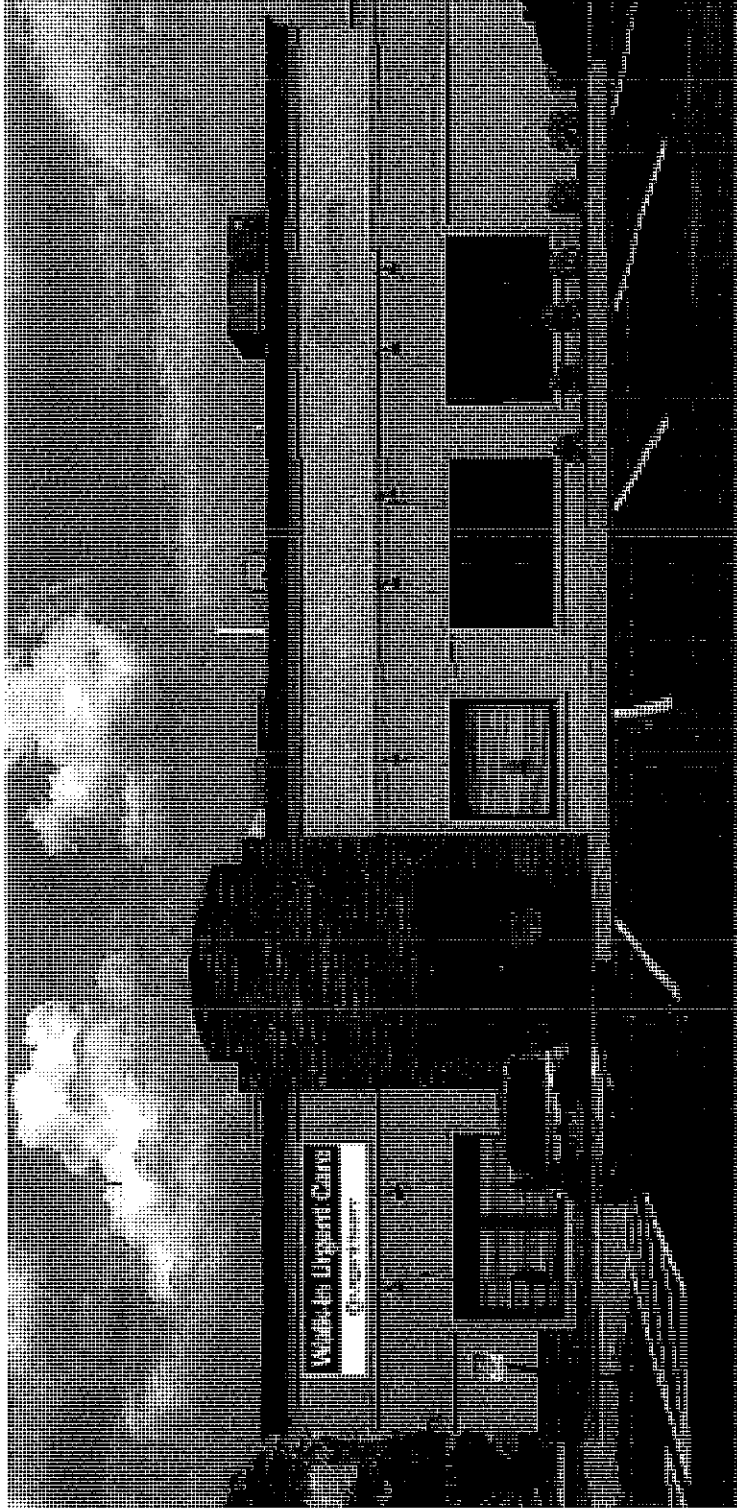


Front View
Scale: 1/2" = 1'-0"

Proposed: New 9 1/4" deep illuminated Cabinet Sign on front of building.
White LED illumination, translucent Pan Face with 2" retainer.

Connect to existing power.

Square Footage of Sign: 42
(Sign Band is 44" Tall)
Square Footage Allowed: 67



Superimposed Photo
Scale: NTS

12'-0"

Walk-In Urgent Care



Front View
Scale: 1/2" = 1'-0"

9'-6"

Proposed: New 9' 1/4" deep Illuminated Cabinet Sign on front of building.
White LED illumination, translucent Pan Face with 2" retainer.

Connect to existing power.

Square Footage of Sign: 42
(Sign Band is 4'-4" Tall)
Square Footage Allowed: 180

Walk-In Urgent Care
urgent team®
Madison, TN

Date: 05/10/18
Revised:
Drawn by: AJS
Scale: As Noted
File Name: 03.ai
U> Urgent Team>
Madison TN>
File Folder: Shop Drawings>
Project Manager: AJS

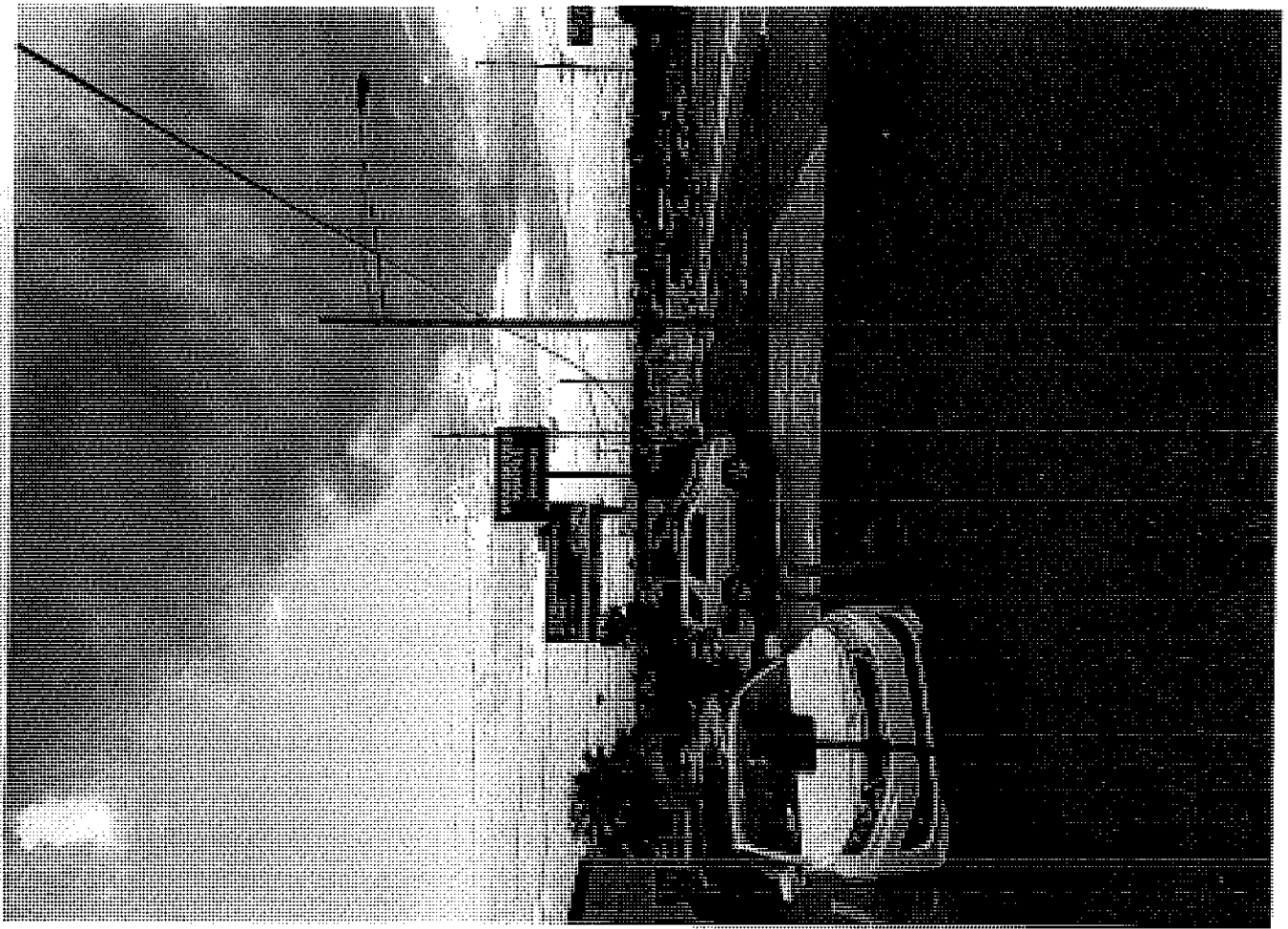
Side Wall Sign



1301 Antech Pike
Nashville, TN 37211
P. 615-865-2900
F. 615-865-2989

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Existing View
Scale: NTS



Front View
Scale: 3/8" = 1'-0"



Supersimposed Photo
Scale: NTS

Proposed: New Double Faced Illuminated Cabinet with flex faces mounted to New 1 1/2" Sched 40 steel post, In New Footing - 30' Overall Height.

Square Footage of Sign: 100
Square Footage Allowed: 200

Sign is 115' From Starbucks Sign.

Walk-In Urgent Care

urgent team

Madison, TN

Date: 06/05/18
Revised: 7
Drawn by: AJS
Scale: As Noted

File Name: 01.a
U> Urgent Team
Madison TN
Shop Drawings>

Project Manager: AJS

Location: 01
Pylon Sign - NEW



1301 Antioch Pike
Nashville, TN 37211
p. 615-885-2800
f. 615-885-2889

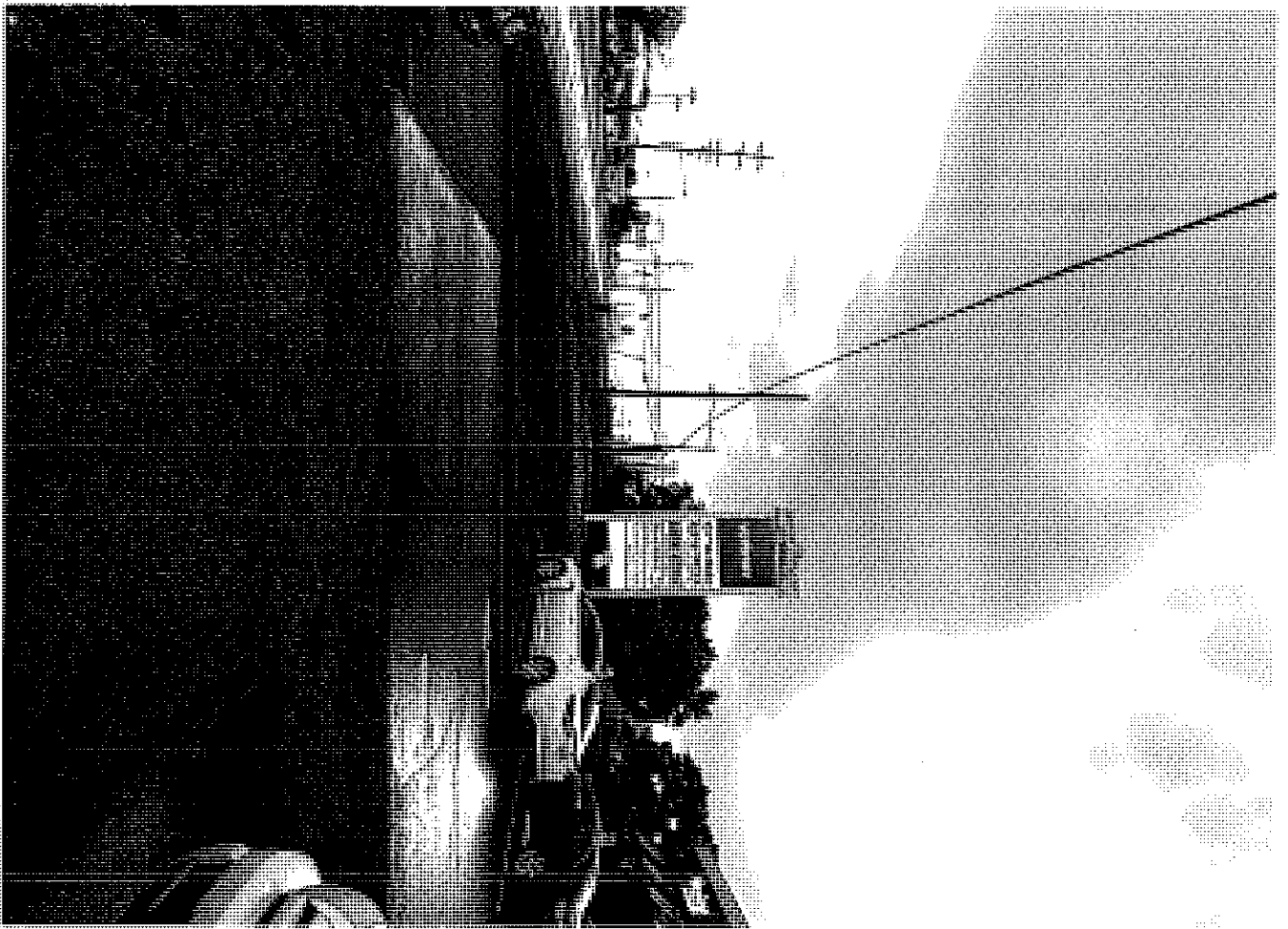
This design is being submitted for use as a product being manufactured by Signcraft, Inc. It is not to be used for any other manufacturer without written permission from Signcraft, Inc. Unauthorized use is a violation of our terms and conditions and may result in legal action.

NOTE: for this option, Engineering will be required for new footing and pole size and height.









Metropolitan Board of Zoning Appeals

Metro Howard Building
800 Second Avenue South
Nashville, Tennessee 37210

METROPOLITAN GOVERNMENT OF DAVIDSON COUNTY



Appellant : Chick-fil-A, Inc. Date: 11/5/18
 Property Owner: KDI Rivergate Mall Case #: 2018-718
 Representative: ; Evan Foster - Chick-fil-A, Inc.
Sean Hickman - Interplan LLC Map & Parcel: 02614004800

Council District 10

The undersigned hereby appeals from the decision of the Zoning Administrator, wherein a Zoning Permit/Certificate of Zoning Compliance was refused:

Purpose: To make renovation to existing restaurant

Activity Type: Restaurant

Location: 2000 Gallatin Pike

This property is in the SCR Zone District, in accordance with plans, application and all data heretofore filed with the Zoning Administrator, all of which are attached and made a part of this appeal. Said Zoning Permit/Certificate of Zoning Compliance was denied for the reason:

Reason: Variance from sidewalk requirements, requesting not to build or pay into the sidewalk fund.

Section(s): 17.12.120

Based on powers and jurisdiction of the Board of Zoning Appeals as set out in Section 17.40.180 Subsection B Of the Metropolitan Zoning Ordinance, a Variance, Special Exception, or Modification to Non-Conforming uses or structures is here by requested in the above requirement as applied to this property.

Chick-fil-A, Inc - Evan Foster
Appellant Name (Please Print)

5200 Buffington Road
Address

Atlanta, GA 30349
City, State, Zip Code

770.842.9758
Phone Number

evan.foster@cfacorp.com
Email

Interplan LLC - Sean Hickman
Representative Name (Please Print)

604 Courtland Street, Suite 100
Address

Orlando, FL 32804
City, State, Zip Code

407.645.5008
Phone Number

SHickman@interplanllc.com
Email

Appeal Fee: \$200.00



**Metropolitan Government
of Nashville and Davidson County, Tennessee
Department of Codes and Building Safety
800 Second Avenue South, Nashville, TN 37210**



3545110

**APPLICATION FOR BUILDING COMMERCIAL - ADDITION / CACA - T2018048014
THIS IS NOT A PERMIT**

PARCEL: 02614004800

APPLICATION DATE: 08/13/2018

SITE ADDRESS:

2000 GALLATIN PIKE N MADISON, TN 37115
P/O LOT 4 RIVERGATE EAST SEC 1-1ST REV

PARCEL OWNER: KDI RIVERGATE MALL, LLC

APPLICANT:**PURPOSE:**

Renovation of an existing Chick-fil-A restaurant to include an upgraded kitchen with building addition (approximately 400sf), brand image remodel and a dual approach multi-lane order point (MLOP) at the drivethrough. In addition, adding a Face-to-Face Canopy at the drive-through to provide shelter over the customers and employees. Installation of a new order point under the canopy. Chick-fil-A is also proposing to install an outside meal delivery canopy along the side of the building where the pick-up window is located. Additional improvements proposed are as follows: Relocation of gas meter, main distribution panel electrical box, and electrical secondary. Upgrade electrical secondary to 1200 amps. Possible curb cut proposed along Rivergate Drive. Possible removal of parking spaces proposed to accommodate new site layout.
POC ROBERT WALKER 407-645-5008

*Before a building permit can be issued for this project, the following approvals are required.
The Applicant is responsible for providing any plans or other information to the individual agencies*

[A] Zoning Review

CA - Zoning Sidewalk Requirement Review	SWREQUIRED	615-880-2649 Ronya.Sykes@nashville.gov
[J] Planning Zoning Review - CA	APPROVED	Deborah.Sullivan@nashville.gov
Kitchen Plans Review On Bldg App	APPROVED	615-340-5620 Steve.Crosier@nashville.gov
PW - Public Works Sidewalk Capital Project Coordinatic	NOTPLANNED	ben.york@nashville.gov
[F] Sidewalk Review For Bldg App		862-8758 Benjamin.york@nashville.gov
[A] Site Plan Review	APPROVED	615-880-2649 Ronya.Sykes@nashville.gov
[B] Building Plans Received	APPROVED	615-880-2649 Ronya.Sykes@nashville.gov
[B] Building Plans Review	APPROVED	615-862-6581 Teresa.Patterson@nashville.gov
[B] Plans Picked Up By Customer		615-880-2649 Ronya.Sykes@nashville.gov
[B] Fire Life Safety Review On Bldg App	APPROVED	615-862-5421 Patricia.Reynolds@nashville.gov
[B] Fire Sprinkler Requirement	NO	615-862-5421 Patricia.Reynolds@nashville.gov
[D] Grading Plan Review For Bldg App		(615) 862-6038 Logan.Bowman@nashville.gov
[E] Cross Connect Review For Bldg App	COND	615-862-4045 Clay.Christain@nashville.gov
[E] Water Availability Review For Bldg	IGNORE	615-862-4045 Clay.Christain@nashville.gov
[E] Water Variance Approval For Bldg	N/A	615-862-4045 Clay.Christain@nashville.gov
[E] Sewer Availability Review For Bldg	IGNORE	615-862-4045 Clay.Christain@nashville.gov
[E] Sewer Variance Approval For Bldg	N/A	615-862-4045 Clay.Christain@nashville.gov
[A] Bond & License Review On Bldg App		
Landscaping & Tree Review		862-6488 stephan.kivett@nashville.gov
[F] Solid Waste Review On Bldg App		862-8782
[E] Grease Control Review On Bldg App	APPROVED	615-862-4590 joseph.welch@nashville.gov

APPLICATIONS FOR VARIANCE REQUESTS

After your appeal is filed, Zoning staff will visit the site to take photographs for the Board members so that they will have a better idea of the nature of your request. Zoning staff will notify the district councilmember of the hearing. You will be responsible for preparing the envelopes and notices for mailing to the owners of property within 600 feet of the property at issue in this case. The envelopes must include the return address for the BZA and the case number. Fold and insert the notices into envelopes, seal the envelopes, and apply first class postage. These neighbor notices must be delivered to Zoning staff at least twenty-three (23) days before the public hearing. Additionally, you will be responsible for purchasing, posting, and removing the red Zoning Appeal signs for the subject property. (See attached Metro Code of Laws requirements regarding sign placement.)

The day of the public hearing, it will be your responsibility to convey to the Board the nature of the hardship in your request that makes it difficult/impossible for you to comply with the Zoning Code. It would be to your benefit to let your neighbors know about your request prior to all notices being sent to them from our office.

Any party can appeal the Board's decision to Chancery or Circuit Court within sixty (60) days from the date the order in the case is entered. Should your request be granted, we would remind you that it is your responsibility to obtain the permit for which you have applied. You should also be aware that you have two (2) years to obtain the permit or you would have to re-file your request with the Board.

Once your request is filed, the staff will review your request to verify that the submittal is complete. Incomplete submittals will not be scheduled for a hearing until complete.

Any correspondence to the Board must be submitted to our office by noon, the Monday prior to the public hearing to be included in the record. You must provide eight (8) copies of your information to staff..

We hope that this information will be of help to you in understanding the variance procedure and if our office can be of further assistance, please do not hesitate to contact us.

METROPOLITAN BOARD OF ZONING APPEALS (615) 862-6530

I am aware that I am responsible for posting and also removing the sign(s) after the public hearing.



APPELLANT

November 2, 2018

DATE

STANDARDS FOR A VARIANCE

The Metropolitan Board of Zoning Appeals may grant variances from the strict application of the provisions of this Zoning Code based upon findings of fact related to the standards in Section 17.40.370. This Section is included as follows:

Physical characteristics of the property - The exceptional narrowness, shallowness or shape of a specific piece of property, exceptional topographic condition, or other extraordinary and exceptional condition of such property would result in peculiar and exceptional practical difficulties to, or exceptional or undue hardship upon the owner of such property.

Unique characteristics - The specific conditions cited are unique to the subject property and generally not prevalent to other properties in the general area.

Hardship not self-imposed - The alleged difficulty or hardship has not been created by the previous actions of any person having an interest in the property after the effective date of this Zoning Code.

Financial gain not only basis - Financial gain is not the sole basis for granting the variance.

No injury to neighboring property - The granting of the variance will not be injurious to other property or improvements in the area, impair an adequate supply of light and air to adjacent property, or substantially diminish or impair property values within the area.

No harm to public welfare - The granting of the variance will not be detrimental to the public welfare and will not substantially impair the intent and purpose of this Zoning Code.

Integrity of Master Development Plan - The granting of the variance will not compromise the design integrity or functional operation of activities or facilities within an approved Planned Unit Development.

The Board shall not grant variances to the land use provisions of Section 2.3, the density of Floor Area Ratio (FAR) standards of Tables 3-B and 3-C, nor the required size of residential lots approved by the Planning Commission under the authority of Section 3.7 (Lot Averaging), Section 3.8 (Cluster Lot Option) or Section 9.E.3 (PUD). Further the Board shall not act on a variance application within a Planned Unit Development (PUD), Urban Design Overlay or Institutional Overlay district without first considering a recommendation from the Planning Commission.

In simple terms, for the Board to grant you a variance in the zoning ordinance, you must convey to the Board what your hardship is. Hardships are narrowness, shallowness, irregular shape, and topography of property. The Board can also consider other practical difficulties such as mature trees, easements, and location of disposal systems which can affect your plan. Consideration can be given to the characteristics of the neighborhood and the way it is developed. One or more of these conditions **MUST** affect your inability to build or occupy the property to prove your case.

At the public hearing, please be prepared to tell the Board what your hardship is, why you can not build in accordance with zoning without requesting a variance and why you feel you have a legitimate hardship.

The Board can not grant a variance based solely on an inconvenience to the applicant nor solely on a financial consideration. It is incumbent on you as the appellant to complete this form by conveying a **HARDSHIP** as outlined. At the meeting it is important that you explain this hardship as effectively as possible.

WHAT SPECIFIC AND UNIQUE CIRCUMSTANCES (HARDSHIP) EXIST THAT WOULD AUTHORIZE THE CONSIDERATION OF THE BOARD UNDER THE REVIEW STANDARDS AS OUTLINED?
Please reference the attached letter.



604 COURTLAND STREET
SUITE 100
ORLANDO, FL 32804

Over 40 years and 40,000 projects

ph: 407.645.5008

fx: 407.629.9124

AA 003420 | CA 8660

www.interplanllc.com

November 2, 2018

Metropolitan Board of Zoning Appeals

Metro Office Building

800 2nd Avenue South

Nashville, TN

RE: Chick-fil-A – RiverGate – Madison, TN
2000 Gallatin Pike, Madison, TN
Variance Request for Sidewalk Installation

To Whom It May Concern:

Please accept this as our request for a variance for relief from Chapter 17 of the Metropolitan Code pertaining to sidewalks, Section 17.20.120, Provision of Sidewalks.

B. On-Site Sidewalk Installation for Multi-Family and Nonresidential Development. A continuous, all-weather internal sidewalk network, constructed to a minimum width of five feet shall connect all pedestrian building entryways to parking areas and all public rights of way. Sidewalks shall be designed and constructed to be distinguishable from driving surfaces.

C. Public Sidewalk Installation. The provisions of this subsection apply to all property frontage, regardless of whether sidewalks are provided in public right-of-way or pedestrian easements.

1. Construction of new sidewalks is required along the entire property frontage under any one or more of the following conditions, unless the property abuts a sidewalk segment that the Department of Public Works has funded and scheduled for construction:
 - a. When there is Existing sidewalk in need of repair or replacement.
 - b. To extend the existing sidewalk or sidewalk proposed by an adjacent abutting development.
 - c. Existing sidewalk present on the same block face.
 - d. Multi-family or nonresidential properties within the Urban Zoning Overlay.
 - e. Multi-family or nonresidential properties along a street in the Major and Collector Street Plan.

The Chick-fil-A fronts Gallatin Pike which is a street in the Major and Collector Street Plan which indicates that a sidewalk is required to be constructed if the cost of construction for a renovation exceeds the threshold for an exemption.

ORLANDO CHICAGO DALLAS/FORT WORTH
ARCHITECTURE ENGINEERING INTERIOR DESIGN PERMITTING

PHILADELPHIA MIAMI
PERMITTING ENTITLEMENTS DUE DILIGENCE

INTERPLAN

Chick-fil-A – RiverGate, Madison, TN

November 2, 2018

Page 2 of 3

Installing a sidewalk along Gallatin Pike is not as simple as just adding a concrete walk. The existing conditions along Gallatin Pike require issues to be addressed relating to topography, stormwater management and underground utility conflicts. Currently the roadway drainage sheet flows into a grass swale in front of the Chick-fil-A. The installation of a sidewalk would require not only the construction of the sidewalk but also the construction of a curb and gutter. The curb and gutter will block the roadway drainage from reaching the existing stormwater swale so drainage infrastructure including inlets and pipes would be required. Also, the swale will have to be regraded to accommodate the sidewalk and underground utilities may potentially need to be relocated. Due to these extenuating circumstances, the additional costs would exceed sixteen (16) percent of the overall cost of the renovation. This is an unreasonable proportional amount to be spent on this project for the installation of a sidewalk.

Physical Characteristics of the Property: There is an existing drainage swale running along the right-of-way of Gallatin Pike that would be impacted by the construction of the sidewalk and would require additional cost to provide the required storm drainage infrastructure to channel the stormwater run-off to this swale. Additionally, there is a steep grade change between the elevation of the site and the right-of-way of Gallatin Pike.

Unique Characteristics: Other properties in the area do not have the same extreme elevation differences between the finished floor elevation of the building and the right-of-way, nor have a drainage swale where the existing stormwater sheet flows into the swale.

Hardship not Self-Imposed: The above referenced items were not created by previous actions of a person holding an interest in this property. The elevation of the existing Chick-fil-A is in line with the surrounding properties within the Rivergate Mall to which this property is an outparcel.

No Harm to Public Welfare: The granting of this variance will not be detrimental to the public welfare and will not substantially impair the intent and purpose of this Zoning Code. There is an existing sidewalk along the opposite side of Gallatin Pike and there is a traffic signal at the intersection to the RiverGate Mall adjacent to the Chick-fil-A property.

Integrity of Master Development Plan: The granting of this variance will not compromise the design integrity or functional operation of activities or facilities within an approved Planned Unit Development. The proposed renovation of the existing Chick-fil-A has the support of the Mall Management.

INTERPLAN^{LLC}

Chick-fil-A – RiverGate, Madison, TN

November 2, 2018

Page 3 of 3

Should you have any questions or require any additional information, do not hesitate to contact me at 407.645.5008 or shickman@interplanllc.com.

Sincerely,

INTERPLAN LLC



Sean Hickman, P.E.
Project Manager

Attachments:

cc: Evan Foster, CFA
Sean Hickman, Interplan LLC
Tan Vu, Interplan LLC
IP File

PLANNING DEPARTMENT SIDEWALK VARIANCE RECOMMENDATION

BZA Case 2018-718 (2000 Gallatin Pike)

Metro Standard:	**Future Complete Streets Project under development**; 4' grass strip, 10' sidewalk, as defined by the Major and Collector Street Plan standard
Requested Variance:	Not construct sidewalks; not contribute in-lieu of construction (not eligible)
Zoning:	Comm. PUD/SCR
Community Plan Policy:	T5 RG (Regional Center)
MCSP Street Designation:	T5-M-AB5-LM
Transit:	#26/#56 – Gallatin Pike BRT Lite; future High Capacity Transit per nMotion
Bikeway:	None existing; none planned

Planning Staff Recommendation: *Approve with conditions.*

Analysis: The applicant proposes to renovate an existing restaurant and requests a variance due to topographic and stormwater challenges along the frontage of the site. Planning evaluated the following factors for the variance request:

- (1) No sidewalk currently exists along the property's frontage with Gallatin Pike, which is consistent with adjacent properties to the east and west. Curb and gutter are currently not in place due to the presence of an existing drainage swale which measures approximately 48' wide from the edge of pavement.
- (2) Metro has a Complete Streets Project under development to connect the BRT Lite stops in this area with more complete walking and bicycling infrastructure. Metro Public Works is currently under contract with a consultant to develop the design for the project with Federal transportation funds. Given the status of this project, the applicant should not construct sidewalks and must consult with Public Works on the design to determine right-of-way needs for the project.

Given the factors above, staff recommends **approval with conditions:**

1. The applicant shall contribute in lieu of construction for the Gallatin Pike frontage.
2. Prior to the issuance of building permits, consult with Metro Public Works regarding the design of the Complete Streets Project and dedicate right-of-way along the Gallatin Pike property frontage to accommodate future walking and bicycling infrastructure per the Complete Streets Project's planned design.

Metropolitan Board of Zoning Appeals

Metro Howard Building
800 Second Avenue South
Nashville, Tennessee 37210



Appellant: FREDERICK STEVENHAGEN Date: 11/5/2018
Property Owner: FREDERICK STEVENHAGEN Case #: 2018-719
Representative: STEPHANIE SHIPP Map & Parcel: 10402000300

Council District 2A

The undersigned hereby appeals from the decision of the Zoning Administrator, wherein a Zoning Permit/Certificate of Zoning Compliance was refused:

Purpose: SINGLE FAMILY RESIDENCE
NEW CONSTRUCTION

Activity Type: SINGLE FAMILY RESIDENCE

Location: 725 PARK CIR.

This property is in the R6 Zone District, in accordance with plans, application and all data heretofore filed with the Zoning Administrator, all of which are attached and made a part of this appeal. Said Zoning Permit/Certificate of Zoning Compliance was denied for the reason:

Reason: REQUEST NOT TO INSTALL SIDEWALKS & NOT TO CONTRIBUTE
Section(s): 17.20.120

Based on powers and jurisdiction of the Board of Zoning Appeals as set out in Section 17.40.180 Subsection B Of the Metropolitan Zoning Ordinance, a Variance, Special Exception, or Modification to Non-Conforming uses or structures is here by requested in the above requirement as applied to this property.

FREDERICK STEVENHAGEN
Appellant Name (Please Print)

STEPHANIE SHIPP
Representative Name (Please Print)

404 McADOO AVE
Address

404 McADOO AVE
Address

NASHVILLE TN 37205
City, State, Zip Code

NASHVILLE TN 37205
City, State, Zip Code

615.417.9984
Phone Number

615.417.9984
Phone Number

frederick.stevenhagen@gmail.com
Email

frederick.stevenhagen@gmail.com
Email

Appeal Fee: _____

Frederick and Carrie Stevenhagen
404 McAdoo Ave
Nashville, TN 37205
615.417.9984
ckecarrie@gmail.com

November 4, 2018

Board of Zoning Appeals
700 2nd Avenue S
Nashville, TN 37210

Re: Hardship Letter for Sidewalk Variance at 725 Park Circle (formerly 400 McAdoo Ave)

To Whom It May Concern:

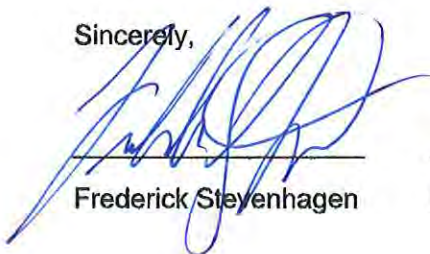
This letter is to request your consideration for a variance to not construct a sidewalk, or pay into the sidewalk fund, for our personal single family home at 725 Park Circle, Nashville 37205.

Unique circumstances we would like to be considered are that our house is located on a dead end street of a dead end street. We have a total of 12 houses on our street, all of which were built after 2000. It is unlikely there will be any new construction for years to come. None of the houses have sidewalks, therefore we would not be tying into a pedestrian path. There is also a brand new greenway directly across the street from our lot.

Our hardship for the sidewalk ordinance is that we are on a corner lot with 178 linear feet of street frontage. Being on a corner lot, we feel as though we are being penalized from adjacent properties that are the same lot dimensions that are not located on a corner. The in lieu of fee would cost us around \$26,000, and building a sidewalk would cost tens of thousands as well – neither of which are covered in our construction loan and neither will appraise in our property value.

We appreciate your time and consideration in this matter.

Sincerely,



Frederick Stevenhagen



Carrie Stevenhagen

STANDARDS FOR A VARIANCE

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Unique characteristics - The specific conditions cited are unique to the subject property and generally not prevalent to other properties in the general area.

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Financial gain not only basis - Financial gain is not the sole basis for granting the variance.

No injury to neighboring property - The granting of the variance will not be injurious to other property or improvements in the area, impair an adequate supply of light and air to adjacent property, or substantially diminish or impair property values within the area.

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The Board shall not grant variances to the land use provisions of Section 2.3, the density of Floor Area Ratio (FAR) standards of Tables 3-B and 3-C, nor the required size of residential lots approved by the Planning Commission under the authority of Section 3.7 (Lot Averaging), Section 3.8 (Cluster Lot Option) or Section 9.B.3 (PUD). Further the Board shall not act on a variance application within a Planned Unit Development (PUD), Urban Design Overlay or Institutional Overlay district without first considering a recommendation from the Planning Commission.

APPLICATIONS FOR VARIANCE REQUESTS

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We hope that this information will be of help to you in understanding the variance procedure and if our office can be of further assistance, please do not hesitate to contact us.

METROPOLITAN BOARD OF ZONING APPEALS (615) 862-6530

I am aware that I am responsible for posting and also removing the sign(s) after the public hearing.



 APPELLANT

11/5/2018

 DATE

In simple terms, for the Board to grant you a variance in the zoning ordinance, you must convey to the Board what your hardship is. Hardships are narrowness, shallowness, irregular shape, and topography of property. The Board can also consider other practical difficulties such as mature trees, easements, and location of disposal systems which can affect your plan. Consideration can be given to the characteristics of the neighborhood and the way it is developed. One or more of these conditions MUST affect your inability to build or occupy the property to prove your case.

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WHAT SPECIFIC AND UNIQUE CIRCUMSTANCES (HARDSHIP) EXIST THAT WOULD AUTHORIZE THE CONSIDERATION OF THE BOARD UNDER THE REVIEW STANDARDS AS OUTLINED?

General Notes

1. Bearing basis: Metro GIS information.
2. Map reference: Being parcel 3 as shown on Davidson County Property Map 104-02, R.O.D.C.
3. Plat reference: Being Lots 97 & 98 as shown on the plan of West End Park Terrace as of record in Plan Book 547, Page 36, R.O.D.C.
4. Deed ref: Deed Book 5334, Page 776, R.O.D.C.
5. Address: 400 McAdoo Avenue Nashville, Tn. 37205
6. Area: Lot contains 5,400 sf or 0.12 +/- acre.
7. No Title Report was furnished to this Surveyor.
8. Property corners exist (o) / set (n) as shown hereon.

lot area: 5,400 sf
 proposed impervious area: 2,529 sf
 existing impervious area: 1,124 sf
 impervious area added: 1,405 sf

Developer Tier 2 Options

BMP	DESIGN	REQUIRED
cisterns		
dry well		
vegetated filter strip		
modified french drain	see table 32"widex30"deep	45 lf @ 32" wide x 30" deep
permeable pavement		
rain gardens		
Total		required: 1,405 sf provided: 1,440 sf

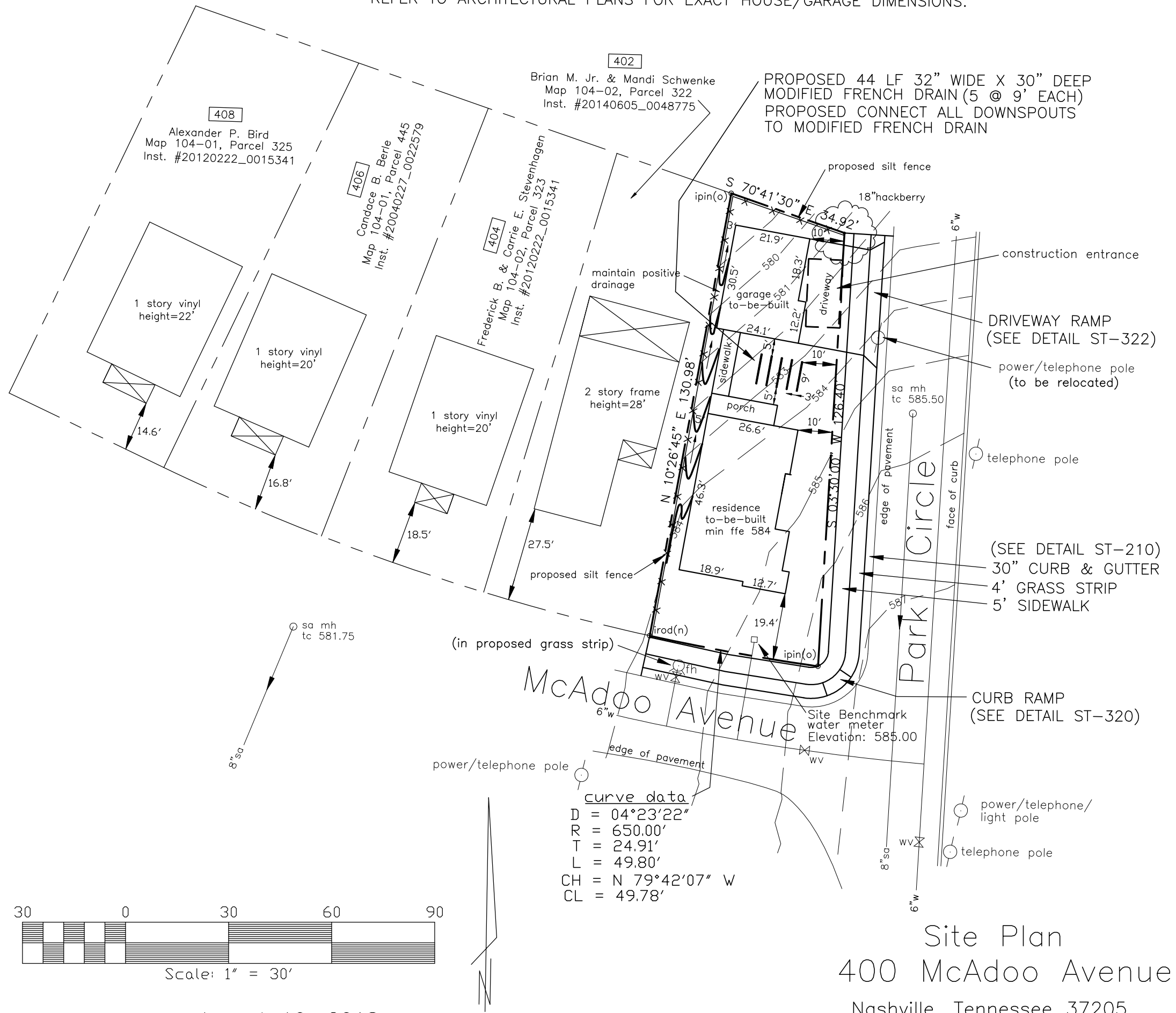
All work shall be done in accordance with Metro regulations - "Appendix H regulated Residential Infill Guidance".

prepared by...

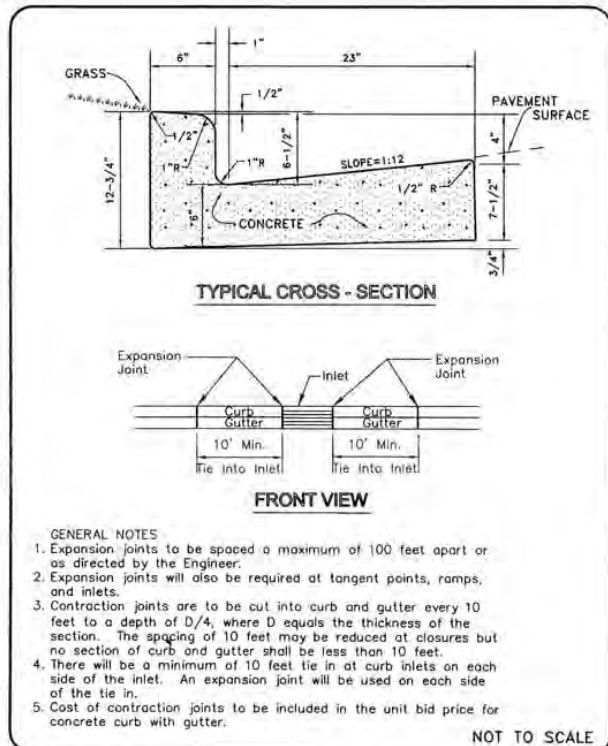
Marty Cantrell, RLS
 P.O. Box 293192
 Nashville, Tn 37229
 c 615.390.2729
 mcantrell78@gmail.com



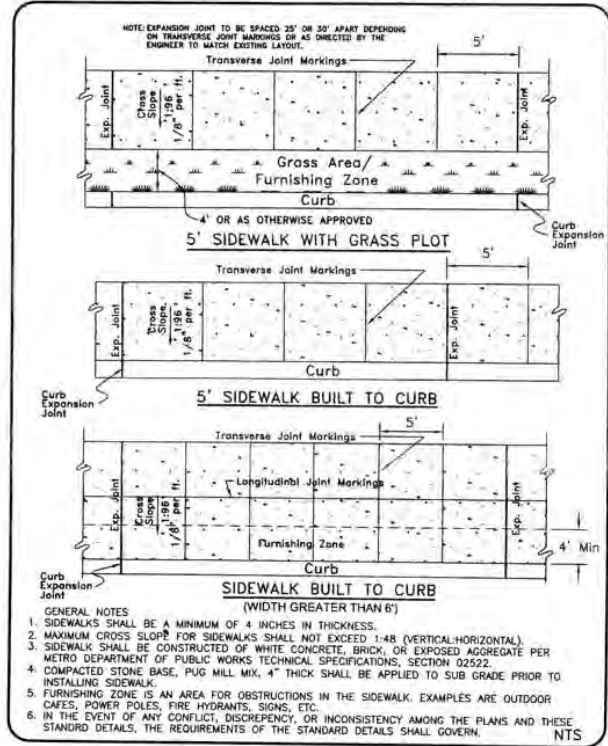
REFER TO ARCHITECTURAL PLANS FOR EXACT HOUSE/GARAGE DIMENSIONS.



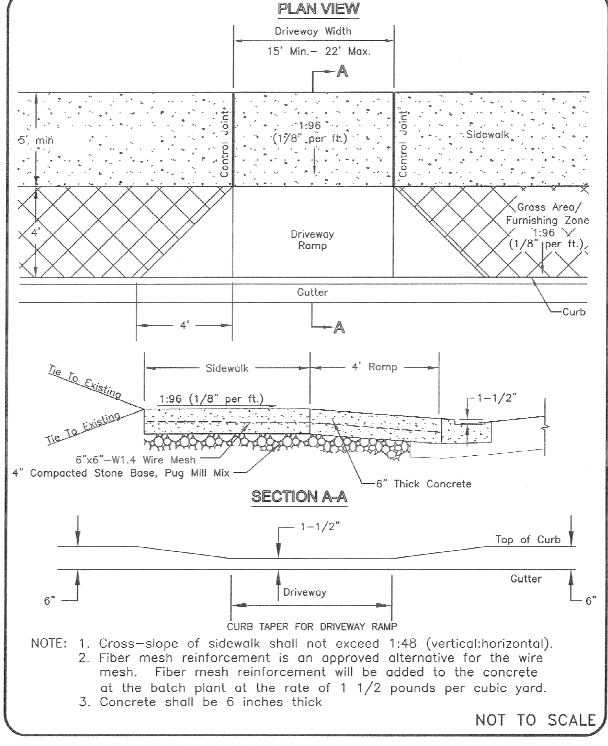
Site Plan
 400 McAdoo Avenue
 Nashville, Tennessee 37205



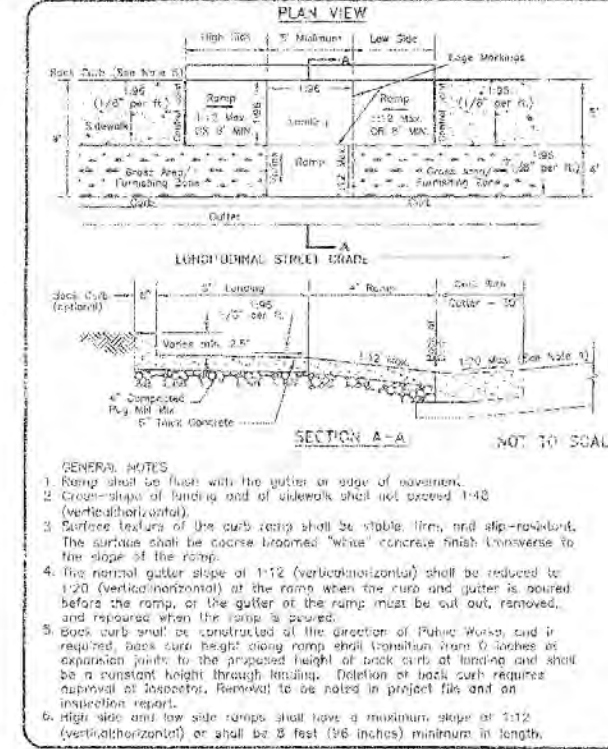
METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY DEPARTMENT OF PUBLIC WORKS	STANDARD CURB WITH GUTTER	DWG. NO. ST-200
DIR. OF ENG.: <i>Mark May</i>	DATE: 5/12/03	REVISED: 07/21/00 REVISED: 05/02/03



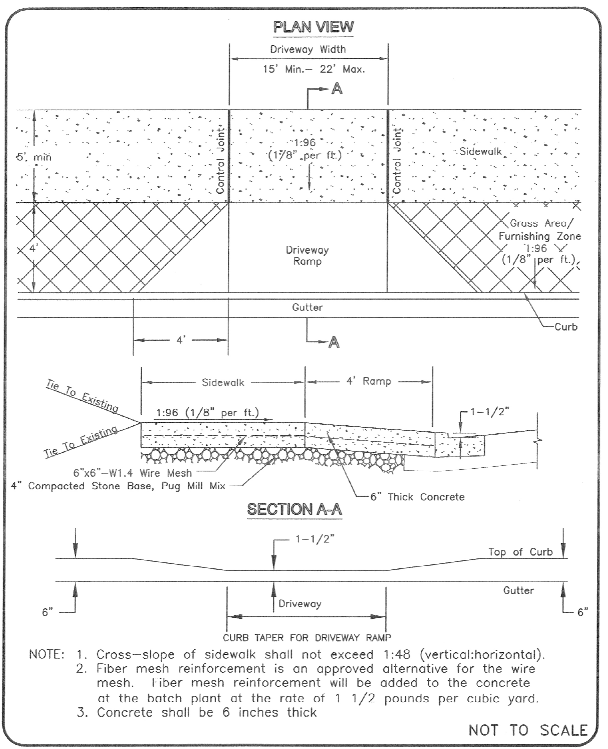
METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY DEPARTMENT OF PUBLIC WORKS	SIDEWALK CONSTRUCTION	DWG. NO. ST-210
DIR. OF ENG.: <i>Mark May</i>	DATE: 7/15/04	REVISED: 05/02/03 REVISED: 11/24/03 REVISED: 06/23/04



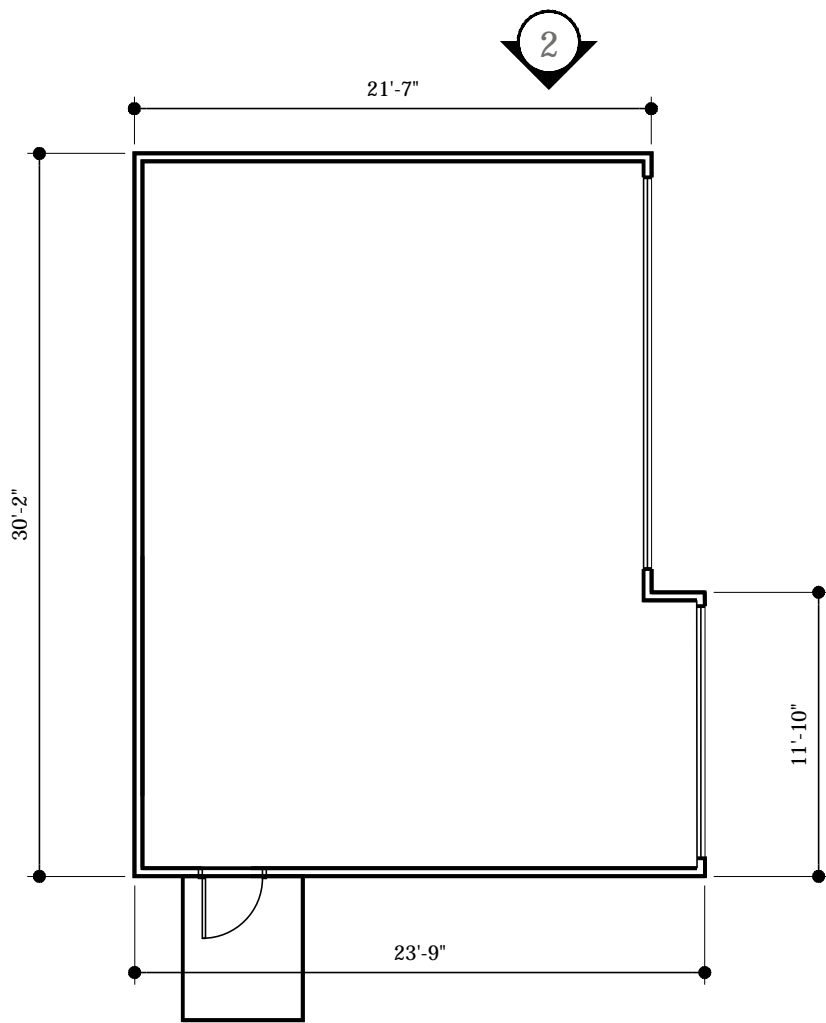
METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY DEPARTMENT OF PUBLIC WORKS	NEW CONSTRUCTION RESIDENTIAL DRIVEWAY RAMP	DWG. NO. ST-322
DIR. OF ENG.: <i>Mark May</i>	DATE: 5/12/03	REVISED: 07/27/02 REVISED: 05/08/03 REVISED: 06/09/03



METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY DEPARTMENT OF PUBLIC WORKS	NEW CONSTRUCTION CURB RAMP	DWG. NO. ST-320
DIR. OF ENG.: <i>Mark May</i>	DATE: 5/12/03	REVISED: 07/18/00 REVISED: 06/03/03



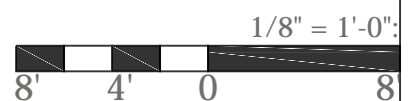
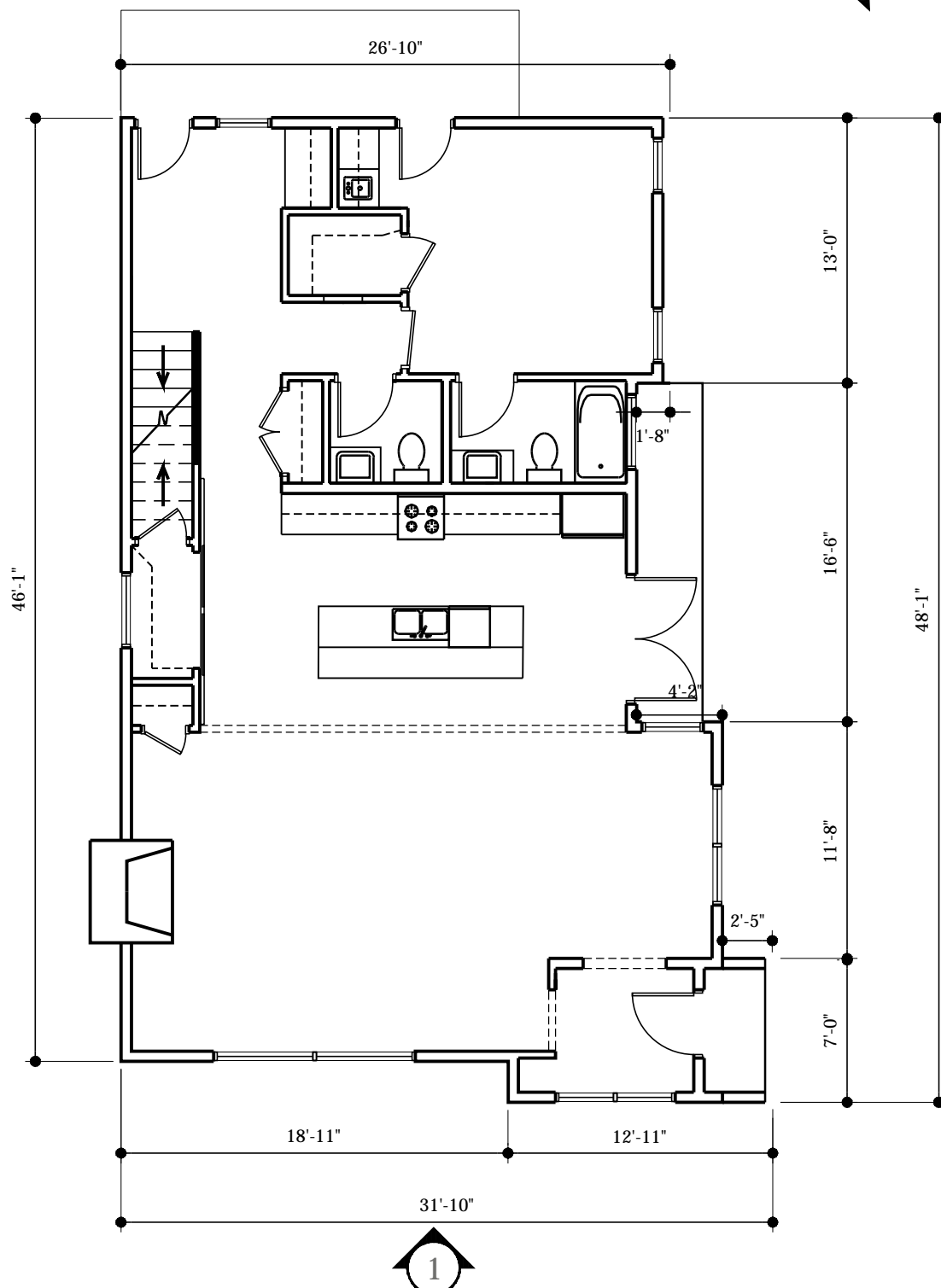
METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY DEPARTMENT OF PUBLIC WORKS	NEW CONSTRUCTION RESIDENTIAL DRIVEWAY RAMP	DWG. NO. ST-322
DIR. OF ENG.: <i>Mark May</i>	DATE: 5/12/03	REVISED: 07/27/02 REVISED: 05/08/03 REVISED: 06/09/03

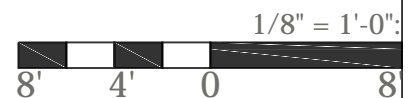
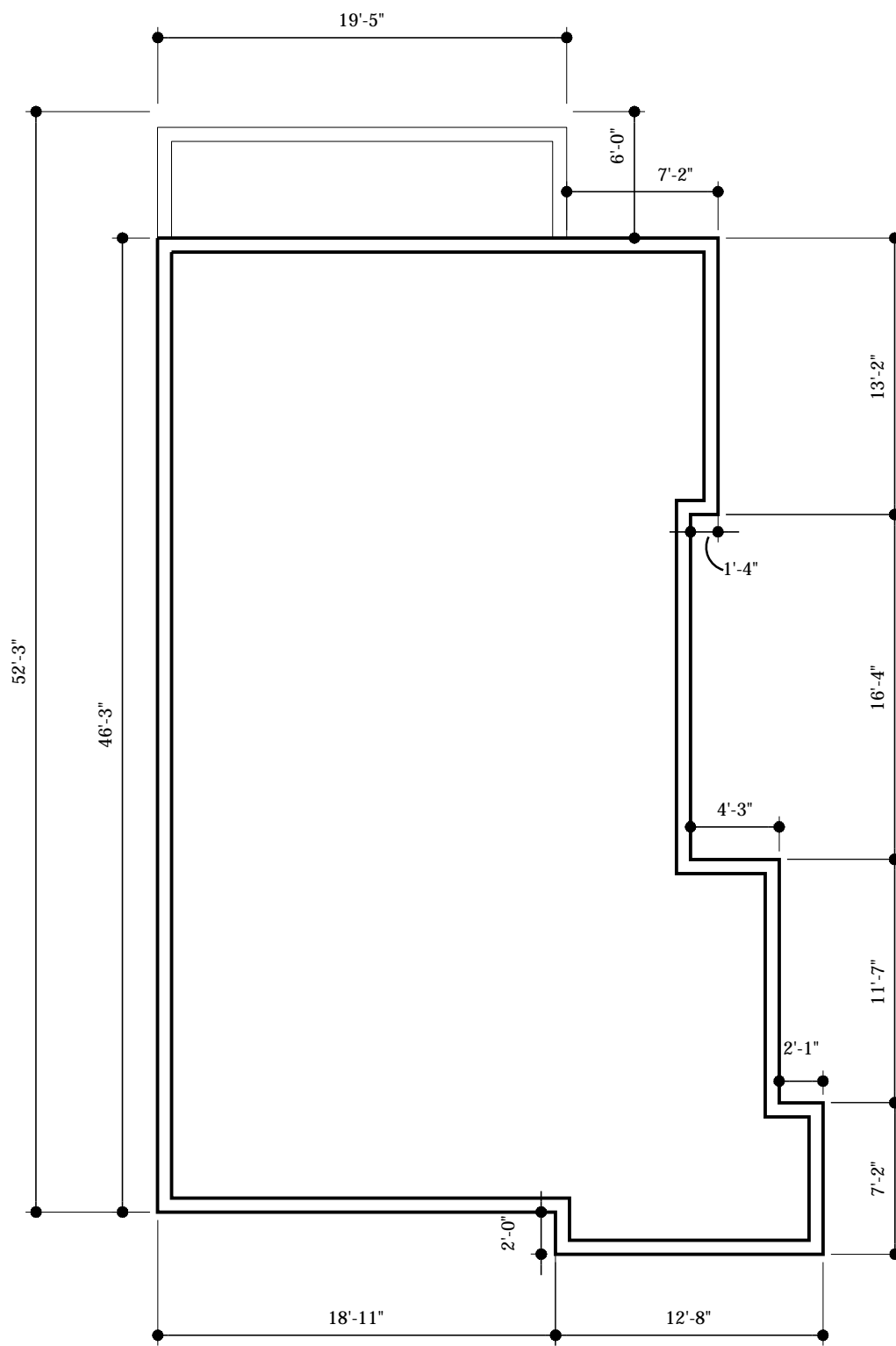
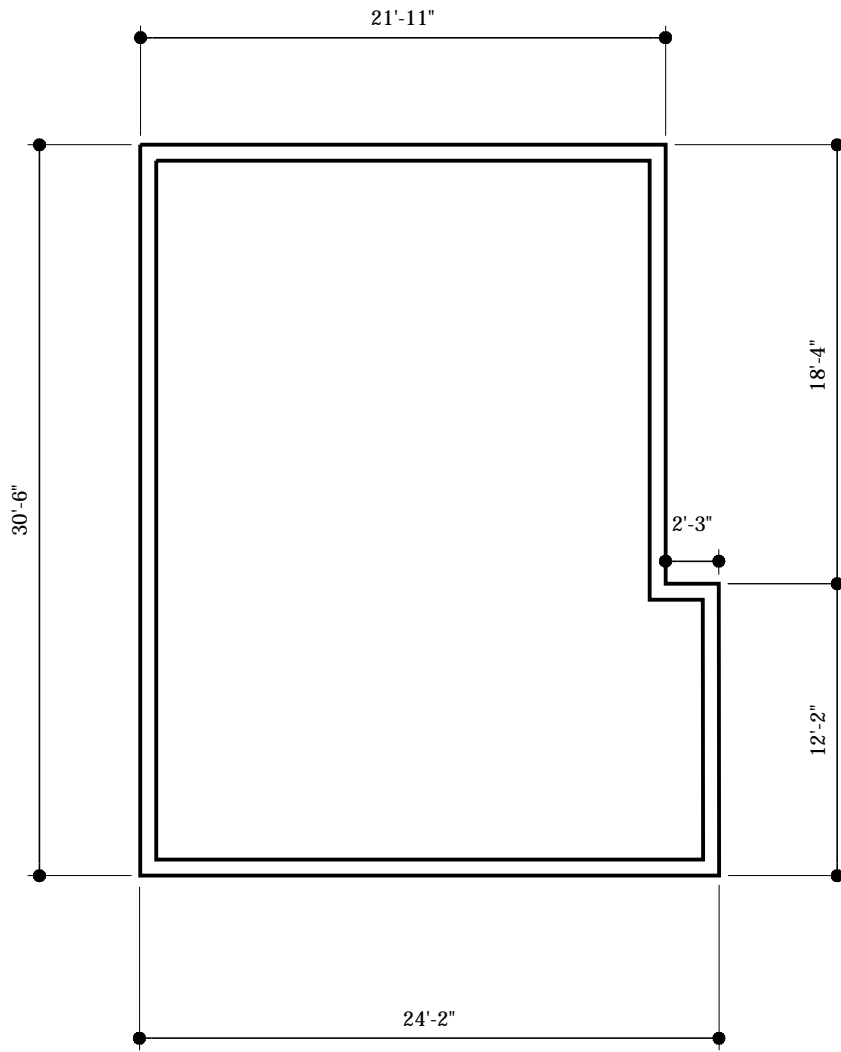


SQUARE FOOTAGE CALCULATIONS

FIRST FLOOR HEATED	1260
SECOND FLOOR HEATED	1260
TOTAL HEATED	2520

ATTIC - UNFINISHED	819
GARGAGE	675
GARGAGE ATTIC	675
TOTAL UNHEATED	2169

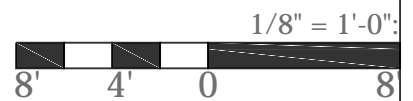
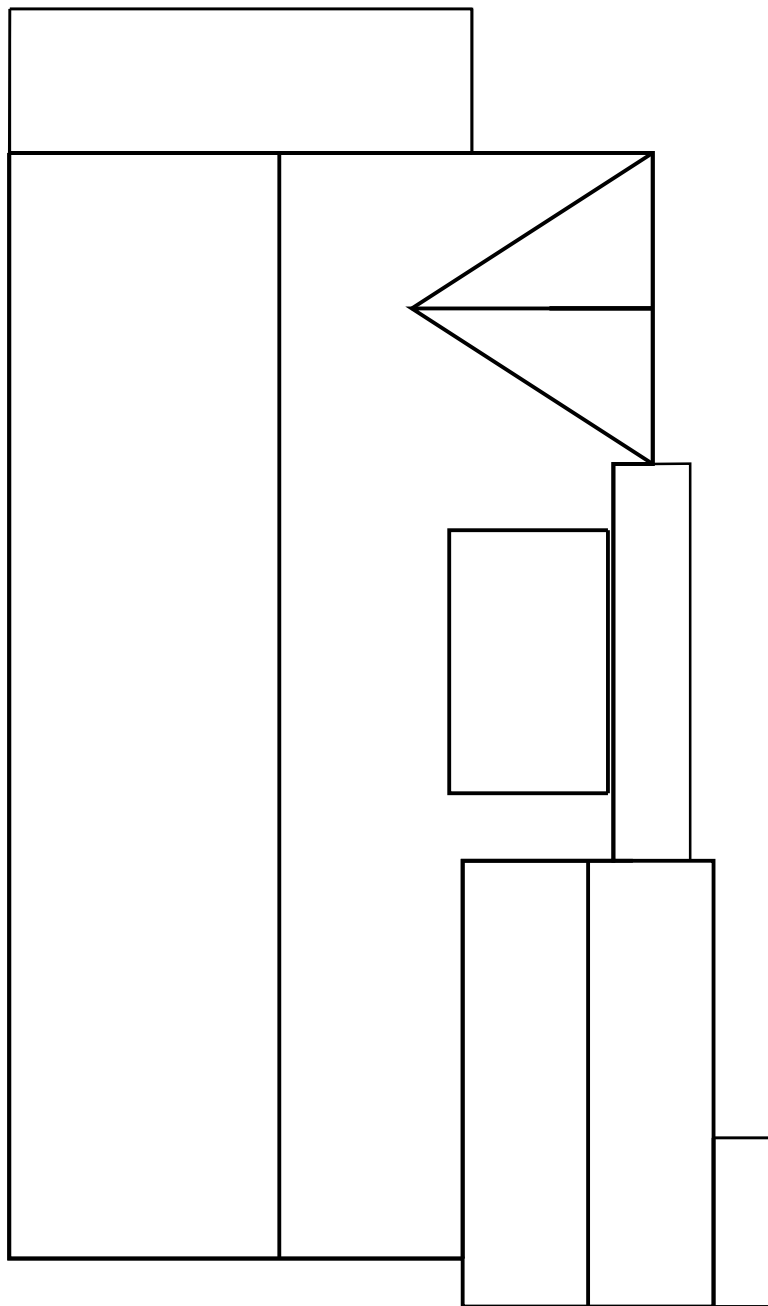
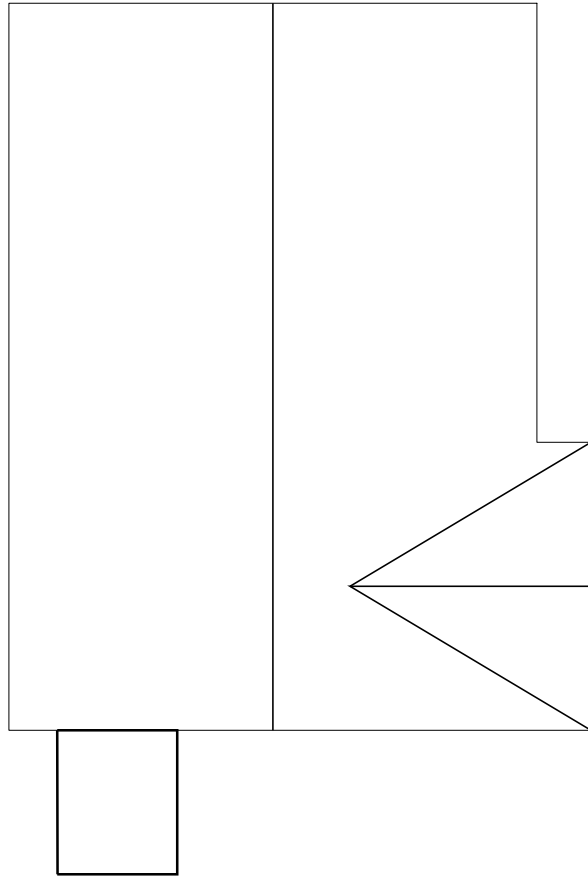




FOUNDATION PLAN

400 MCADOO AVENUE
NASHVILLE, TN
DATE: 04.20.2018



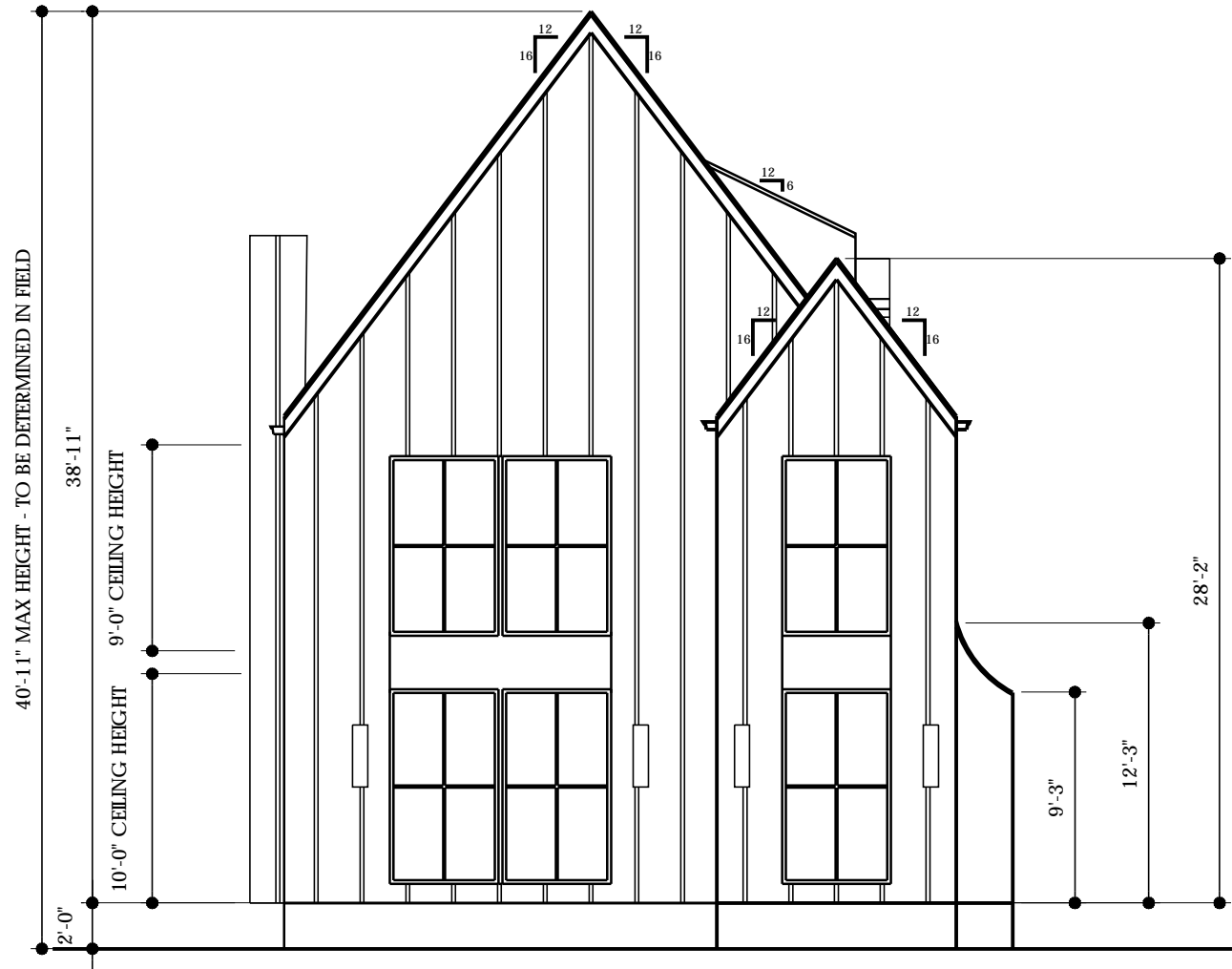


ROOF PLAN

400 MCADOO AVENUE

NASHVILLE, TN
DATE: 04.20.2018

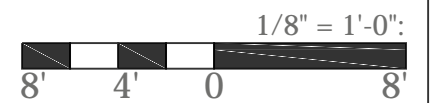




1 + front elevation:



2 + back elevation:



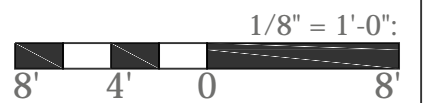
ELEVATIONS

400 MCADOO AVENUE
NASHVILLE, TN
DATE: 04.20.2018





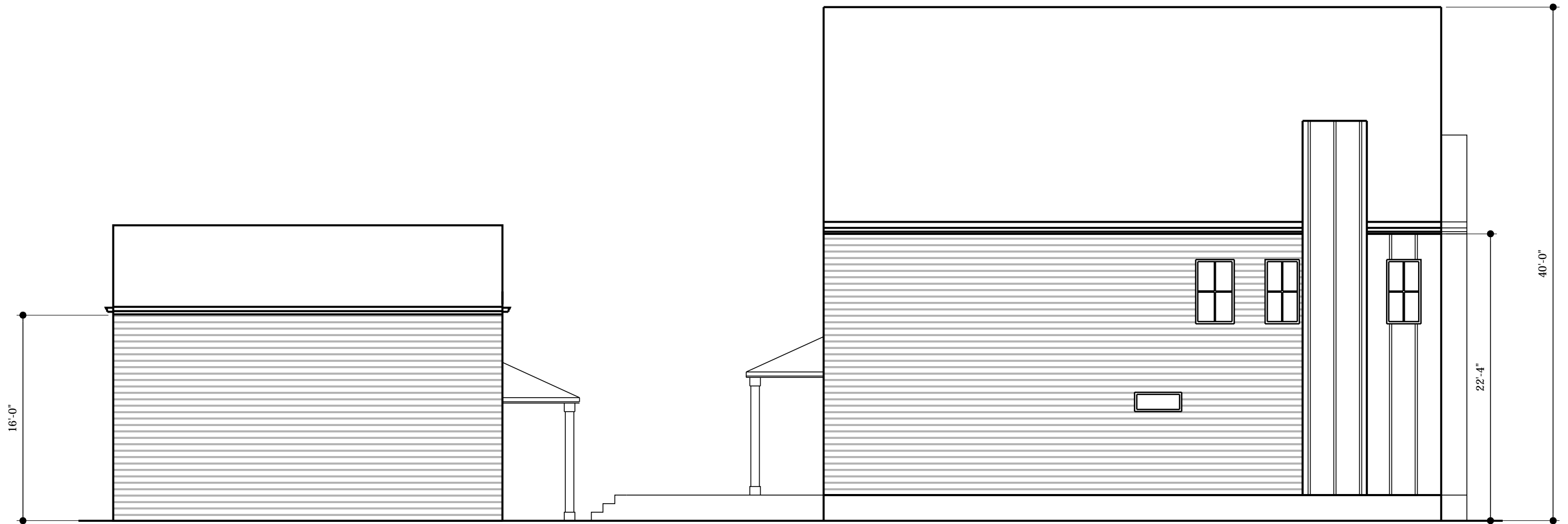
3 + side elevation:



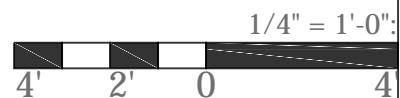
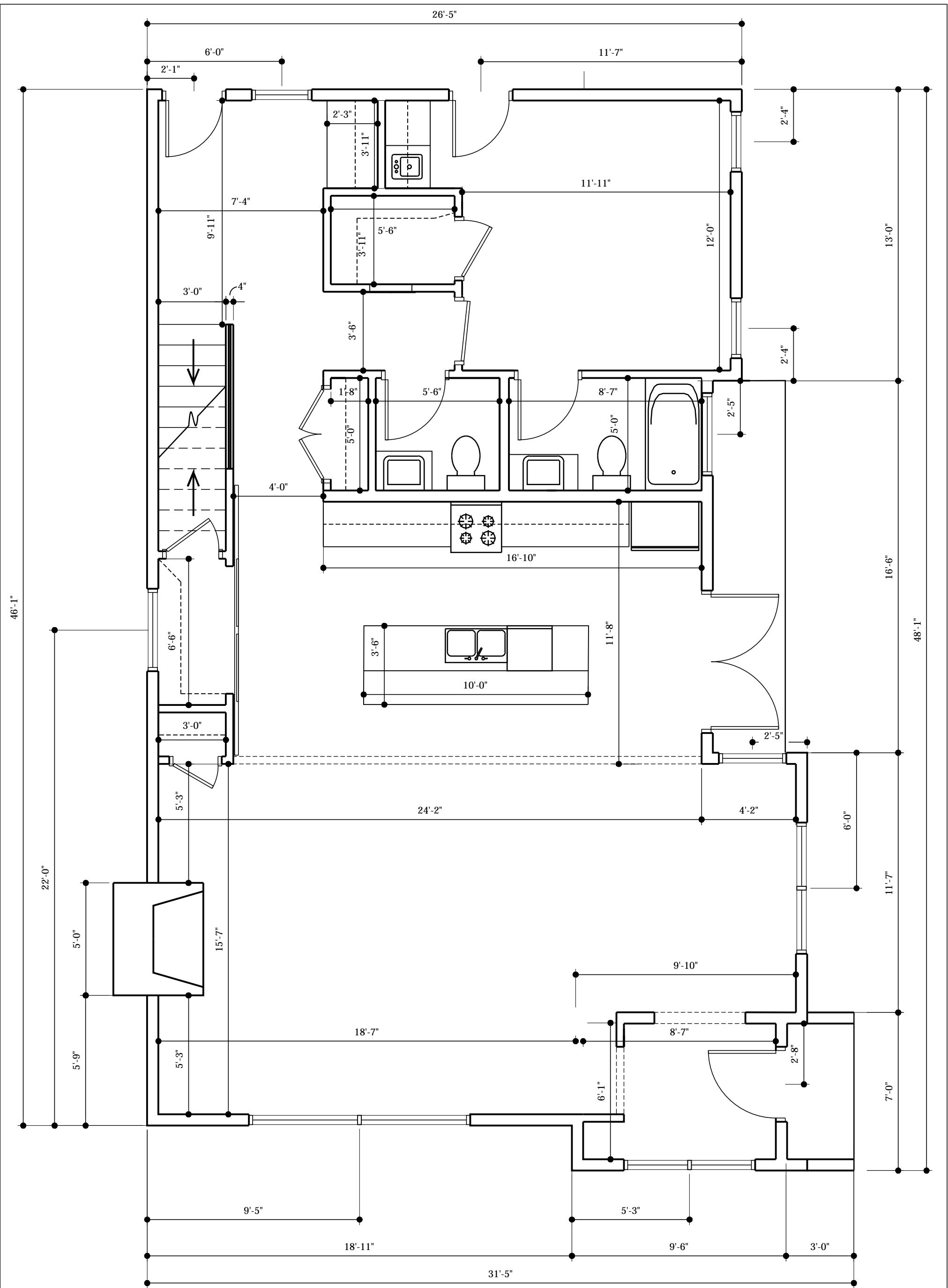
ELEVATIONS

400 MCADOO AVENUE
NASHVILLE, TN
DATE: 04.20.2018





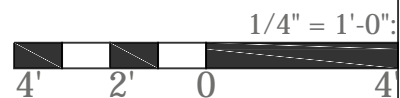
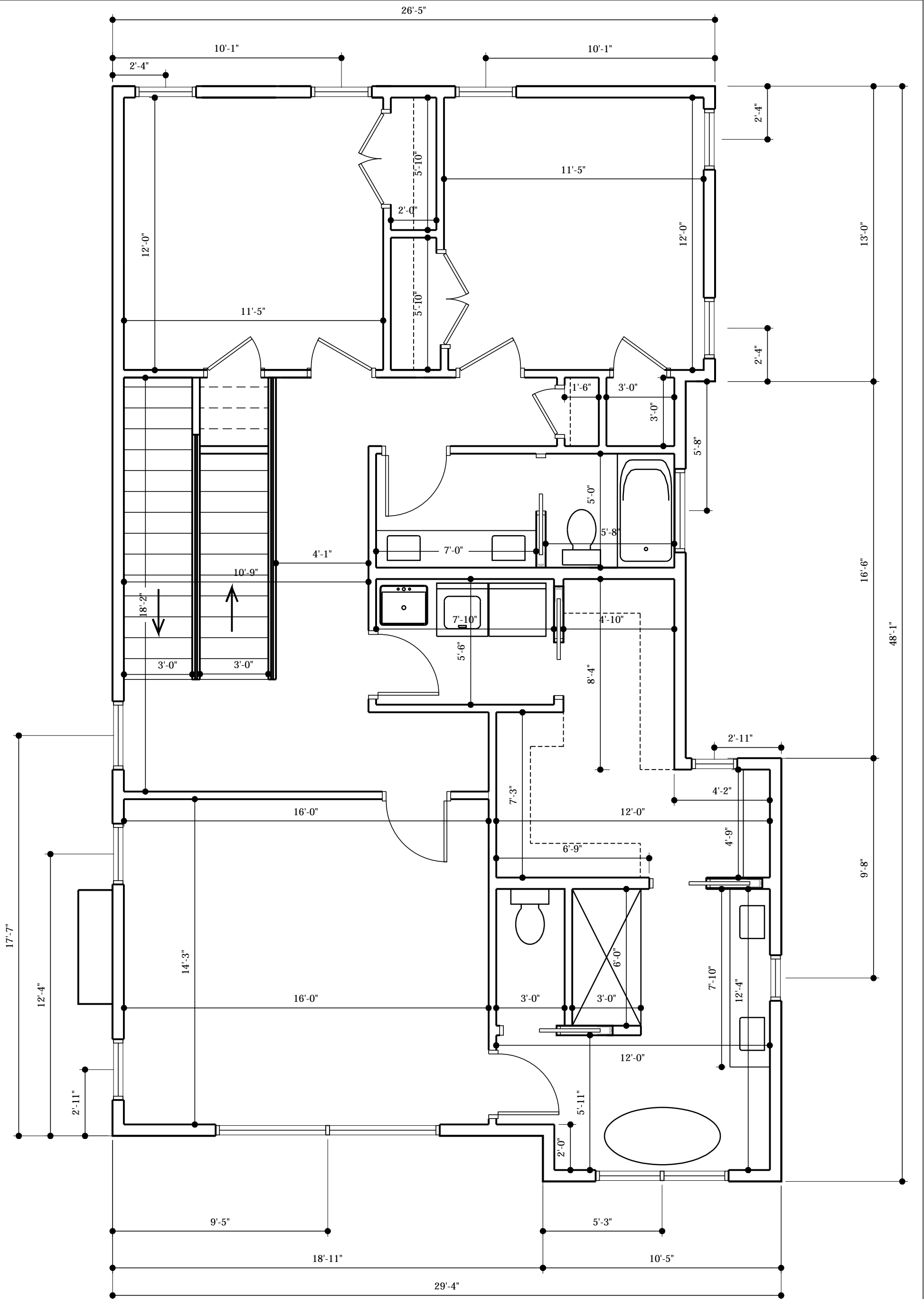
4 + side elevation:



FIRST FLOOR - 1260 SF

400 MCADOO AVENUE
 NASHVILLE, TN
 DATE: 04.20.2018



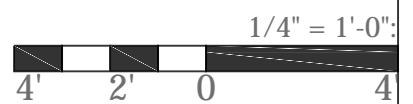
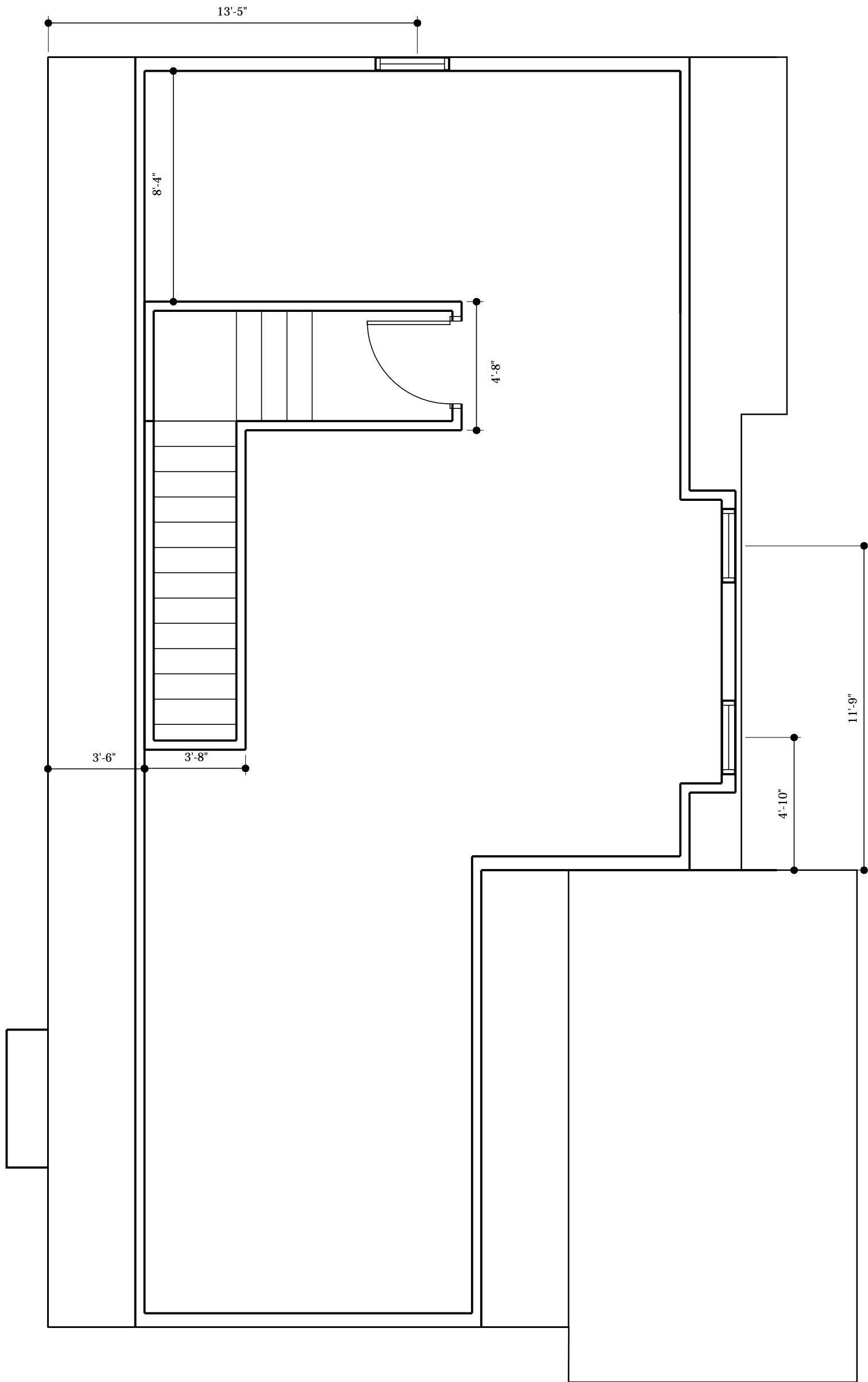


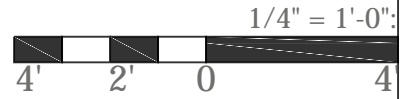
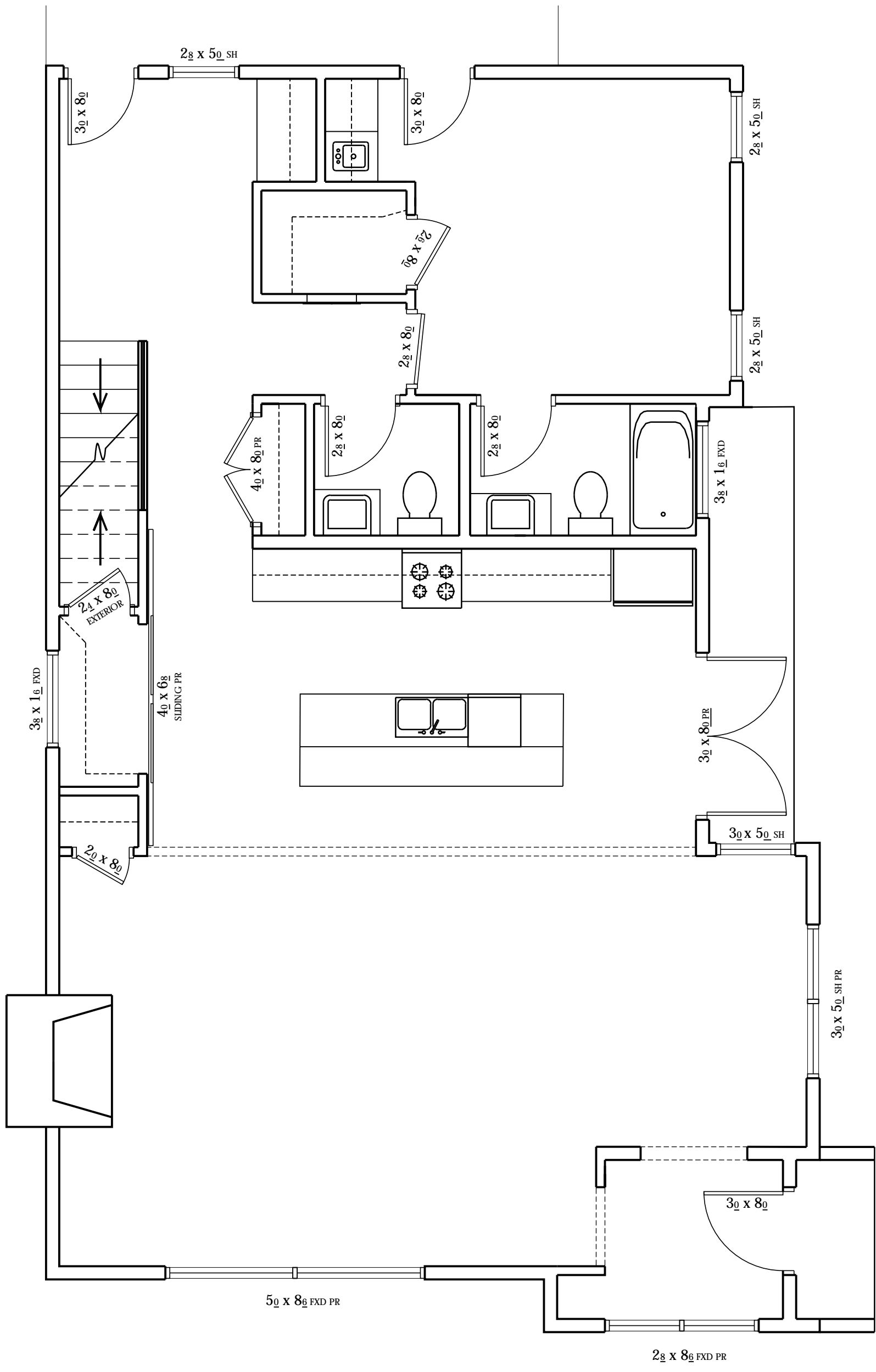
SECOND FLOOR - 1260 SF

400 MCADOO AVENUE

NASHVILLE, TN
DATE: 04.20.2018



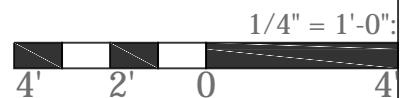
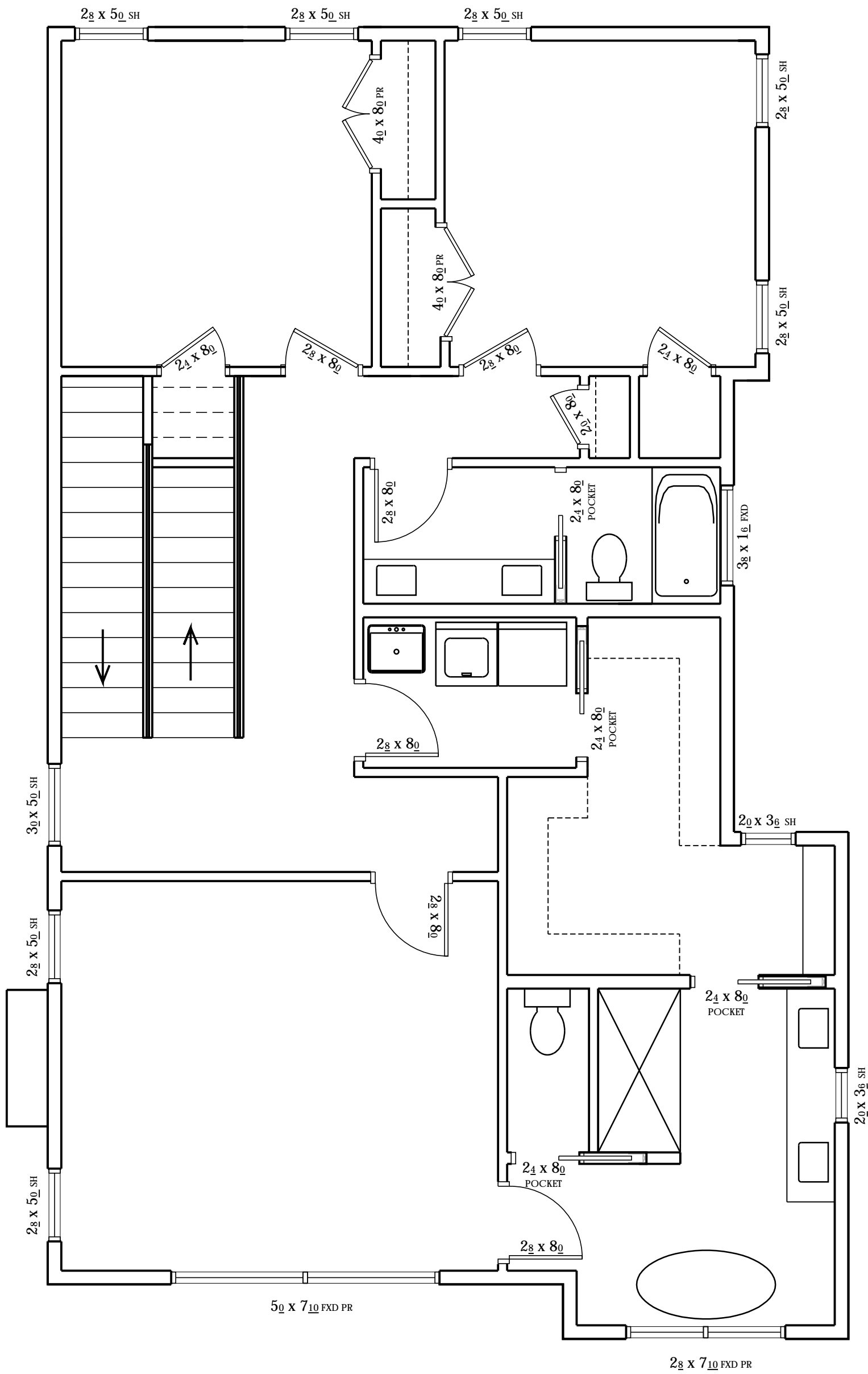




FIRST FLOOR- WINDOWS AND DOORS

400 MCADOO AVENUE
NASHVILLE, TN
DATE: 04.20.2018



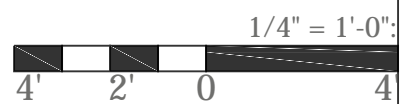
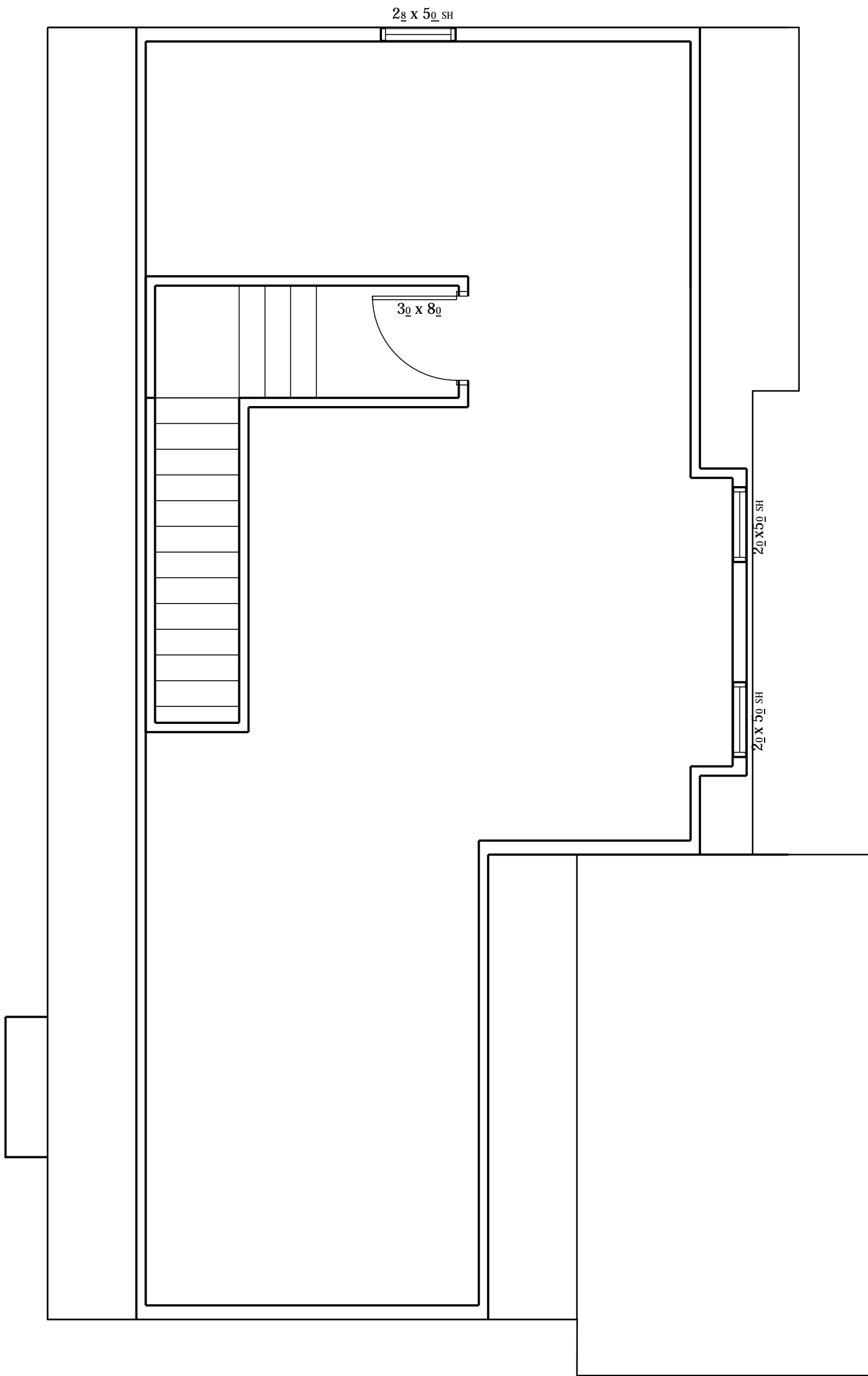


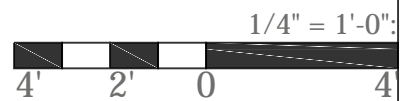
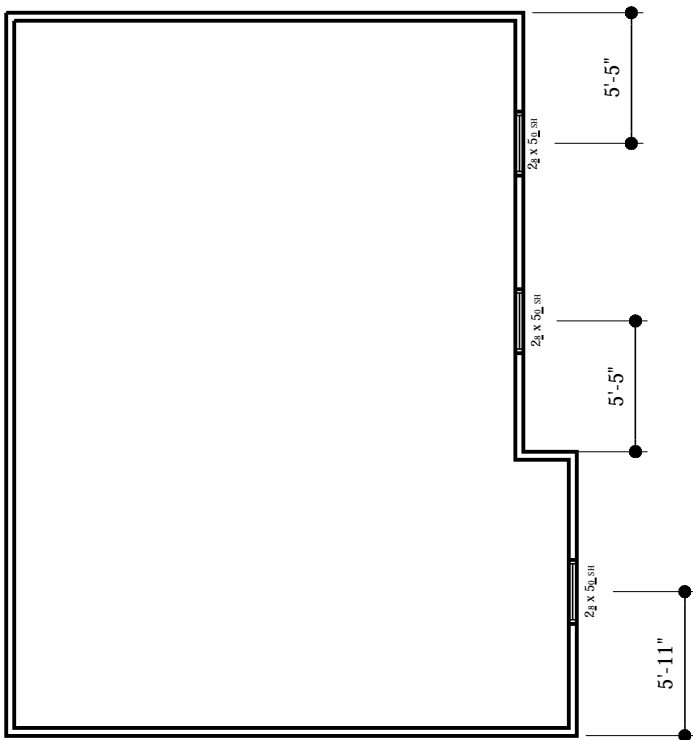
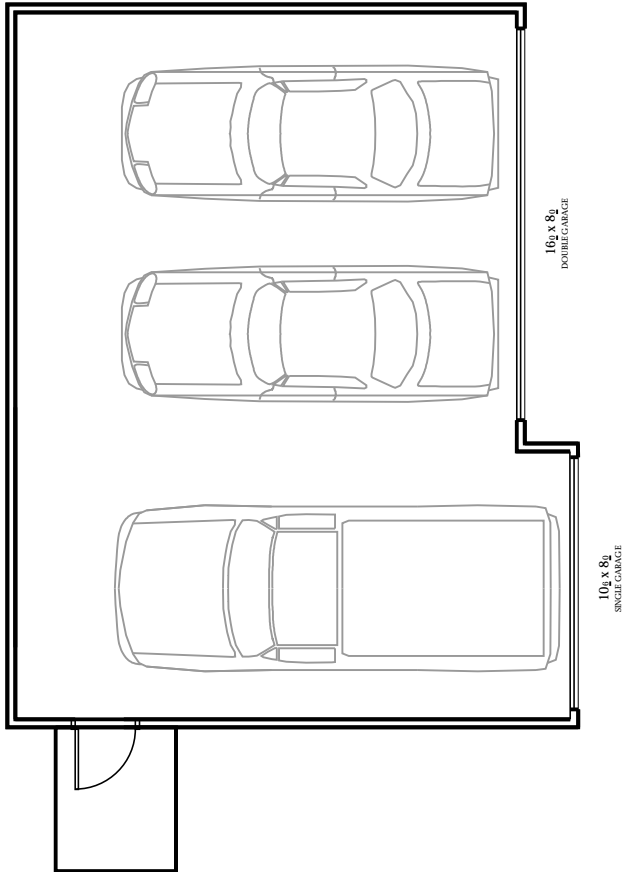
SECOND FLOOR- WINDOWS AND DOORS

400 MCADOO AVENUE

NASHVILLE, TN
DATE: 04.20.2018





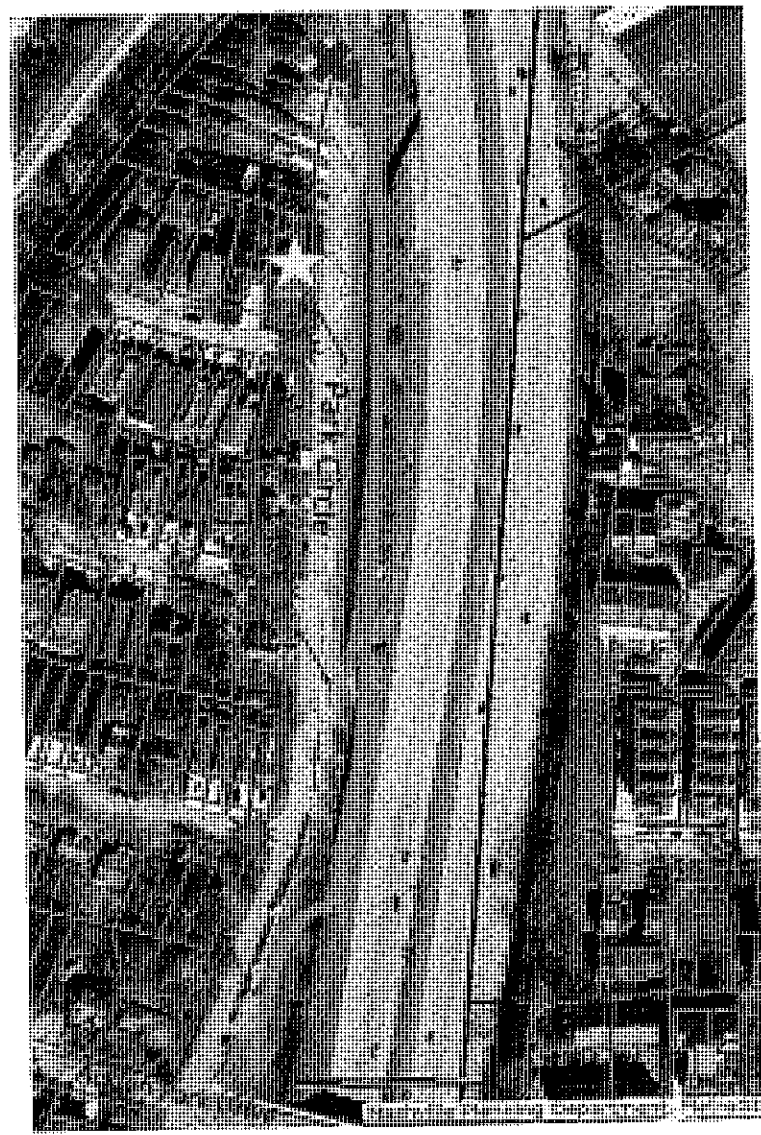


☆ Represents the property location.

↔ Represents the existing paved greenway that is located parallel to the requested sidewalk variance on Park Circle

★ Represents the three locations at which pedestrians would cross a vehicular path if they used the proposed sidewalk from the property on Park Circle to Acklen Park Drive – please note: the vehicle exposure is not present to the pedestrian when using the existing greenway path to existing sidewalks on Acklen Park Drive.

✕ The location at which Park Circle and McAdoo dead end, indicating lower vehicular traffic seen on this end of Park Circle and McAdoo.



PLANNING DEPARTMENT SIDEWALK VARIANCE RECOMMENDATION

BZA Case 2018-719 (725 Park Circle)

Metro Standard:	Park Circle - 4' grass strip, 5' sidewalk, as defined by the Local Street Standard
	McAdoo Avenue - 4' grass strip, 5' sidewalk, as defined by the Local Street Standard
Requested Variance:	Not construct sidewalks; not contribute in lieu of construction (eligible)
Zoning	R6
Community Plan Policy:	T4 NE (Urban Neighborhood Evolving)
MCSP Street Designation:	Park Circle - Local Street
	McAdoo Avenue - Local Street
Transit:	None existing; none planned
Bikeway:	440 Greenway directly across the street

Planning Staff Recommendation: *Approve with conditions.*

Analysis: The applicant is constructing a single family dwelling, and requests a variance from constructing sidewalks due to lack of existing sidewalks in the area, a new greenway across the street, and the property's large frontage along a corner lot. Planning evaluated the following factors for the variance request:

- (1) There is currently no sidewalk on either of the property's frontages, which is consistent with both block faces, and the neighborhood.
- (2) Given that the property is a corner lot along two dead-end streets, a contribution in-lieu of construction with dedication of right-of-way for future sidewalk construction are appropriate alternatives in this situation.

Given the factors above, staff recommends **approval with conditions**:

1. The applicant shall contribute in-lieu of construction for the McAdoo Avenue property frontage.
2. Prior to the issuance of building permits, dedicate right-of-way along both property frontages to accommodate future sidewalks per the Local Street standard.

Metropolitan Board of Zoning Appeals

Metro Howard Building
800 Second Avenue South
Nashville, Tennessee 37210



Appellant: Jeremy Payton

Date: 11/15/18

Property Owner: _____

Case #: 2018-720

Representative: Jeremy Payton

Map & Parcel: ① 92-6-424
② 92-6-D1r2 802 28th AV N.
804 A+B 28th AV N.

Council District 21

The undersigned hereby appeals from the decision of the Zoning Administrator, wherein a Zoning Permit/Certificate of Zoning Compliance was refused:

Purpose: 2 Properties
NCF HPR on Each

Activity Type: Duplex

Location: 802 + 804 28th AV N. N.T
37208

This property is in the B55 Zone District, in accordance with plans, application and all data heretofore filed with the Zoning Administrator, all of which are attached and made a part of this appeal. Said Zoning Permit/Certificate of Zoning Compliance was denied for the reason:

Reason: Sidewalks Required + Not Allowed
to contribute

Section(s): 17.20.120

Based on powers and jurisdiction of the Board of Zoning Appeals as set out in Section 17.40.180 Subsection B Of the Metropolitan Zoning Ordinance, a Variance, Special Exception, or Modification to Non-Conforming uses or structures is here by requested in the above requirement as applied to this property.

Jeremy Payton
Appellant Name (Please Print)

Representative Name (Please Print)

3716 WEST END AVE
Address

Address

NASHVILLE, TN, 37205
City, State, Zip Code

City, State, Zip Code

615-828-2977
Phone Number

Phone Number

Jeremy@capitalcityconstructionllc.com
Email

Email

Appeal Fee: 200⁰⁰



**Metropolitan Government
of Nashville and Davidson County, Tennessee
Department of Codes and Building Safety
800 Second Avenue South, Nashville, TN 37210**



ZONING BOARD APPEAL / CAAZ - 20180069893

ISSUED ON:

I hereby certify that I am the agent of the owner, or other person in control of this property, and that the information given herein, and as shown on the application and the permit, is true; and that I am authorized by said owner, or other person in control of this property, to obtain this permit. I understand that if the construction and/or installation for which this permit is issued is contrary to the requirements of Metropolitan codes or regulations, said violations must be corrected, and the permit may be voided. I further certify that I am in compliance with the State of Tennessee statutes relating to licensing contractors for the work described in this permit. Work must start within six(6) months and must be completed within two(2) years of issue date. Permits become invalid if work does not start within six(6) months or is suspended for one(1) year after start date. Extensions of ninety(90) days each may be allowed in writing by the Director.

Approval (Where Required)

Date

SITE ADDRESS:

802 28TH AVE N NASHVILLE, TN 37208

LOT 10 LENA COURT

PARCEL: 09206042400

Tax District: USD

Census Tr: 37014300

SITE ADDRESS:

804 A 28TH AVE N NASHVILLE, TN 37208

UNIT A HOMES AT 804 A & B 28TH AVENUE NORTH

PARCEL: 092060D00100CO

Tax District: USD

Census Tr: 37014300

PARCEL OWNER:

PURPOSE:

BZA APPEAL TO TWO PROPERTIES....ONE OF WHICH ALREADY HAS CONDO MAP AND PARCEL NUMBERS.

1....092-06 0 424.00 ACTIVE MAP AND PARCEL.

2....092-06-0 423.00 INACTIVE MAP AND PARCEL...ACTIVE HPR NUMBERS NOW...92-6-D 1 AND 2.

***REQUEST TO CONSTRUCT NEW HPR DUPLEX ON EACH OF THE TWO.

DENIED: SIDEWALKS REQUIRED AND NOT ALLOWED TO CONTRIBUTE//17.20.120.

REQUEST NOT TO CONSTRUCT AND NOT TO CONTRIBUTE.

POC: JEREMY PAYTON 615-828-2977

Jeremy@capitalcityconstructionllc.com

also see BZA UNDER ADJACENT PARCEL 422 ALSO CONCERNING SIDEWALKS...

PERMIT DETAILS:

Estimated Value:

Number of Floors:

Const Type:

Sewer or Septic:

Sq Footage:

Total # Buildings:

Parking Required: N

Total # Units:

Parking Provided: N

Garage: N

Sprinklers? N

Number of Bedrooms:

Metro Water:

Number of Kitchens:

Public Constr? N

ZONING ASSIGNMENTS:

OV-UZO URBAN ZONING OVERLAY

RS5 SINGLE FAMILY 5,000 SQUARE FOOT LOT

OV-UZO URBAN ZONING OVERLAY

RS5 SINGLE FAMILY 5,000 SQUARE FOOT LOT

APPLICATION FOR A VARIANCE REQUEST

After your appeal is filed, Zoning staff will visit the site to take photographs for the Board members. So they will have a better ideal of the nature of your request. Zoning staff will notify the district council member of the hearing. You will be responsible for preparing the envelopes and notices for mailing to the owners of property within 600 feet pf the property at issue in the case. The envelopes must include the return address for the BZA and case number. Fold and insert notices into envelopes, seal the envelopes, and apply first class postage. These neighbor notices must be delivered to Zoning staff at least twenty-three (23) days before the public hearing. Additionally, you will be responsible for purchasing, posting, and removing the red Zoning Appeal signs for the subject property. (See attached Metro Code of Laws requirements regarding, sign placement.)

The day of the public hearing, it will be your responsibility to convey to the Board the nature of the hardship in your request that makes it difficult/impossible for you to comply with the Zoning Code. **It would be to your benefit to let your neighbors know about your request prior to all notices being sent to them from our office.**

Any party can appeal the Board's decision to Chancery or Circuit Court within sixty (60) days from the date the order in the case is entered. **Should your request be granted, we would remind you that it is your responsibility to obtain the permit for which you have applied.** You should also be aware that you have two (2) years to obtain the permit or you would have to re-file your request with the board.

Once your request is filed, the staff will review your request to verify that the submittal is complete. Incomplete submittals will not be scheduled for hearing until complete.

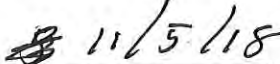
Any correspondence to the Board must be submitted to our office by noon, the Monday prior to the public hearing to be included in the record. You must provide eight (8) copies of your information to staff.

We hope that this information will be of help to you in understanding the variance procedure and if our office can be of further assistance, please do not hesitate to contact us.

METROPOLITAN BOARD OF ZONING APPEALS (615) 862-6510

I am aware that I am responsible for posting and also removing the sign(s) after the public hearing.

x 
 APPELLANT for Jeremy
 Payton


 DATE

Standards for a Variance

The Metropolitan Board of Zoning Appeals may grant variances from the strict application of the provisions of the Zoning Code based upon findings of fact related to the standards in section 17.40.370. This Section is included as follows:

Physical Characteristics of the property- The exceptional narrowness, shallowness or shape of a specific piece of property, exceptional topographic condition, or other extraordinary and exceptional condition of such property would result in peculiar and exceptional practical difficulties to, or exceptional or undue hardship upon the owners of such property.

Unique characteristics- *The specific conditions cited are unique to the subject property and generally not prevalent to other properties in the general area.*

Hardship not self-imposed- *The alleged difficulty or hardship has not been created by the previous actions of any person having an interest in the property after date of Zoning Code.*

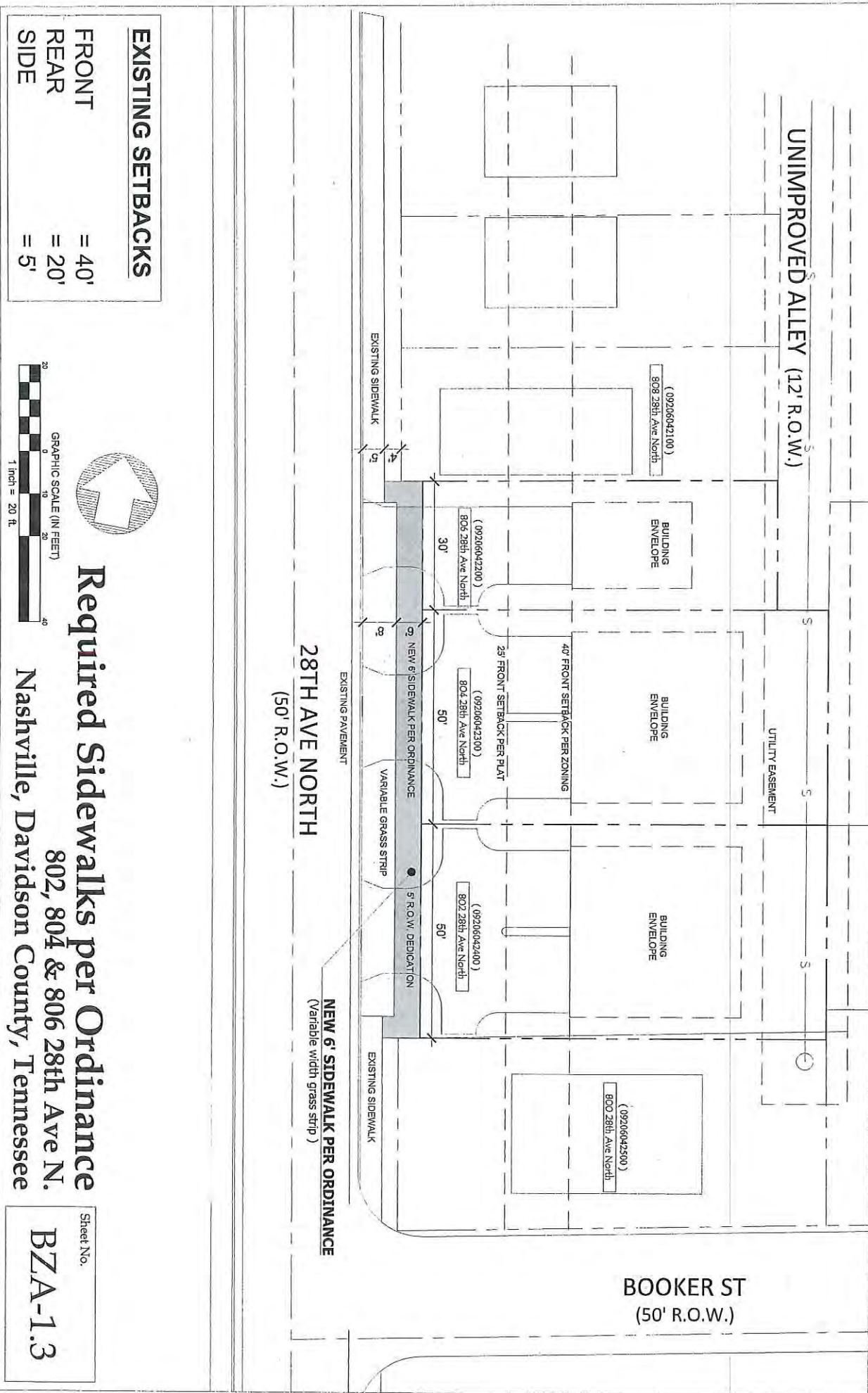
Financial gain not only bases-*Financial gain is not the sole basis for granting the variance.*

No injury to neighboring property- *The granting of a variance will not be injurious to other property or improvements in the area, impair and adequate supply of light and air to adjacent property, or substantially diminish or impair property values within the area.*

No harm to public welfare- *The granting of the variance will not be detrimental to the public welfare and will not substantially impair the intent and purpose of this Zoning Code.*

Integrity of Master Development Plan- *The granting of a variance will not compromise the design integrity or functional operation of activities or facilities within an approved Planned Unit Development.*

The Board shall not grant variances to the land use provisions of section 2.3, nor the density of Floor Area Ratio (FAR) standards of Tables 3-B and 2-C, nor the required size of residential lots approved by the Planning Commission under the authority of section 3.7 (Lot Averaging), section 3.8 (Cluster Lot Option) or Section 9. E.3 (PUD). Further the Board shall not act on a variance application within a Planned Unit Development (PUD), Urban Design Overlay or Institutional Overlay district without first considering a recommendation from the Planning Commission.



UNIMPROVED ALLEY (12' R.O.W.)

UTILITY EASEMENT

BUILDING ENVELOPE

BUILDING ENVELOPE

BUILDING ENVELOPE

(09206042100)
808 28th Ave North

(09206042200)
805 28th Ave North

(09206042300)
804 28th Ave North

(09206042300)
802 28th Ave North

(09206042300)
800 28th Ave North

BOOKER ST
(50' R.O.W.)

28TH AVE NORTH
(50' R.O.W.)

NEW 6' SIDEWALK PER ORDINANCE
(Variable width grass strip)

EXISTING SIDEWALK

EXISTING PAVEMENT

EXISTING SIDEWALK

EXISTING SETBACKS

- FRONT = 40'
- REAR = 20'
- SIDE = 5'



GRAPHIC SCALE (IN FEET)

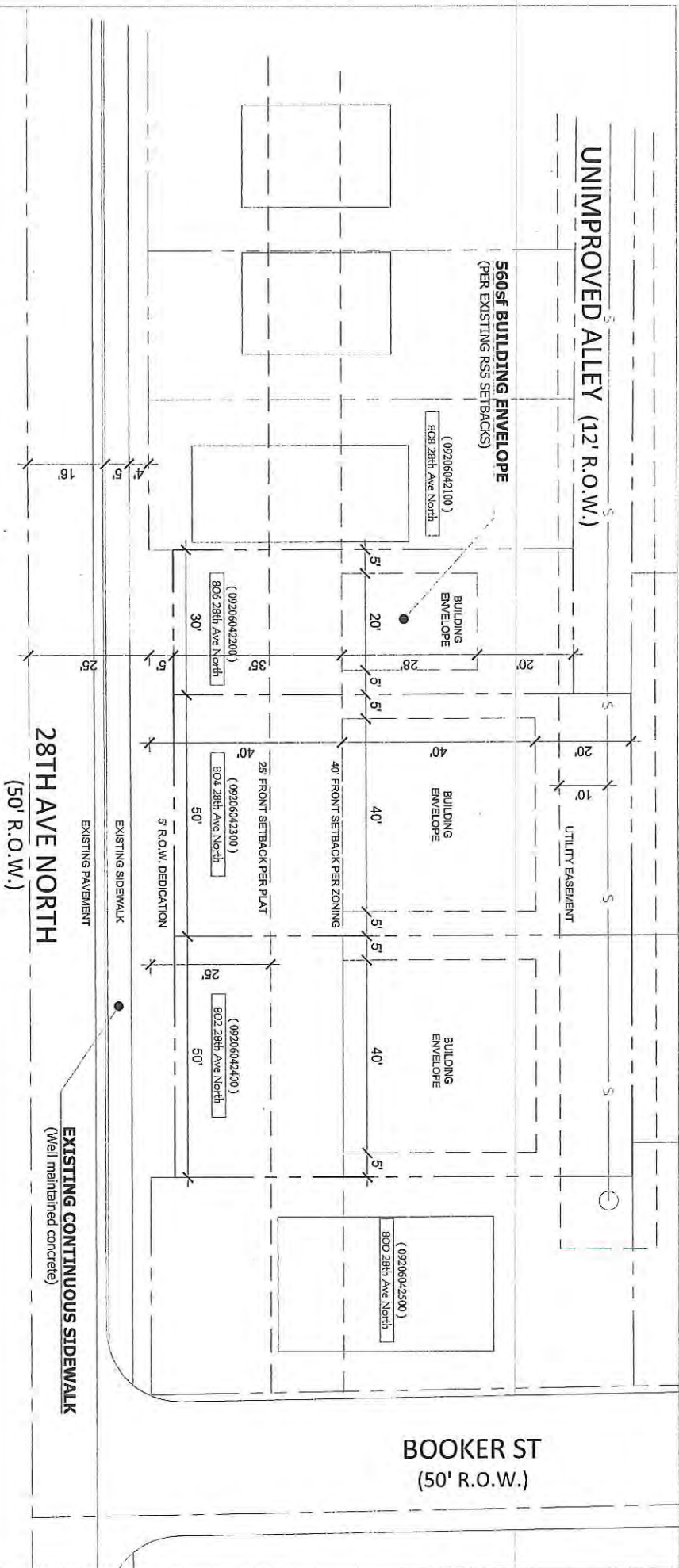


Required Sidewalks per Ordinance

802, 804 & 806 28th Ave N.
Nashville, Davidson County, Tennessee

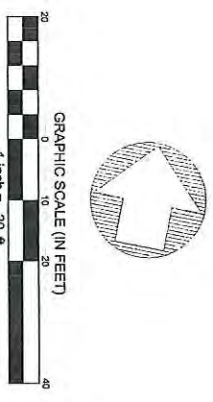
Sheet No.

BZA-1.3



EXISTING SETBACKS

FRONT	= 40'
REAR	= 20'
SIDE	= 5'



Existing Conditions
 802, 804 & 806 28th Ave N.
 Nashville, Davidson County, Tennessee

Sheet No.
BZA-1.0



40

0920603630

40

09206036400

40

09206036500

09206070900

40

40

09206036600

40

09206036700

40

09206036800

40

09206036900

09206037000

30

09206041800

30

09206041900

30
30

09206042000

09206042100

30
00

09206042200

88

RS5

092060D00200CO

092060D00100CO

50

092060D90000CO

50

09206042400

45

50S

09206042500

100

BOOKER ST

116

09206050800

09206043300

09206043200

09206043100

09206042900

09206042800

09206042600

128

102

09206053100

102

09206053000

939 ALY

939 ALY

38TH AVE N T4-R-AB2-LM

SUMMARY

APN 09206042300 804 28TH AVE N

- Address
- Owner
- Property
- Parcel Genealogy
- Comments**
- Land Use
- Tax Assessments
- Flags
- Geographic Areas
- Zoning
- Permits / RFS

COMMENTS

Comment

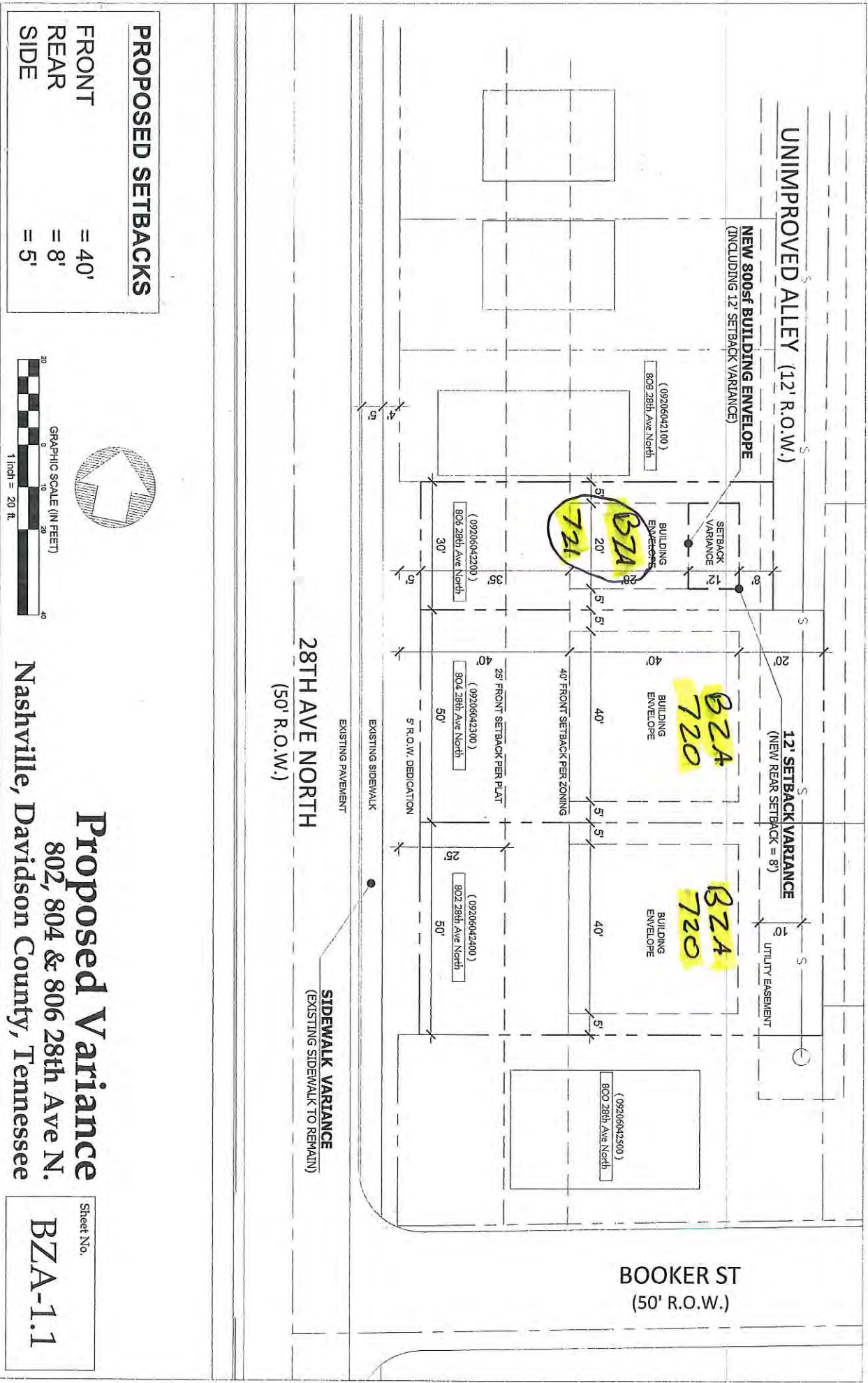
Add New Comment

DEL PAR 423 ON MAP 92-6 TO NEW PARS 1, 2, & 900 ON MAP 92-6D
 KBEERS (07-02-2018)

DUPLEX HPR ELIGIBLE..SEE PAPERWORK SENT TO FILE.
 RTHOMOPO (05-15-2018 02:46PM)

CHG M/A PER OWNER REQUEST BY LETTER. BH
 BHARRIS (04-29-2005)

Created By: KVVADTS



PROPOSED SETBACKS

- FRONT = 40'
- REAR = 8'
- SIDE = 5'



GRAPHIC SCALE (IN FEET)



Proposed Variance
 802, 804 & 806 28th Ave N.
 Nashville, Davidson County, Tennessee

BZA-1.1

Sheet No.

PLANNING DEPARTMENT SIDEWALK VARIANCE RECOMMENDATION

BZA Case 2018-720 (802 & 804 28th Avenue North)

Metro Standard:	8' grass strip, 6' sidewalk, as defined by the Major and Collector Street Plan
Requested Variance:	Construct alternative sidewalk design with a 4' grass strip and 6' sidewalk
Zoning	RS5
Community Plan Policy:	T4 RC (Urban Residential Corridor)
MCSP Street Designation:	T4-R-AB2-LM
Transit:	#21– University Connector
Bikeway:	None existing; major protected bikeway planned per WalknBike, to be constructed in 2019

Planning Staff Recommendation: *Approve with conditions.*

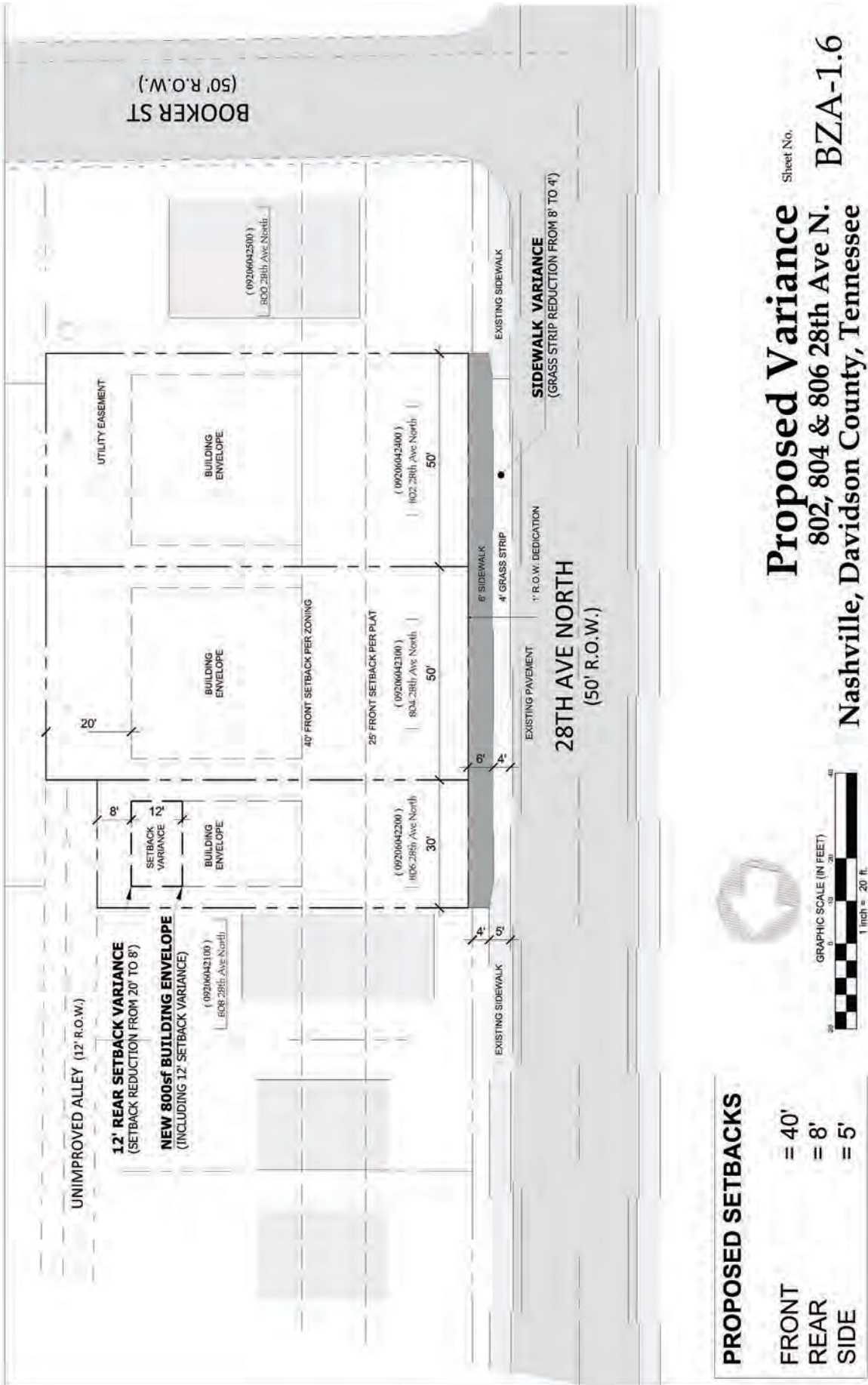
Analysis: The applicant is constructing a single family dwelling, and requests a variance from constructing sidewalks, to construct a 4' grass strip and 6' sidewalk. Planning evaluated the following factors for the variance request:

- (1) There is currently a 5' sidewalk with no grass strip, which is consistent on this side of 28th Avenue North. A 4' grass strip will provide space for obstructions such as utility poles and mailboxes.
- (2) A major protected bikeway is under design and planned for construction in 2019. The bikeway design does not identify a need for additional right-of-way.
- (3) A wider sidewalk with a planting strip for obstructions will provide a buffer between traffic and pedestrians along an Arterial Boulevard.

Given the factors above, staff recommends **approval with conditions:**

1. The applicant shall construct an alternative sidewalk design as shown on the attached site plan.

802 & 804 28th Avenue North – Site Plan Depicting Alternative Sidewalk Design



PROPOSED SETBACKS	
FRONT	= 40'
REAR	= 8'
SIDE	= 5'



Proposed Variance
 802, 804 & 806 28th Ave N.
 Nashville, Davidson County, Tennessee

Sheet No.

BZA-1.6

SIDEWALK VARIANCE
 (GRASS STRIP REDUCTION FROM 8' TO 4')

28TH AVE NORTH
 (50' R.O.W.)

UNIMPROVED ALLEY (12' R.O.W.)

12' REAR SETBACK VARIANCE
 (SETBACK REDUCTION FROM 20' TO 8')

NEW 800sf BUILDING ENVELOPE
 (INCLUDING 12' SETBACK VARIANCE)

(09206042300)
 808 28th Ave North

(09206042300)
 806 28th Ave North

(09206042300)
 804 28th Ave North

(09206042400)
 802 28th Ave North

(09206042500)
 800 28th Ave North

BOOKER ST
 (50' R.O.W.)

OPPOSE

Rachel Solava
2721 Herman Street
Nashville, TN 37208

Metropolitan Board of Zoning Appeals
Metro Office Building – 3rd Floor
800 Second Avenue South
Nashville, TN 37210

December 4, 2018

Dear Metropolitan Board of Zoning Appeals,

RE: Appeal Case Number 2018-720; 2018-721
802 28th AVE N
804A 28th AVE N
806 28th AVE N

Please consider this letter as opposition to the appeal for a variance from sidewalk requirement at the above referenced locations. As a resident and homeowner in district 21, this issue concerns me a great deal.

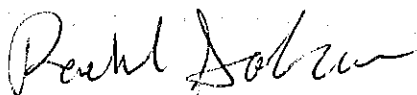
Sidewalks are essential along this section of 28th Avenue. Traffic continues to increase in this area given the access to I-40 and intersection with Charlotte Avenue. We must keep our neighbors, pedestrians, and children safe by maintaining sidewalks in our neighborhood, especially along 28th Avenue.

We must hold developers responsible for conscientious building in our neighborhoods; since private developers, not the city, build the majority of sidewalks in Nashville, it is essential that our sidewalk requirements reflect our city's desire to be a walkable and livable place.

Nashville's streets only have approximately 19% sidewalk coverage. Hadley Park neighborhood is now beginning to see new housing developments, and it would be a travesty if our sidewalk coverage decreased because of this construction.

Thank you for your consideration.

Sincerely,



Rachel Solava

Metropolitan Board of Zoning Appeals

Metro Howard Building
800 Second Avenue South
Nashville, Tennessee 37210



Appellant : Jeremy Payton

Date: 11/5/18

Property Owner: _____

Case #: 2018-721

Representative: Jeremy Payton

Map & Parcel: 92-6-422

Council District 21

The undersigned hereby appeals from the decision of the Zoning Administrator, wherein a Zoning Permit/Certificate of Zoning Compliance was refused:

Purpose: New S.F. House

Activity Type: S.F.

Location: 806 28th Ave N, N.T. 37208

This property is in the R55 Zone District, in accordance with plans, application and all data heretofore filed with the Zoning Administrator, all of which are attached and made a part of this appeal. Said Zoning Permit/Certificate of Zoning Compliance was denied for the reason:

Reason: ① Sidewalks required + Not Allowed to contribute 17, 20, 120

Section(s): ② Rear STOR: required 20', Request 8'

Based on powers and jurisdiction of the Board of Zoning Appeals as set out in Section 17.40.180 Subsection B Of the Metropolitan Zoning Ordinance, a Variance, Special Exception, or Modification to Non-Conforming uses or structures is here by requested in the above requirement as applied to this property. 17, 12, 020

Jeremy Payton
Appellant Name (Please Print)

Representative Name (Please Print)

3716 West End Ave
Address

Address

NASHVILLE, TN, 37205
City, State, Zip Code

City, State, Zip Code

615-828-2977
Phone Number

Phone Number

Jeremy@CapitalCityConstructionllc.com
Email

Email

Appeal Fee: 100.00



**Metropolitan Government
of Nashville and Davidson County, Tennessee
Department of Codes and Building Safety
800 Second Avenue South, Nashville, TN 37210**



3575755

**ZONING BOARD APPEAL / CAAZ - 20180069901
Inspection Checklist for Use and Occupancy
This is not a Use and Occupancy Notification**

PARCEL: 09206042200

APPLICATION DATE: 11/05/2018

SITE ADDRESS:

806 28TH AVE N NASHVILLE, TN 37208
LOT 3 D L LAPSLEY

PARCEL OWNER: BETTY, DOUGLAS E. & LAURA R.

CONTRACTOR:

APPLICANT:**PURPOSE:**

REQUEST SINGLE FAMILY RES.

DENIED:

1.....SIDEWALKS REQUIRED AND NOT ALLOWED TO CONTRIBUTE//17.20.120.
REQUEST NOT TO CONSTRUCT AND NOT TO CONTRIBUTE.

2....REQUIRED REAR SETBACK MIN 20'.....REQUEST...8'.....17.12.020..

POC: JEREMY PAYTON 615-828-2977

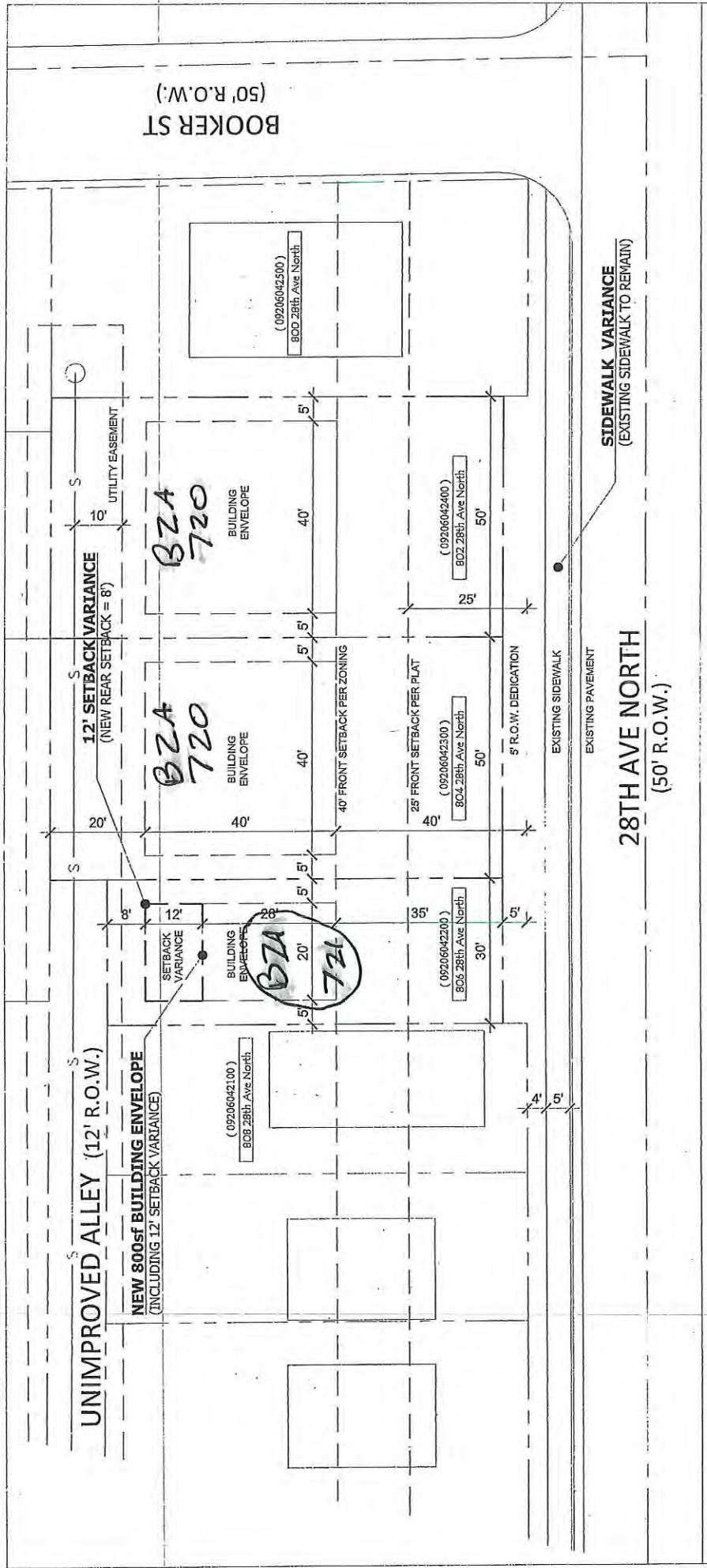
Jeremy@capitalcityconstructionllc.com

also see BZA 2018-720---UNDER ADJACENT PARCEL 424 AND HPR 92-6-D 1&2... ALSO CONCERNING SIDEWALKS...

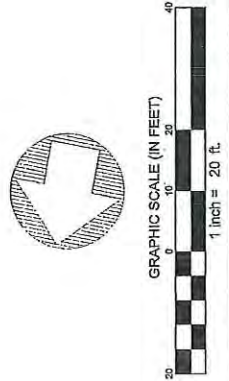
*Before a Use and Occupancy Letter can be issued for this project, the following approvals are required.
Inspections Foundation = before concrete poured, Framing = before covering wall and after rough-in inspections.*

There are currently no required inspections

Inspection requirements may change due to changes during construction.



PROPOSED SETBACKS	
FRONT	= 40'
REAR	= 8'
SIDE	= 5'



Proposed Variance
 802, 804 & 806 28th Ave N.
 Nashville, Davidson County, Tennessee

Sheet No.

BZA-1.1

BOOKER ST
 (50' R.O.W.)

SIDEWALK VARIANCE
 (EXISTING SIDEWALK TO REMAIN)

28TH AVE NORTH
 (50' R.O.W.)

BZA 720
 BUILDING ENVELOPE

BZA 720
 BUILDING ENVELOPE

BZA 721
 BUILDING ENVELOPE

(09206042500)
 800 28th Ave North

(09206042400)
 802 28th Ave North

(09206042300)
 804 28th Ave North

(09206042200)
 806 28th Ave North

(09206042100)
 808 28th Ave North

UNIMPROVED ALLEY (12' R.O.W.)
NEW 800sf BUILDING ENVELOPE
 (INCLUDING 12' SETBACK VARIANCE)

12' SETBACK VARIANCE
 (NEW REAR SETBACK = 8')

UTILITY EASEMENT

40' FRONT SETBACK PER ZONING

25' FRONT SETBACK PER PLAT

5' R.O.W. DEDICATION

EXISTING SIDEWALK

EXISTING PAVEMENT

APPLICATION FOR A VARIANCE REQUEST

After your appeal is filed, Zoning staff will visit the site to take photographs for the Board members. So they will have a better ideal of the nature of your request. Zoning staff will notify the district council member of the hearing. You will be responsible for preparing the envelopes and notices for mailing to the owners of property within 600 feet pf the property at issue in the case. The envelopes must include the return address for the BZA and case number. Fold and insert notices into envelopes, seal the envelopes, and apply first class postage. These neighbor notices must be delivered to Zoning staff at least twenty-three (23) days before the public hearing. Additionally, you will be responsible for purchasing, posting, and removing the red Zoning Appeal signs for the subject property. (See attached Metro Code of Laws requirements regarding, sign placement.)

The day of the public hearing, it will be your responsibility to convey to the Board the nature of the hardship in your request that makes it difficult/impossible for you to comply with the Zoning Code. **It would be to your benefit to let your neighbors know about your request prior to all notices being sent to them from our office.**

Any party can appeal the Board's decision to Chancery or Circuit Court within sixty (60) days from the date the order in the case is entered. **Should your request be granted, we would remind you that it is your responsibility to obtain the permit for which you have applied.** You should also be aware that you have two (2) years to obtain the permit or you would have to re-file your request with the board.

Once your request is filed, the staff will review your request to verify that the submittal is complete. Incomplete submittals will not be scheduled for hearing until complete.

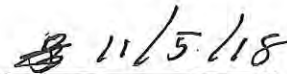
Any correspondence to the Board must be submitted to our office by noon, the Monday prior to the public hearing to be included in the record. You must provide eight (8) copies of your information to staff.

We hope that this information will be of help to you in understanding the variance procedure and if our office can be of further assistance, please do not hesitate to contact us.

METROPOLITAN BOARD OF ZONING APPEALS (615) 862-6510

I am aware that I am responsible for posting and also removing the sign(s) after the public hearing.

x 
 APPELLANT for Jeremy
 Payton


 DATE

Standards for a Variance

The Metropolitan Board of Zoning Appeals may grant variances from the strict application of the provisions of the Zoning Code based upon findings of fact related to the standards in section 17.40.370. This Section is included as follows:

Physical Characteristics of the property- The exceptional narrowness, shallowness or shape of a specific piece of property, exceptional topographic condition, or other extraordinary and exceptional condition of such property would result in peculiar and exceptional practical difficulties to, or exceptional or undue hardship upon the owners of such property.

Unique characteristics- *The specific conditions cited are unique to the subject property and generally not prevalent to other properties in the general area.*

Hardship not self-imposed- *The alleged difficulty or hardship has not been created by the previous actions of any person having an interest in the property after date of Zoning Code.*

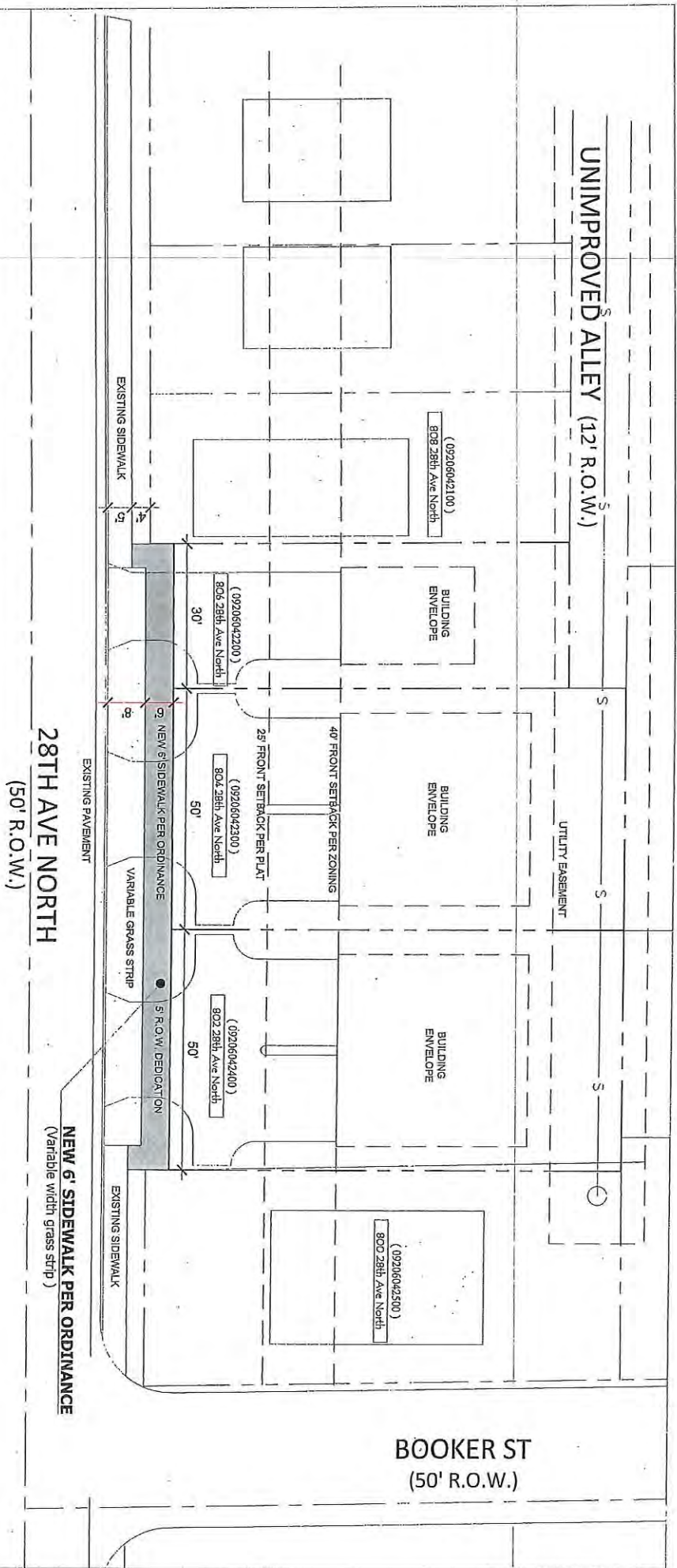
Financial gain not only bases- *Financial gain is not the sole basis for granting the variance.*

No injury to neighboring property- *The granting of a variance will not be injurious to other property or improvements in the area, impair and adequate supply of light and air to adjacent property, or substantially diminish or impair property values within the area.*

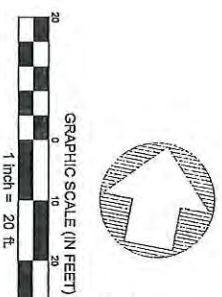
No harm to public welfare- *The granting of the variance will not be detrimental to the public welfare and will not substantially impair the intent and purpose of this Zoning Code.*

Integrity of Master Development Plan- *The granting of a variance will not compromise the design integrity or functional operation of activities or facilities within an approved Planned Unit Development.*

The Board shall not grant variances to the land use provisions of section 2.3, nor the density of Floor Area Ratio (FAR) standards of Tables 3-B and 2-C, nor the required size of residential lots approved by the Planning Commission under the authority of section 3.7 (Lot Averaging), section 3.8 (Cluster Lot Option) or Section 9. E.3 (PUD). Further the Board shall not act on a variance application within a Planned Unit Development (PUD), Urban Design Overlay or Institutional Overlay district without first considering a recommendation from the Planning Commission.

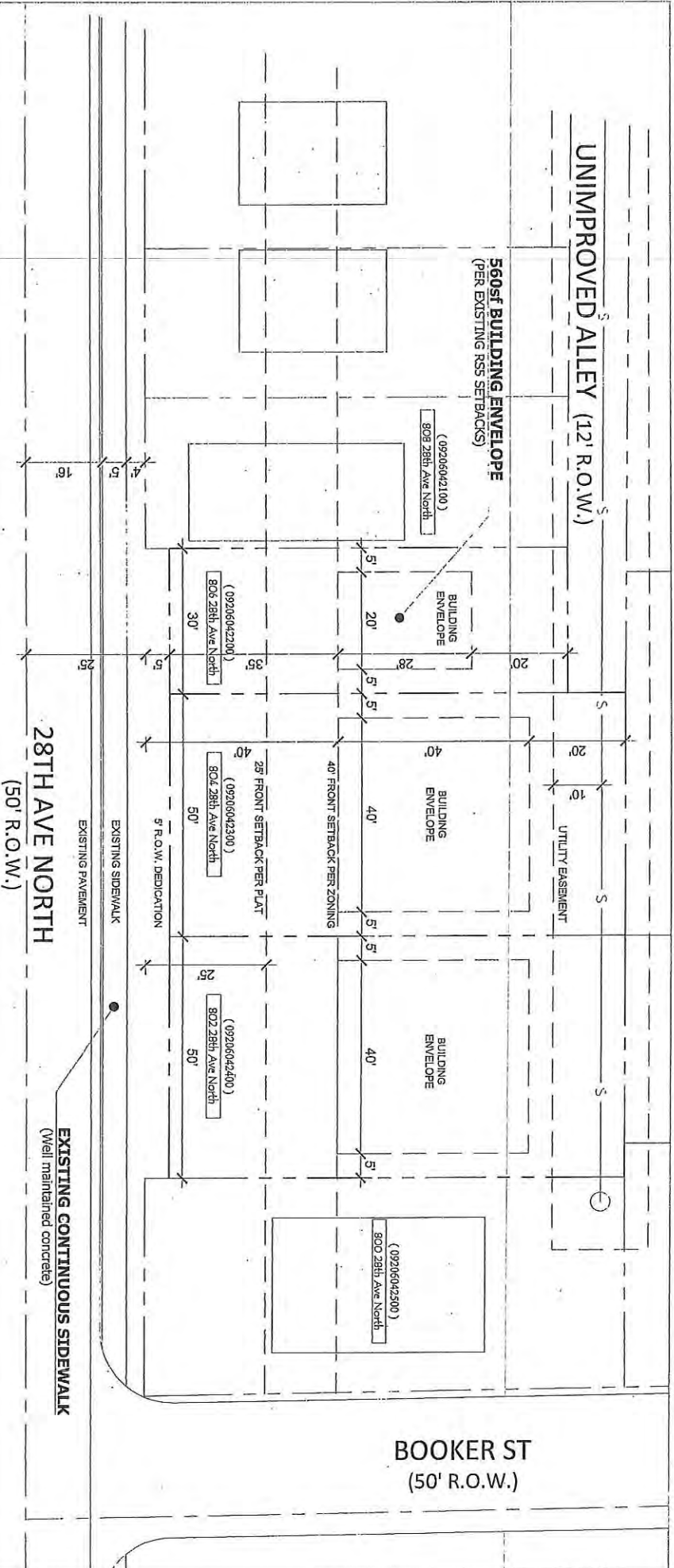


EXISTING SETBACKS	
FRONT	= 40'
REAR	= 20'
SIDE	= 5'



Required Sidewalks per Ordinance
 802, 804 & 806 28th Ave N.
 Nashville, Davidson County, Tennessee

Sheet No.
BZA-1.3



EXISTING SETBACKS

- FRONT = 40'
- REAR = 20'
- SIDE = 5'



Existing Conditions
 802, 804 & 806 28th Ave N.
 Nashville, Davidson County, Tennessee

Sheet No.

BZA-1.0



09206041800

09206043300

09206041900

09206043200

09206036300

09206042000

339 ALY

09206043100

09206036400

09206042100

09206036500

09206042200

88

09206042900

09206070900

RS5

092060D00200CO

50

09206036600

30

092060D00100CO

50

092060D90000CO

09206042800

09206036700

50

09206042400

09206036800

45

09206042600

09206036900

09206042500

100

128

09206037000

BOOKER ST

116

09206050800

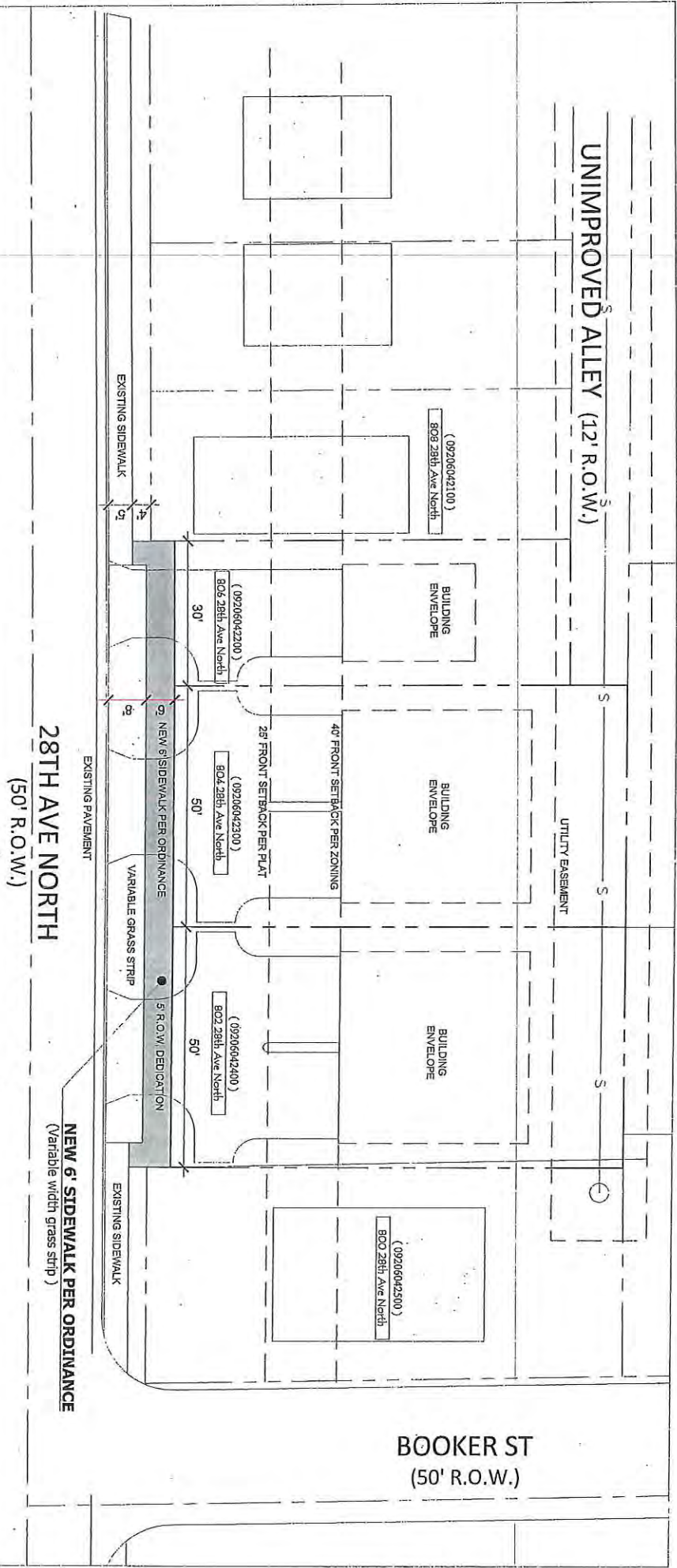
339 ALY

102

09206053100

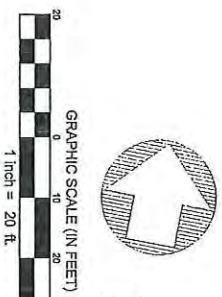
102

09206053000



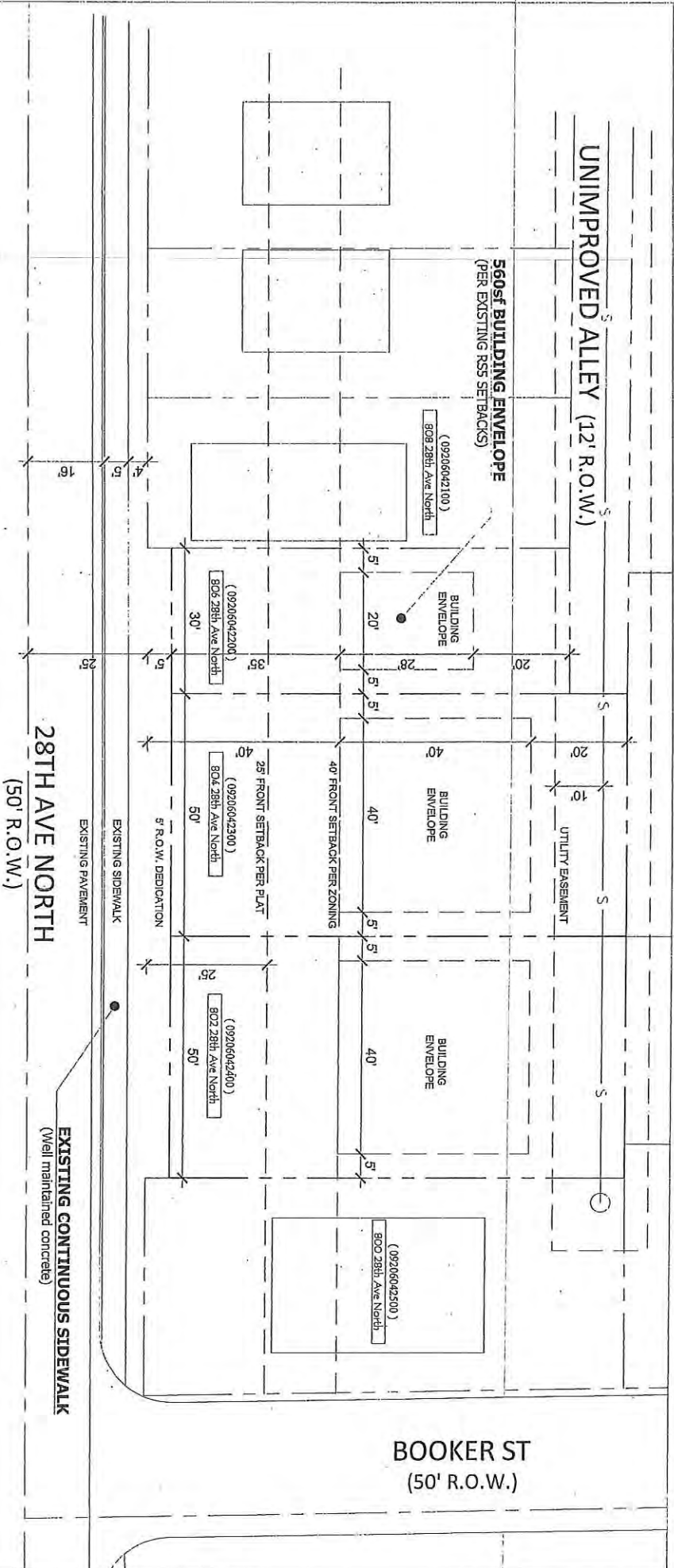
EXISTING SETBACKS

FRONT	= 40'
REAR	= 20'
SIDE	= 5'



Required Sidewalks per Ordinance
 802, 804 & 806 28th Ave N.
 Nashville, Davidson County, Tennessee

Sheet No.
BZA-1.3



EXISTING SETBACKS	
FRONT	= 40'
REAR	= 20'
SIDE	= 5'



Existing Conditions
 802, 804 & 806 28th Ave N.
 Nashville, Davidson County, Tennessee

Sheet No.
BZA-1.0



09206041800

09206043300

09206041900

09206043200

09206042000

939 ALY

09206043100

09206042100

09206036300

09206036400

09206036500

09206070900

09206036600

09206036700

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09206037000

09206042900

09206042200

88

RS5

092060D00200CO

092060D00100CO

092060D90000CO

50

09206042800

09206042400

50

45

50S

09206042500

100

09206042600

128

BOOKER ST

116

09206050800

939 ALY

102

09206053100

102

09206053000

PLANNING DEPARTMENT SIDEWALK VARIANCE RECOMMENDATION

BZA Case 2018-721 (806 28th Avenue North)

Metro Standard:	8' grass strip, 6' sidewalk, as defined by the Major and Collector Street Plan
Requested Variance:	Construct alternative sidewalk design with a 4' grass strip and 6' sidewalk
Zoning	RS5
Community Plan Policy:	T4 RC (Urban Residential Corridor)
MCSP Street Designation:	T4-R-AB2-LM
Transit:	#21– University Connector
Bikeway:	None existing; major protected bikeway planned per WalknBike, to be constructed in 2019

Planning Staff Recommendation: *Approve with conditions.*

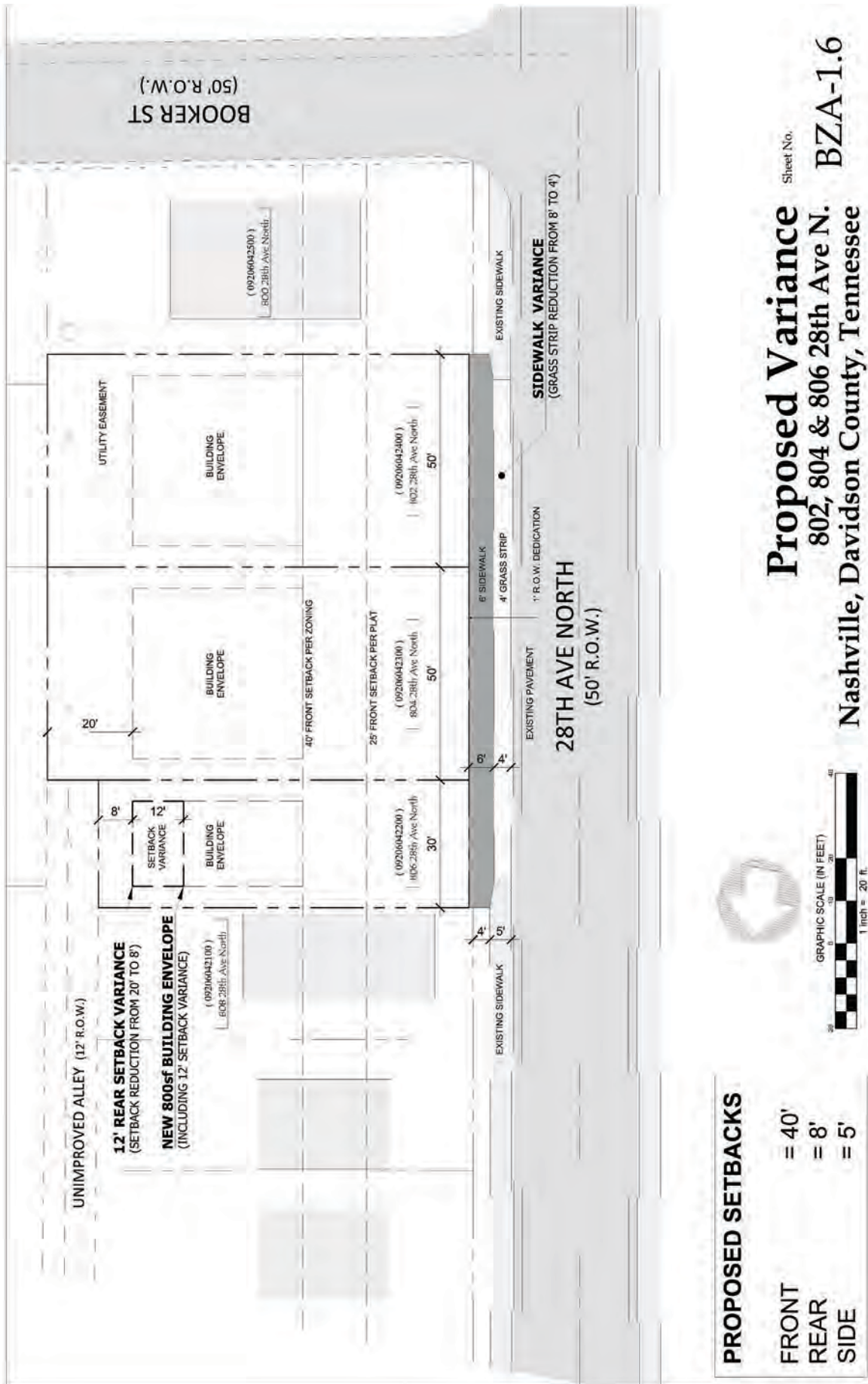
Analysis: The applicant is constructing a single family dwelling, and requests a variance from constructing sidewalks, to construct a 4' grass strip and 6' sidewalk. Planning evaluated the following factors for the variance request:

- (1) There is currently a 5' sidewalk with no grass strip, which is consistent on this side of 28th Avenue North. A 4' grass strip will provide space for obstructions such as utility poles and mailboxes.
- (2) A major protected bikeway is under design and planned for construction in 2019. The bikeway design does not identify a need for additional right-of-way.
- (3) A wider sidewalk with a planting strip for obstructions will provide a buffer between traffic and pedestrians along an Arterial Boulevard.

Given the factors above, staff recommends **approval with conditions:**

1. The applicant shall construct an alternative sidewalk design as shown on the attached site plan.

806 28th Avenue North – Site Plan Depicting Alternative Sidewalk Design



PROPOSED SETBACKS	
FRONT	= 40'
REAR	= 8'
SIDE	= 5'



Proposed Variance
 802, 804 & 806 28th Ave N.
 Nashville, Davidson County, Tennessee

Sheet No.
BZA-1.6

SIDEWALK VARIANCE
 (GRASS STRIP REDUCTION FROM 8' TO 4')

UNIMPROVED ALLEY (12' R.O.W.)

12' REAR SETBACK VARIANCE
 (SETBACK REDUCTION FROM 20' TO 8')

NEW 800sf BUILDING ENVELOPE
 (INCLUDING 12' SETBACK VARIANCE)

(09206042300)
 806-28th Ave North

(09206042300)
 804-28th Ave North

(09206042400)
 802-28th Ave North

(09206042500)
 800-28th Ave North

SETBACK VARIANCE 12'

20'

40' FRONT SETBACK PER ZONING

25' FRONT SETBACK PER PLAT

50'

50'

50'

50'

50' R.O.W.)

BOOKER ST

UTILITY EASEMENT

BUILDING ENVELOPE

BUILDING ENVELOPE

BUILDING ENVELOPE

BUILDING ENVELOPE

BUILDING ENVELOPE

BUILDING ENVELOPE

BUILDING ENVELOPE

BUILDING ENVELOPE

BUILDING ENVELOPE

BUILDING ENVELOPE

Metropolitan Board of Zoning Appeals

Metro Howard Building
800 Second Avenue South
Nashville, Tennessee 37210



Appellant: Ron Oniszczak
Property Owner: Walden, Robert
Representative: Matt Lachey

Date: 11/6/18
Case #: 2018-722
Map & Parcel: 108-0-142

Council District 13

The undersigned hereby appeals from the decision of the Zoning Administrator, wherein a Zoning Permit/Certificate of Zoning Compliance was refused:

Purpose: Requesting variance from sidewalk requirement

Activity Type: New Construction - Church

Location: 3354 Bell Rd.

This property is in the R15 Zone District, in accordance with plans, application and all data heretofore filed with the Zoning Administrator, all of which are attached and made a part of this appeal. Said Zoning Permit/Certificate of Zoning Compliance was denied for the reason:

Reason: Requesting variance from sidewalk requirement

Section(s): 17.12.120

Based on powers and jurisdiction of the Board of Zoning Appeals as set out in Section 17.40.180 Subsection B Of the Metropolitan Zoning Ordinance, a Variance, Special Exception, or Modification to Non-Conforming uses or structures is here by requested in the above requirement as applied to this property.

Pleasant Hill Church of Christ Appellant Name (Please Print)
Matt Lachey
Ragan-Smith Associates Representative Name (Please Print)

3354 Bell Road
Address

315 Woodland St
Address

Nashville, TN 37214
City, State, Zip Code

Nashville, TN 37206
City, State, Zip Code

(615) 513-6162
Phone Number

(615) 244-8591
Phone Number

managewithleap@gmail.com
Email

mlachey@ragansmith.com
Email

Appeal Fee: \$200.00



Metropolitan Government
of Nashville and Davidson County, Tennessee
Department of Codes and Building Safety
800 Second Avenue South, Nashville, TN 37210



3576000

ZONING BOARD APPEAL / CAAZ - 20180070059
Inspection Checklist for Use and Occupancy
This is not a Use and Occupancy Notification

PARCEL: 10800014700

APPLICATION DATE: 11/06/2018

SITE ADDRESS:

3354 BELL RD NASHVILLE, TN 37214
W/S BELL RD S OF HARBORWOOD DR

PARCEL OWNER: WALDEN, ROBERT & WEAVER, MILTON E

CONTRACTOR:

APPLICANT:

PURPOSE:

requesting variance from sidewalk requirements.

*Before a Use and Occupancy Letter can be issued for this project, the following approvals are required.
Inspections Foundation = before concrete poured, Framing = before covering wall and after rough-in inspections.*

There are currently no required inspections

Inspection requirements may change due to changes during construction.

APPLICATION FOR A VARIANCE REQUEST

After your appeal is filed, Zoning staff will visit the site to take photographs for the Board members. So they will have a better ideal of the nature of your request. Zoning staff will notify the district council member of the hearing. You will be responsible for preparing the envelopes and notices for mailing to the owners of property within 600 feet pf the property at issue in the case. The envelopes must include the return address for the BZA and case number. Fold and insert notices into envelopes, seal the envelopes, and apply first class postage. These neighbor notices must be delivered to Zoning staff at least twenty-three (23) days before the public hearing. Additionally, you will be responsible for purchasing, posting, and removing the red Zoning Appeal signs for the subject property. (See attached Metro Code of Laws requirements regarding, sign placement.)

The day of the public hearing, it will be your responsibility to convey to the Board the nature of the hardship in your request that makes it difficult/impossible for you to comply with the Zoning Code. **It would be to your benefit to let your neighbors know about your request prior to all notices being sent to them from our office.**

Any party can appeal the Board's decision to Chancery or Circuit Court within sixty (60) days from the date the order in the case is entered. **Should your request be granted, we would remind you that it is your responsibility to obtain the permit for which you have applied.** You should also be aware that you have two (2) years to obtain the permit or you would have to re-file your request with the board.

Once your request is filed, the staff will review your request to verify that the submittal is complete. Incomplete submittals will not be scheduled for hearing until complete.

Any correspondence to the Board must be submitted to our office by noon, the Monday prior to the public hearing to be included in the record. You must provide eight (8) copies of your information to staff.

We hope that this information will be of help to you in understanding the variance procedure and if our office can be of further assistance, please do not hesitate to contact us.

METROPOLITAN BOARD OF ZONING APPEALS (615) 862-6510

I am aware that I am responsible for posting and also removing the sign(s) after the public hearing.

Ron Oniszczak
APPELLANT

11/6/18
DATE

In Simple terms, for the Board to grant you a variance in the zoning ordinance, you must convey to the Board what your hardship is. Hardships are narrowness, shallowness, irregular shape, and topography of property. The Board can also consider other practical difficulties such as mature trees, easements, and location of disposal systems which can affect your plan. Consideration can be given to the characteristics of neighborhood and the way it is developed. One or more of these conditions must affect your inability to build or occupy the property to provide your case.

At the public hearing, please be prepared to tell the Board what your hardship is, why you cannot build in accordance with zoning without requesting a variance and why you feel you have legitimate hardship.

The Board cannot grant a variance based solely on inconvenience to the applicant or solely on a financial consideration. It is incumbent on you as the appellant to complete this form by conveying a **HARDSHIP** as outlined. At the meeting it is important that you explain this hardship as effectively as possible.

WHAT SPECIFIC AND UNIQUE CIRCUMSTANCES (HARDSHIP) EXIST THAT WOULD AUTHORIZE THE CONSIDERATION OF THE BOARD UNDER THE REVIEW STANDARDS AS OUTLINED?

request not to install sidewalks and not to contribute.

Three profiles are included that were cut at south property line, center of property, & at north property line. These profiles begin @ EOP on Bell Rd (Sta 0+00) & extend to Row. The existing E of roadside ditch is approx. 13-14 feet off EOP & $\pm 2'$ lower. There isn't enough room horizontally for the 14' required to install the 8' grass strip, & 6' sidewalk & also maintain the existing ditch. We would be challenged to pipe this ditch, as we have limited depth between EOP & bottom of ditch.

It's also worth noting that the nearest existing sidewalk to our site is $\pm 4900'$ to the north & $\pm 1700'$ to the south. Both sidewalks are on the opposite side of Bell Rd (east side).

Site Information:

Address:	3354 Bell Road
Metro Standard:	8' grass strip, 6' sidewalk, as defined by the MCSP
Requested Variance:	Not construct sidewalks; not contribute in lieu of construction
Zoning:	R15 (with Special Exception)
Community Plan Policy:	T3 NM (Suburban Neighborhood Maintenance)
MCSP Street Designation:	T3-R-AB3-S
Transit:	None existing
Bikeway:	Existing 6' bikeway

Summary of Hardships:

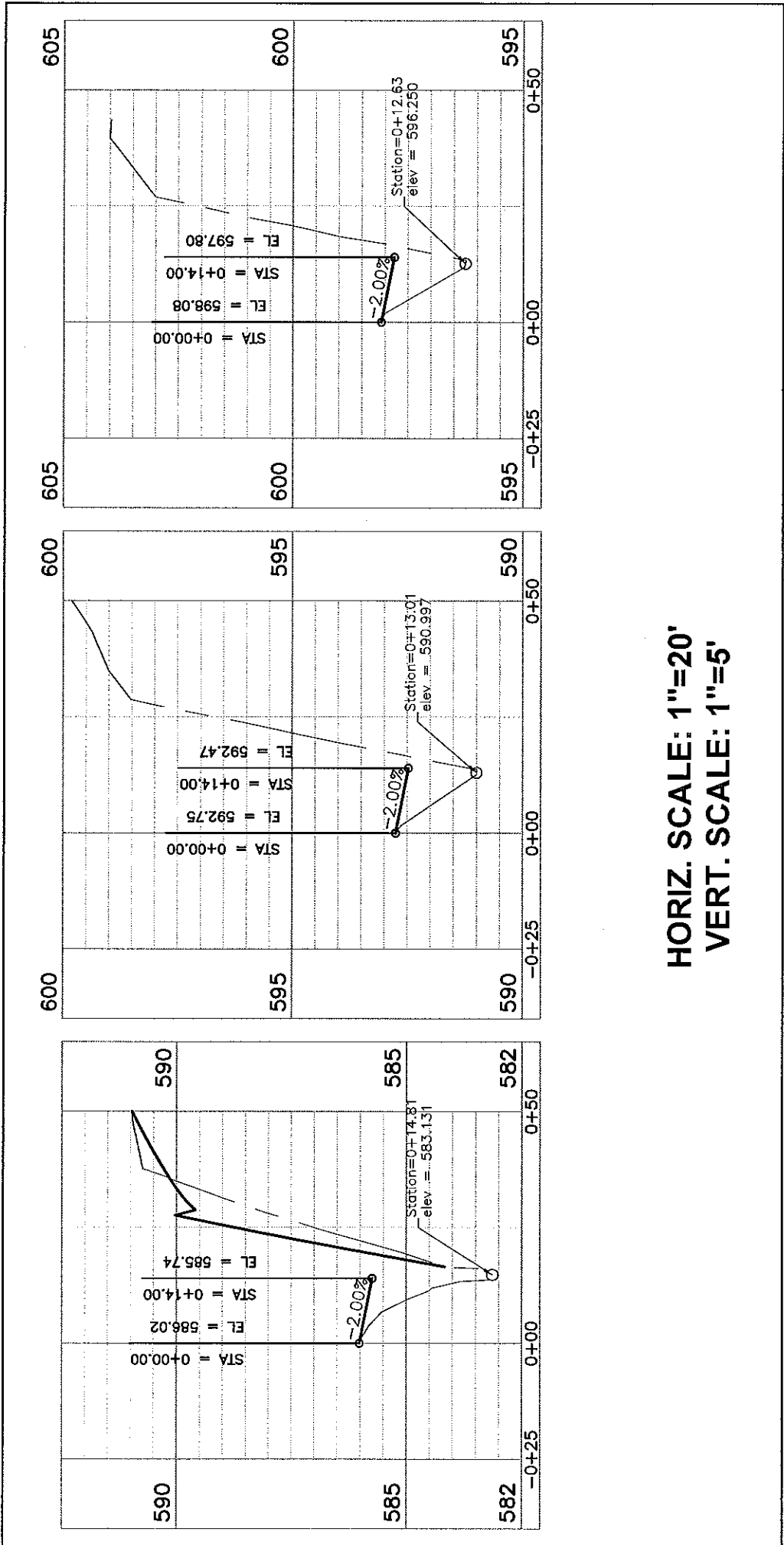
Three profiles are included that were cut at the south property line, center of the property, and at the north property line. These profiles begin at the edge of pavement on Bell Road (Sta. 0+00) and extend to the R.O.W. at our property. The existing centerline of the roadside ditch is approximately 13-14 feet off the edge of pavement and ± 2 feet lower. There is not enough room horizontally for the 14 feet required to install the 8 foot grass strip and six foot sidewalk and also maintain the existing ditch. We would be challenged to pipe this ditch, as we have limited depth between edge of pavement and bottom of ditch.

It's also worth noting that the nearest existing sidewalk to our site is $\pm 4,900$ feet to the north and $\pm 1,700$ feet to the south. Both sidewalks are on the opposite side of Bell Road (east side).

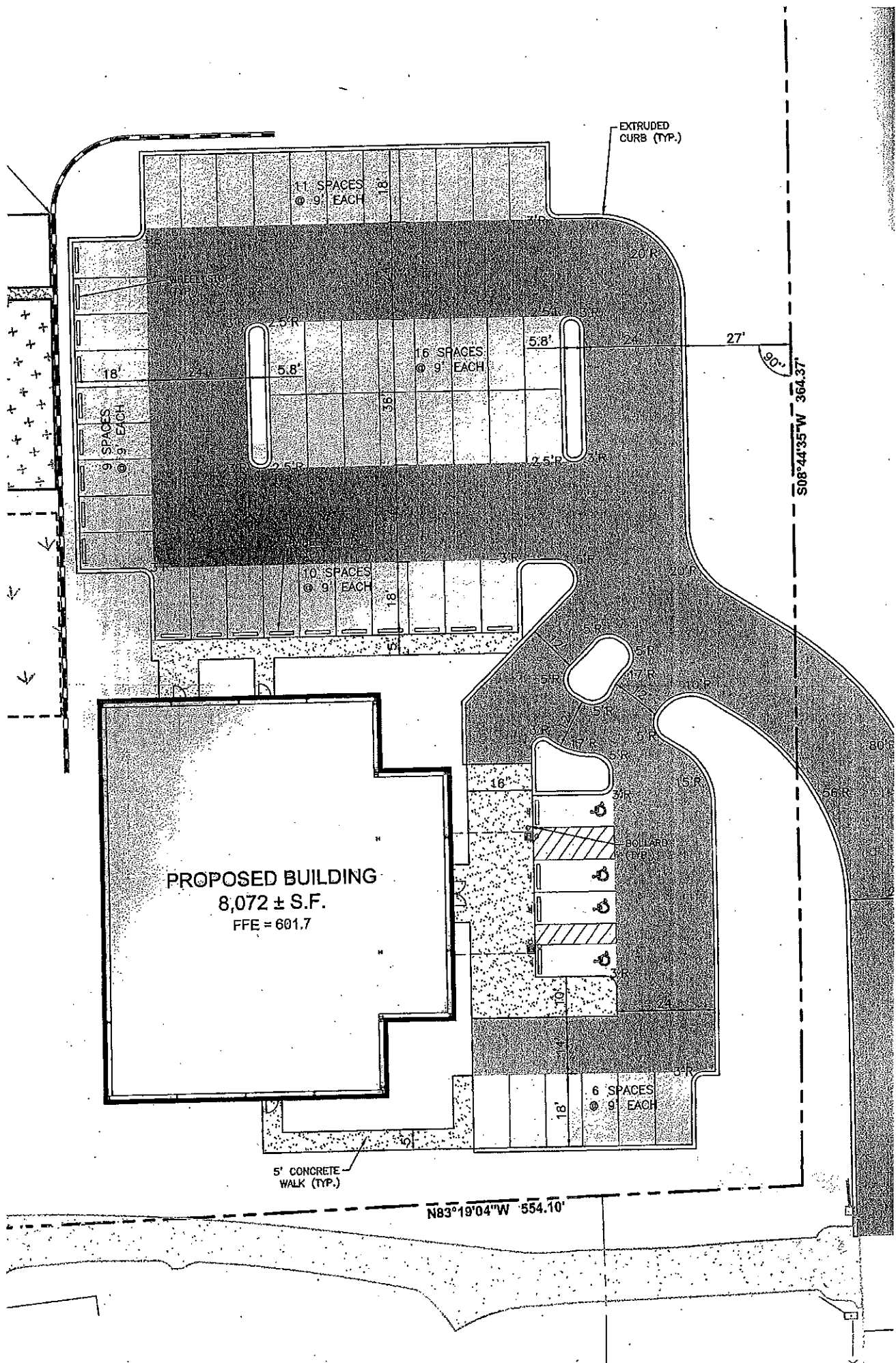
NORTH

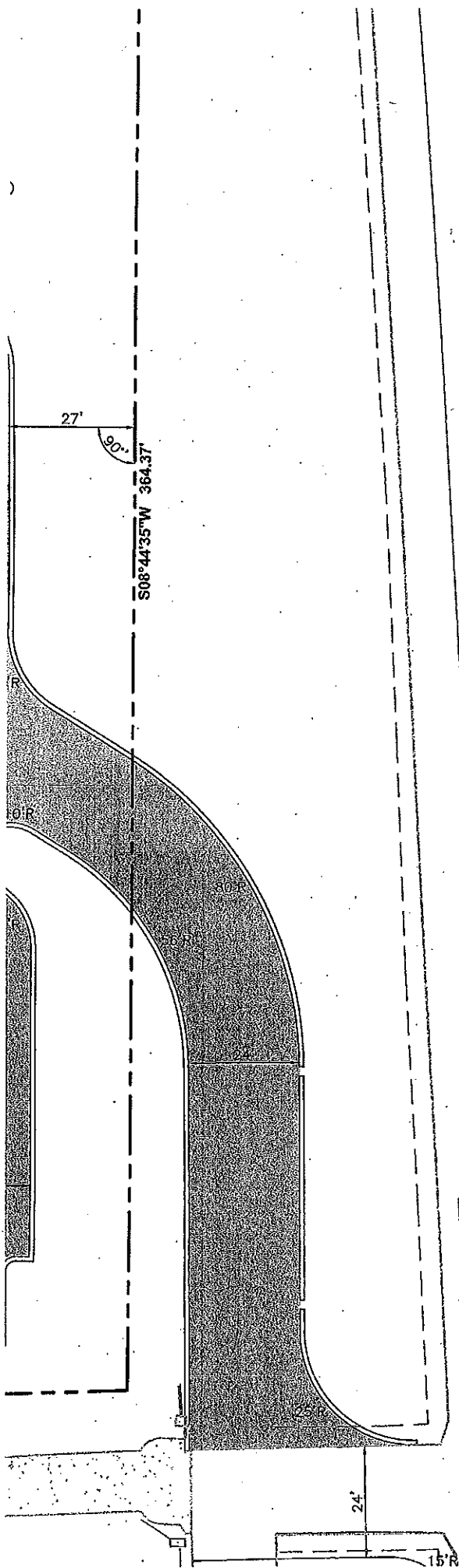
CENTER

SOUTH



HORIZ. SCALE: 1"=20'
 VERT. SCALE: 1"=5'





BELL ROAD

ACCESS
SYMBOL

PAVED
DRIVEWAY

Evan Foster

From: Evan Foster
Sent: Tuesday, December 11, 2018 8:30 AM
To: 'Shepherd, Jessica (Codes)'
Subject: RE: Appeal 2018-722

Jessica,

A Neighborhood Meeting was held last night at Dodson Chapel United Methodist Church auditorium to discuss this BZA request with our neighbors. Invitations were extended (via mailed letter) to the full mailing list provided with the BZA letters. An invitation was also extended to our Council Person, Holly Huezo.

In the meeting we discussed the details of the request, the hardships listed on the application, and reviewed pictures of the site frontage. The BZA meeting details (time, date, and location) were announced.

Included in the FTP link below are supporting documents of this meeting as follows:

- Copy of the invitation letter mailed to the neighbors
- Copy of the mailing list
- Copy of the meeting sign in sheet
- Copies of the site plan exhibits displayed at the meeting

I will have hard copies of these supporting documents delivered to your attention today. Also please let me know if you require any additional items before the BZA meeting next week. Thanks!

Evan Foster, P.E.
Civil Engineer

RAGAN • SMITH ASSOCIATES, INC.
315 Woodland Street, Nashville, TN 37206
615.244.8591 | ragansmith.com

From: Shepherd, Jessica (Codes) <Jessica.Shepherd@nashville.gov>
Sent: Tuesday, November 27, 2018 2:01 PM
To: Evan Foster <efoster@ragansmith.com>
Subject: RE: Appeal 2018-722

Yes it will.

From: Evan Foster [<mailto:efoster@ragansmith.com>]
Sent: Tuesday, November 27, 2018 11:18 AM
To: Shepherd, Jessica (Codes)
Subject: RE: Appeal 2018-722

Jessica,

Will this require an additional Neighborhood Meeting? We held one for the Special Exemption case on September 27th.

Thanks

Evan Foster, P.E.

Pleasant Hill Church of Christ

3354 Bell Road
P.O. Box 140526
Nashville, TN 37214-0526
phcofc.org
(615) 367-9410

November 29, 2018

Notice to Owners of Neighboring Properties

RE: Metro Zoning Appeal Case No. 2018-722 (Variance from sidewalk requirements request)
3354 Bell Road (vacant tract across Bell Road from Elm Hill Marina)
Map 108 Parcel 147

Dear Neighbors:

You are invited to attend a neighborhood meeting to be conducted at the Dodson Chapel United Methodist Church auditorium located at 4107 Dodson Chapel Road, Hermitage, TN 37076. This meeting is to be held at 6:00 P.M. on Monday, December 10, 2018.

The purpose of this meeting is to share Pleasant Hill Church of Christ's proposed plans for our property located at 3354 Bell Road (the vacant tract across from Elm Hill Marina) with the property owners in the vicinity and provide an opportunity to receive comments and address any concerns from property owners in the neighborhood. We were formerly located at 2558 Couchville Pike and are meeting in a temporary location until the proposed facilities are completed. The original Metro approval time limit expired due to permitting, approvals, and construction related delays.

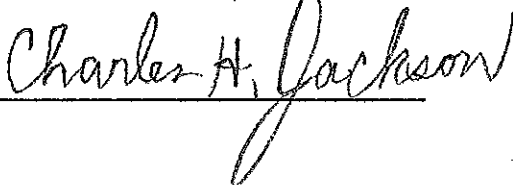
We are requesting permission again from the Metropolitan Government of Nashville and Davidson County to construct a new church building on this property. Preliminary site and building plans prepared by licensed professional designers will be available for your viewing and comments. We will try our best to answer any questions or concerns.

Should you need to contact us, please call me at (615) 367-9410 (home phone with answering machine) or email me at User555207@aol.com. Please visit our website: phcofc.org

Thank you for your kind attention to our request.

Sincerely,

Charles H. Jackson, Elder/ Trustee



Owner	Owner Address	Owner City	Owner State	Owner Zipcode
ALEXANDER, MORRIS L. & NATASHA Y.	2000 WOODLAKE CT	NASHVILLE	TN	37214
ANDERSON, MILTON G. ET UX	3132 HARBORWOOD DR	NASHVILLE	TN	37214
AYER, KERMIT W. & N. KATHRYN	1909 PORTMAN DR	NASHVILLE	TN	37214
BADEN, KELLY & ARPON, JERIC	2001 WOODLAKE CT	NASHVILLE	TN	37214
BARNES, JEFFREY DANIEL & MITCHELL, TIFFANY	1913 PORTMAN DR	NASHVILLE	TN	37214
BLYTHE, ROBERT & DORTON, DOROTHY	3120 HARBORWOOD DR	NASHVILLE	TN	37214
BOWMAN, WILLIAM V & VIVIAN	3116 HARBORWOOD DR	NASHVILLE	TN	37214
BRIGHT, ROBERT W. & SANDRA K.	1804 SUMMERLAKE DR	NASHVILLE	TN	37214
BURNS, JOSEPH H. & ELIZABETH A.	2004 WOODLAKE CT	NASHVILLE	TN	37214
CLIFFORD, JUDY A. ET VIR	1800 SUMMER LAKE DR	NASHVILLE	TN	37214
COLE, MARK A. & AMY E.	3368 BELL RD	NASHVILLE	TN	37214
COPELAND, ANGELA D.	3121 HARBORWOOD DR	NASHVILLE	TN	37214
DEVAULT, JAMES C JR & JENNIFER MEYER	3009 REAL FOOT DR	NASHVILLE	TN	37214
DOUGLAS, LEAH	3133 HARBORWOOD DR	NASHVILLE	TN	37214
DRUDGE, SEAN C. & MELANIE L.	1813 SUMMERLAKE DR	NASHVILLE	TN	37214
DURHAM, SCOTT D.	3137 HARBORWOOD DR	NASHVILLE	TN	37214
EASTON, DONALD P.	3109 HARBORWOOD DR	NASHVILLE	TN	37214
FORREST, STEVEN ET UX	3374 BELL RD	NASHVILLE	TN	37214
FOY, TRAVIS A. & JANOSKI, GRACE D.	3124 HARBORWOOD DR	NASHVILLE	TN	37214
GARDNER, MATTHEW & TONYA	3125 HARBORWOOD DR	NASHVILLE	TN	37214
GATLIN, JIMMY O. & RAYMONDE G.	1905 PORTMAN DR	NASHVILLE	TN	37214
GETZ, CHRISTOPHER N.	3128 HARBORWOOD DR	NASHVILLE	TN	37214
GILLOCK, JOEL M.	2217 S ASHFORD CT	NASHVILLE	TN	37214
HARBORVIEW AT CHESWICKE HOMEOWNERS ASSOC	900 DIVISION ST C/O T PROPERTY MTG	NASHVILLE	TN	37209
HARBORVIEW HOMEOWNERS ASSOCIATION	179 BELLE FOREST CIR STE 302	NASHVILLE	TN	37221
HART, PAUL & MARTIN, NATALIE	3140 HARBORWOOD DR	NASHVILLE	TN	37214
HAYES, ALISHA	1912 PORTMAN DR	NASHVILLE	TN	37214
HILL, KENNETH H. & ROBERTA	3141 HARBORWOOD DR	NASHVILLE	TN	37214
HORNBUCKLE, LEIGH ANN & MICHAEL	1908 PORTMAN DR	NASHVILLE	TN	37214
JACKSON, CARL & PEARLIE	3360 BELL RD	NASHVILLE	TN	37214
JOHNSON, ROBERT A., III & MONICA R.	3145 HARBORWOOD DR	NASHVILLE	TN	37214
JOHNSON, THOMAS D. & JOAN D.	3136 HARBORWOOD DR	NASHVILLE	TN	37214
JONES, WANDA C. & DOROTHY E.	3129 HARBORWOOD DR	NASHVILLE	TN	37214
KINDALL, RICHARD W. & KIMBERLEY C.	2017 WOODLAKE CT	NASHVILLE	TN	37214
KOTOBELLI, FIORENTIN & FABJOLA	1805 SUMMERLAKE DR	NASHVILLE	TN	37214
LAM, MINH ET UX	3100 HARBORWOOD DR	NASHVILLE	TN	37214
LANKFORD, LISA KAY & DERRELL EUGENE	3113 HARBORWOOD DR	NASHVILLE	TN	37214
LEX, ANGELA & HAND, NICHOLAS	3105 HARBORWOOD DR	NASHVILLE	TN	37214
LIN, KWONG WING ET UX	3148 HARBORWOOD DR	NASHVILLE	TN	37214
LOCKWOOD, JAIMEE M.	3364 BELL RD	NASHVILLE	TN	37214
MAILLET, ARTHUR J. & JANET K. HOWELL	1812 SUMMERLAKE DR	NASHVILLE	TN	37214
MARCO, MICHAEL & JACQUELINE	1916 PORTMAN DR	NASHVILLE	TN	37214
MARRS, DANIEL J. & CARRIE A.	3101 HARBORWOOD DR	NASHVILLE	TN	37214
MARTIN, COURTNEY L	3112 HARBORWOOD DR	NASHVILLE	TN	37214
MARTIN, G. BRADLEY ET UX	2012 WOODLAKE CT	NASHVILLE	TN	37214
MAYBERRY, JASON D. & ERIN M.	3152 HARBORWOOD DR	NASHVILLE	TN	37214
MCCAIN, CALVIN B. & PAMELA W.	2221 S ASHFORD	NASHVILLE	TN	37214
MCCLAIN, SARAH L. & SANDY	3144 HARBORWOOD DR	NASHVILLE	TN	37214
MCKANNA, JAMES A. & CASAGRANDE, VIVIAN A	4509 SHYS HILL RD	NASHVILLE	TN	37215
MONDAY, DALLAS & KELLI	2008 WOODLAKE CT	NASHVILLE	TN	37214
MORT, STEVEN L.	2009 WOODLAKE CT	NASHVILLE	TN	37214
OGLESBY, WHITLEY A. & LONDON BROWNLOW	1904 PORTMAN DR	NASHVILLE	TN	37214
OLDHAM, DANNY B.	219 ROBIN HILL RD	NASHVILLE	TN	37205
OLDROCK, GEORGE J. & LISA M.	2013 WOODLAKE CT	NASHVILLE	TN	37214
PARDUE, TRAVIS K.	P O BOX 158247	NASHVILLE	TN	37215
PATER, JACKIE LYNN	2268 W WOOD DR	MURFREESBORO	TN	37130
PATER, JACKIE LYNN	2268 W WOOD DR	MURFREESBORO	TN	37130
ROBERTS, PHIL E. & SHERITA S.	3104 HARBORWOOD DR	NASHVILLE	TN	37214
ROMER, JAMES RYAN & MADALINKSI, SARAH	1808 SUMMERLAKE DR	NASHVILLE	TN	37214
RUSSELL, RHONDA A.	361 WINDHAVEN BAY	MOUNT JULIET	TN	37122
SAMARSKY, YELENA & YAGOLNIKOV, TIMOTHY	1917 PORTMAN DR	NASHVILLE	TN	37214
THOMAS, LORINE P.	3157 HARBORWOOD DR	NASHVILLE	TN	37214
TORPORAN, ANGELA	1809 SUMMERLAKE DR	NASHVILLE	TN	37214
WOOD, ANGELA L.	3156 HARBORWOOD DR	NASHVILLE	TN	37214
ZENG, FEIFEI & WANG, HAO	2005 WOODLAKE CT	NASHVILLE	TN	37214
ZHU, LIN	2213 S ASHFORD CT	NASHVILLE	TN	37214
HUEZO, HOLLY (COUNCIL PERSON)	516 DUNAILIE DR	NASHVILLE	TN	37217

PLANNING DEPARTMENT SIDEWALK VARIANCE RECOMMENDATION

BZA Case 2018-722 (3354 Bell Road)

Metro Standard:	6' grass strip, 8' sidewalk, as defined by the Major and Collector Street Plan
Requested Variance:	Not construct sidewalks; not contribute in lieu of construction (not eligible)
Zoning:	R15
Community Plan Policy:	T3 NM (Suburban Neighborhood Maintenance)
MCSP Street Designation:	T3-R-AB3-S
Transit:	#38X – Antioch Express
Bikeway:	Existing bikeway for experienced cyclists

Planning Staff Recommendation: *Approve*.

Analysis: The applicant proposes to construct a religious institutional use and requests a variance from constructing sidewalks due to the presence of topographic constraints along the property's frontage with Bell Road. Planning evaluated the following factors for the variance request:

- (1) There is currently no sidewalk along the property frontage which is consistent with adjacent properties along the block face from Priest Woods Drive to Harborwood Drive.
- (2) The terrain along the property's frontage slopes by approximately 6'-10' downwards from the property line to the pavement and terminates at a drainage ditch located along the Bell Road property frontage. Constructing sidewalks to the Major and Collector Street Plan standard will require fill and piping which will impact stormwater flow on adjacent properties to the north and south.
- (3) This portion of Bell Road is identified as a Scenic Arterial Boulevard which requires developments to provide a 10' wide landscaped buffer along the front of the parcel.

Given the factors above, staff recommends **approval**.

Metropolitan Board of Zoning Appeals

Metro Howard Building
800 Second Avenue South
Nashville, Tennessee 37210



Appellant: WORD OF LIFE CHRISTIAN CENTER
RICHARD MCCOY Date: 11-6-2018
Property Owner: WORD OF LIFE CHRISTIAN CENTER Case #: 2018-723
Representative: RICHARD MCCOY Map & Parcel: 05820018100

Council District 24

The undersigned hereby appeals from the decision of the Zoning Administrator, wherein a Zoning Permit/Certificate of Zoning Compliance was refused:

Purpose: To construct a 5900 square foot addition to existing Church

Activity Type: Church Addition

Location: 4100 Clarksville Pike

This property is in the CS Zone District, in accordance with plans, application and all data heretofore filed with the Zoning Administrator, all of which are attached and made a part of this appeal. Said Zoning Permit/Certificate of Zoning Compliance was denied for the reason:

Reason: variance from sidewalk requirements

Section(s):
17.12.120

Based on powers and jurisdiction of the Board of Zoning Appeals as set out in Section 17.40.180 Subsection B Of the Metropolitan Zoning Ordinance, a Variance, Special Exception, or Modification to Non-Conforming uses or structures is here by requested in the above requirement as applied to this property.

<u>WORD OF LIFE CHRISTIAN CENTER</u> Appellant Name (Please Print)	<u>RICHARD MCCOY</u> Representative Name (Please Print)
<u>4100 CLARKSVILLE PIKE</u> Address	<u>125 SOUTH 11TH ST.</u> Address
<u>NASHVILLE, TN 37218</u> City, State, Zip Code	<u>NASHVILLE, TN 37206</u> City, State, Zip Code
<u>615-876-3086</u> Phone Number	<u>615-403-6502</u> Phone Number
<u>CORA@WLCCI.ORG</u> Email	<u>INFO@PEM3STUDIO.COM</u> Email

Appeal Fee: 200.00



**Metropolitan Government
of Nashville and Davidson County, Tennessee
Department of Codes and Building Safety
800 Second Avenue South, Nashville, TN 37210**



**ZONING BOARD APPEAL / CAZ - 2018-07-0184
Inspection Checklist for Use and Occupancy
This is not a Use and Occupancy Notification**

PARCEL: 05800018100

APPLICATION DATE: 11/06/2018

SITE ADDRESS:

4100 CLARKSVILLE PIKE NASHVILLE, TN 37218
E. SIDE CLARKSVILLE PK. N. OF WEST HAMILTON RD.

PARCEL OWNER: WORD OF LIFE CHRISTIAN CENTER, INC.

CONTRACTOR:

APPLICANT:

PURPOSE:

variance from sidewalk requirements to construct a 5900 sq ft addition to existing church. No permit started

*Before a Use and Occupancy Letter can be issued for this project, the following approvals are required.
Inspections Foundation = before concrete poured, Framing = before covering wall and after rough-in inspections.*

There are currently no required inspections

Inspection requirements may change due to changes during construction.

APPLICATIONS FOR VARIANCE REQUESTS

After your appeal is filed, Zoning staff will visit the site to take photographs for the Board members so that they will have a better idea of the nature of your request. Zoning staff will notify the district councilmember of the hearing. You will be responsible for preparing the envelopes and notices for mailing to the owners of property within 600 feet of the property at issue in this case. The envelopes must include the return address for the BZA and the case number. Fold and insert the notices into envelopes, seal the envelopes, and apply first class postage. These neighbor notices must be delivered to Zoning staff at least twenty-three (23) days before the public hearing. Additionally, you will be responsible for purchasing, posting, and removing the red Zoning Appeal signs for the subject property. (See attached Metro Code of Laws requirements regarding sign placement.)

The day of the public hearing, it will be your responsibility to convey to the Board the nature of the hardship in your request that makes it difficult/impossible for you to comply with the Zoning Code. It would be to your benefit to let your neighbors know about your request prior to all notices being sent to them from our office.

Any party can appeal the Board's decision to Chancery or Circuit Court within sixty (60) days from the date the order in the case is entered. Should your request be granted, we would remind you that it is your responsibility to obtain the permit for which you have applied. You should also be aware that you have two (2) years to obtain the permit or you would have to re-file your request with the Board.

Once your request is filed, the staff will review your request to verify that the submittal is complete. Incomplete submittals will not be scheduled for a hearing until complete.

Any correspondence to the Board must be submitted to our office by noon, the Monday prior to the public hearing to be included in the record. You must provide eight (8) copies of your information to staff..

We hope that this information will be of help to you in understanding the variance procedure and if our office can be of further assistance, please do not hesitate to contact us.

METROPOLITAN BOARD OF ZONING APPEALS (615) 862-6530

I am aware that I am responsible for posting and also removing the sign(s) after the public hearing.



 APPELLANT

11.5.2018

 DATE

STANDARDS FOR A VARIANCE

The Metropolitan Board of Zoning Appeals may grant variances from the strict application of the provisions of this Zoning Code based upon findings of fact related to the standards in Section 17.40.370. This Section is included as follows:

Physical characteristics of the property - The exceptional narrowness, shallowness or shape of a specific piece of property, exceptional topographic condition, or other extraordinary and exceptional condition of such property would result in peculiar and exceptional practical difficulties to, or exceptional or undue hardship upon the owner of such property.

Unique characteristics - The specific conditions cited are unique to the subject property and generally not prevalent to other properties in the general area.

Hardship not self-imposed - The alleged difficulty or hardship has not been created by the previous actions of any person having an interest in the property after the effective date of this Zoning Code.

Financial gain not only basis - Financial gain is not the sole basis for granting the variance.

No injury to neighboring property - The granting of the variance will not be injurious to other property or improvements in the area, impair an adequate supply of light and air to adjacent property, or substantially diminish or impair property values within the area.

No harm to public welfare - The granting of the variance will not be detrimental to the public welfare and will not substantially impair the intent and purpose of this Zoning Code.

Integrity of Master Development Plan - The granting of the variance will not compromise the design integrity or functional operation of activities or facilities within an approved Planned Unit Development.

The Board shall not grant variances to the land use provisions of Section 2.3, the density of Floor Area Ratio (FAR) standards of Tables 3-B and 3-C, nor the required size of residential lots approved by the Planning Commission under the authority of Section 3.7 (Lot Averaging), Section 3.8 (Cluster Lot Option) or Section 9.B.3 (PUD). Further the Board shall not act on a variance application within a Planned Unit Development (PUD), Urban Design Overlay or Institutional Overlay district without first considering a recommendation from the Planning Commission.

In simple terms, for the Board to grant you a variance in the zoning ordinance, you must convey to the Board what your hardship is. Hardships are narrowness, shallowness, irregular shape, and topography of property. The Board can also consider other practical difficulties such as mature trees, easements, and location of disposal systems which can affect your plan. Consideration can be given to the characteristics of the neighborhood and the way it is developed. One or more of these conditions MUST affect your inability to build or occupy the property to prove your case.

At the public hearing, please be prepared to tell the Board what your hardship is, why you can not build in accordance with zoning without requesting a variance and why you feel you have a legitimate hardship.

The Board can not grant a variance based solely on an inconvenience to the applicant nor solely on a financial consideration. It is incumbent on you as the appellant to complete this form by conveying a HARDSHIP as outlined. At the meeting it is important that you explain this hardship as effectively as possible.

WHAT SPECIFIC AND UNIQUE CIRCUMSTANCES (HARDSHIP) EXIST THAT WOULD AUTHORIZE THE CONSIDERATION OF THE BOARD UNDER THE REVIEW STANDARDS AS OUTLINED?

SEE ATTACHED LETTER

November 5, 2018

Jon Michael
Secretary
Metropolitan Nashville Board of Zoning Appeals
800 Second Avenue South
Nashville, Tennessee 37210

Re: Sidewalk Requirement at 4100 Clarksville Pike, Nashville Tennessee 37218
(Parcel # 058-00-0-181.00)

Mr. Michael

We are requesting a variance from the sidewalk ordinance and in-lieu fee required for new development per Metro Ordinance NO. BL2016-493 for the property located at 4100 Clarksville Pike.

Our request is based on the existing conditions of the property, the TDOT improvement plans for Clarksville Pike and the mission of the religious institution that owns the property. The congregation of Word Of Life Christian Center (WLCC) understands and embraces the objective of the Metro Ordinance which strives to further connect neighborhoods and communities by creating safe pedestrian, biking and automobile pathways that work in conjunction with one another. Our variance request does not seek to undermine this objective and is based on the following:

Tennessee Department of Transportation (TDOT) project State Route 112 Clarksville Highway (SR1 12) is a comprehensive plan of widening the current SR 112 from 2 travel lanes to 4 travel lanes, turn lanes, bike lanes and sidewalks from Ashland City Highway intersection to Briley Parkway interchange. This scope would include the frontage of the property at 4100 Clarksville Pike. This plan is scheduled to begin Fall/Winter of 2018 and seems to be a compromise between TDOT's plan to improve this state route and Metro Government 's initiative to implement connectivity through an efficient means of funding. Installation of alternate sidewalk design plan along this frontage would be redundant and incongruent to the comprehensive plan that is to be implemented by TDOT.

Word of Life Christian Center owns a substantial piece of property with frontage on Clarksville Pike. As you can see in Exhibit A the property is 14.2 acres and has 1020'-0" of linear frontage along Clarksville Pike that would be required sidewalk improvement. The church currently uses less than 3 acres of the property and the new development is only adding only 5900 square feet of area to the existing footprint. No parking is being added. The new development would account for less than 1% of the total property area. A 5900 square foot development anywhere else in Metro would have a maximum street frontage of 50'-0" to 75'-0" in any other normal situation.

The proposed development of this property is not a profit based development. It is not being improved upon to generate money for the owner or profit for investors. It is being developed to provide spatial resources for the Word of Life Christian Center and its continuing faith based mission. There will be no profitable monetary return from this development that would/could help fund sidewalk construction or pay into the in-lieu fund. Word of Life Christian Center is a place of worship and a religious institution with funding coming directly from its parishioners and/or mission based grants or apportionments.

Based on the existing physical characteristics of the property, a non-self imposed hardship, as well as an extreme financial burden placed on the church, we ask that a variance from the sidewalk and payment to the in-lieu fund be granted for this project. This variance will not prevent sidewalks from being constructed at this location and will not cause injury to the neighboring properties, it will not harm the public welfare or impair the integrity of Metro Davidson County's Community Transportation Plans.

Thank you for this consideration.

Sincerely

A handwritten signature in black ink, appearing to read "Richard McCoy III". The signature is written in a cursive style with a large initial "R" and "M".

Richard McCoy III, AIA
rem3studio

cc. Dr Alexander Arthur – Word of Life Christian Church

rem3studio

125 south 11th street,
nashville, tennessee 37206

615. 403. 6502
info@rem3studio.com

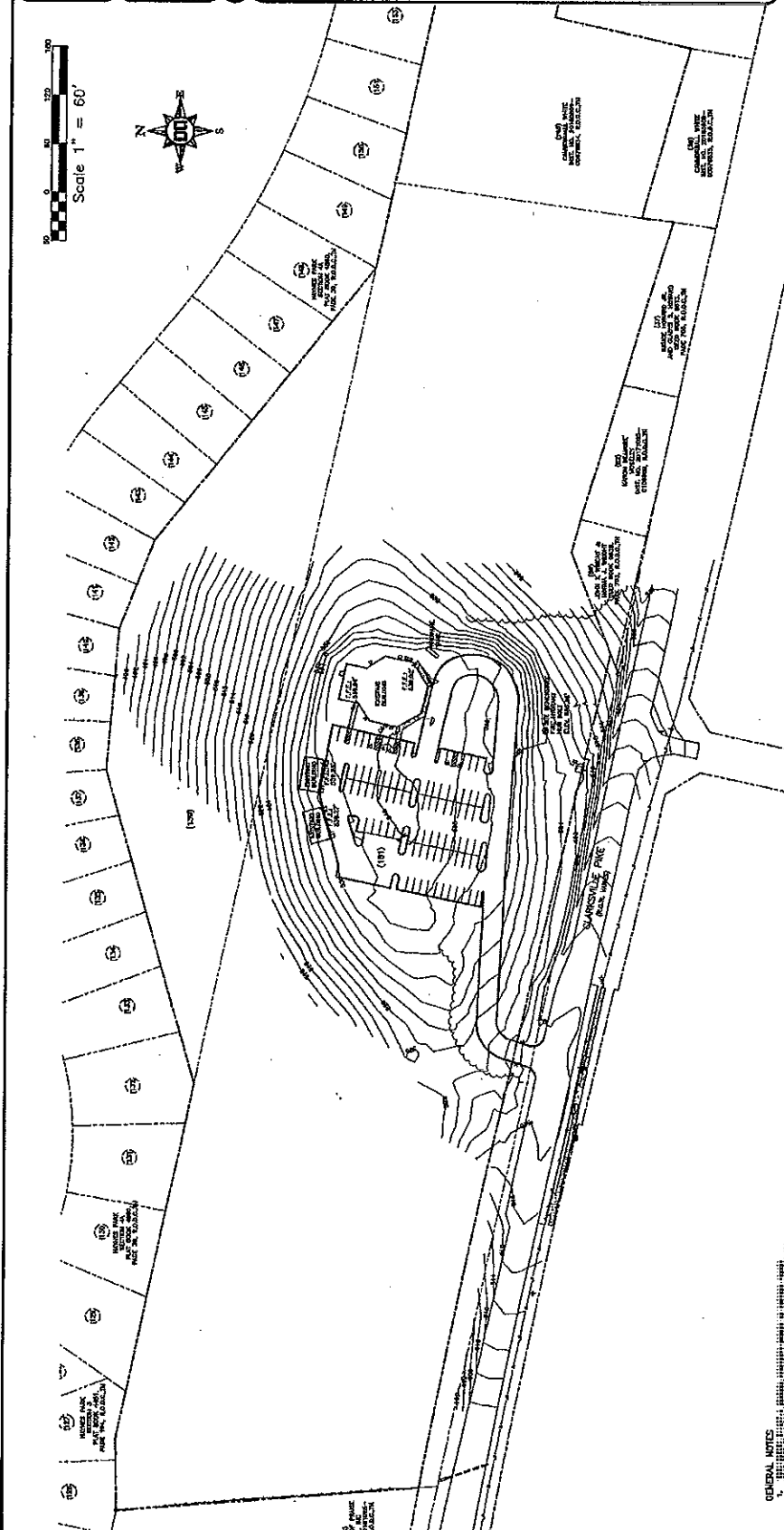


DATE: 08/14/2018

4100 Clarksville Pike
BEING PARCEL 181 ON TAX MAP 58
& PARCEL 139 ON TAX MAP 58-16
NASHVILLE, DAVIDSON COUNTY, TENNESSEE

1
1 OF 1
PROJECT NUMBER
SHEET NUMBER

Scale 1" = 60'



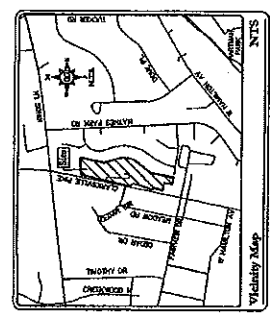
Date & Associates
10000 Highway 100
Nashville, TN 37203
615-252-1000
www.dateandassociates.com



Partial Topographic Survey

LEGEND

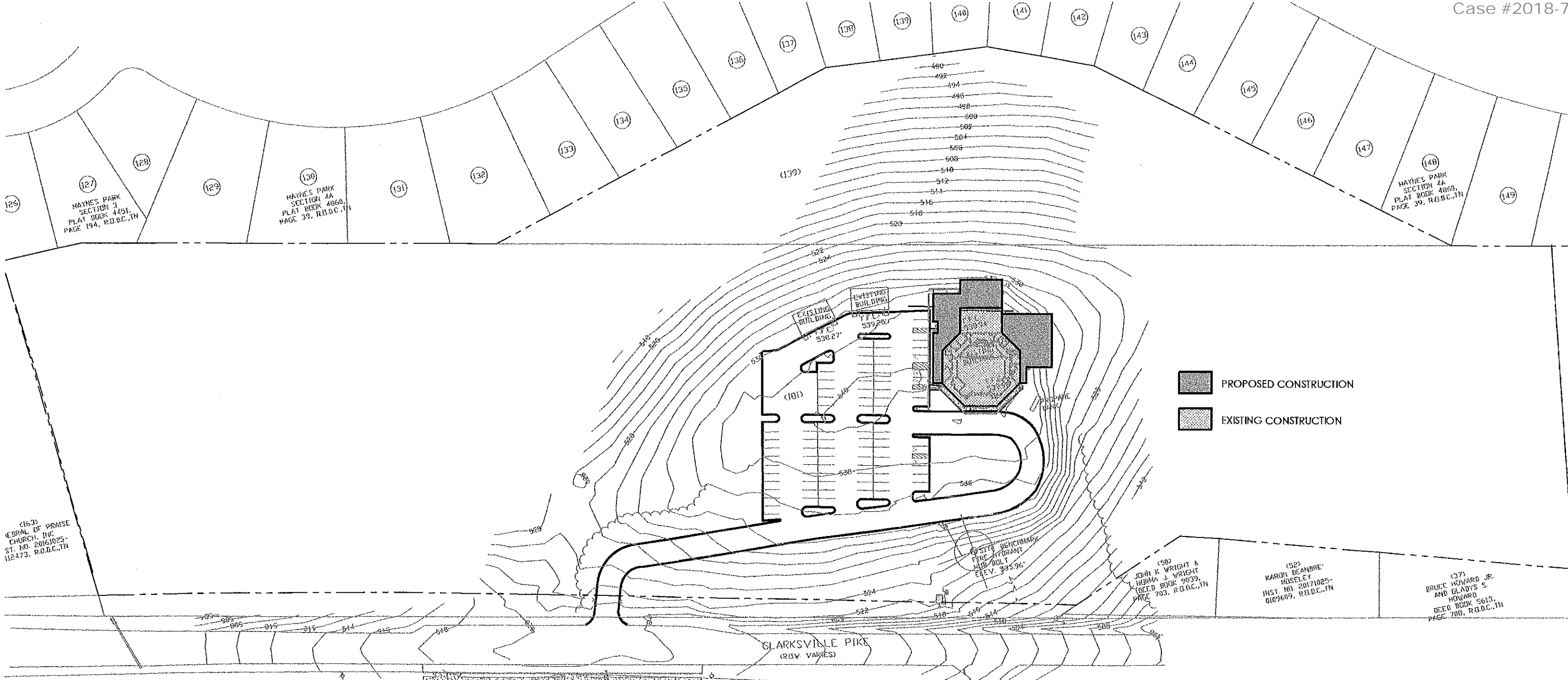
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10" = 1" = 4000'	10" = 1" = 4000'



GENERAL NOTES

1. THIS SURVEY WAS CONDUCTED IN ACCORDANCE WITH THE TENSASSEE SURVEYING ACT OF 1968, AS AMENDED.
2. THE SURVEY WAS CONDUCTED ON 08/14/2018.
3. THE SURVEY WAS CONDUCTED BY DAVID L. WILLIAMS, A PROFESSIONAL SURVEYOR LICENSED IN THE STATE OF TENNESSEE.
4. THE SURVEY WAS CONDUCTED IN ACCORDANCE WITH THE TENSASSEE SURVEYING ACT OF 1968, AS AMENDED.
5. THE SURVEY WAS CONDUCTED IN ACCORDANCE WITH THE TENSASSEE SURVEYING ACT OF 1968, AS AMENDED.
6. THE SURVEY WAS CONDUCTED IN ACCORDANCE WITH THE TENSASSEE SURVEYING ACT OF 1968, AS AMENDED.
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8. THE SURVEY WAS CONDUCTED IN ACCORDANCE WITH THE TENSASSEE SURVEYING ACT OF 1968, AS AMENDED.
9. THE SURVEY WAS CONDUCTED IN ACCORDANCE WITH THE TENSASSEE SURVEYING ACT OF 1968, AS AMENDED.
10. THE SURVEY WAS CONDUCTED IN ACCORDANCE WITH THE TENSASSEE SURVEYING ACT OF 1968, AS AMENDED.

DATE: 08/14/2018
BY: DAVID L. WILLIAMS
PROJECT NUMBER: 181
SHEET NUMBER: 1 OF 1



PROPOSED CONSTRUCTION
 EXISTING CONSTRUCTION

(163) FEDERAL OF PRAISE CHURCH, INC ST. NO. 20161025-112473, R.O.D.C., TN

(150) JOHN K WRIGHT & NORMA J WRIGHT (DEED BOOK 9039, PAGE 703, R.O.D.C., TN

(152) KARON DEANDRE HOSELEY INST. NO. 20171025-0109609, R.O.D.C., TN

(137) BRUCE HOWARD JR. AND GLADYS S. HOWARD DEED BOOK 5613, PAGE 708, R.O.D.C., TN

CLARKSVILLE PIKE (ROW VARIES)

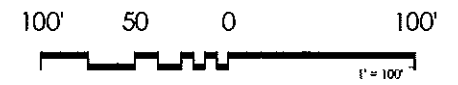
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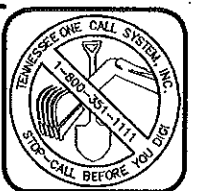
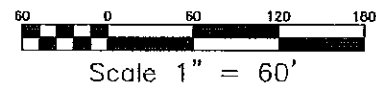
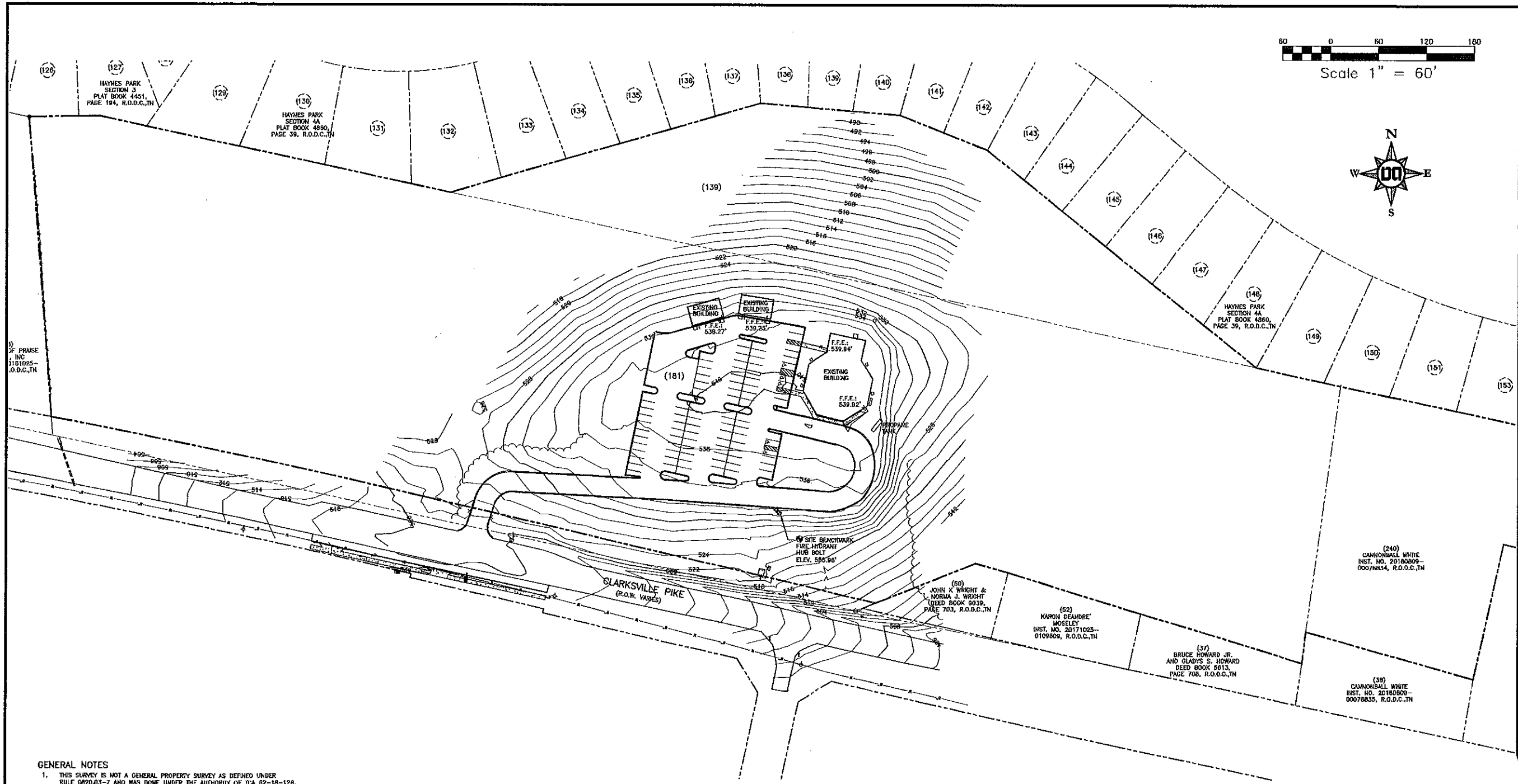
- NO MINIMUM LOT SIZE - ACTUAL LOT SIZE 16.48 ACRES SF
- MAXIMUM BUILDING COVERAGE (F.A.R.) 60% LOT SIZE OR 9.89 ACRES OR 430,808 SF)
- ACTUAL CONDITIONED BUILDING COVERAGE **14,967 SF**
 - EXISTING MAIN BUILDING - 6,842 SF
 - 2 EXISTING ACCESSORY CLASSROOMS - 1116 SF (2) = 2232 SF
 - PROPOSED ADDITION AREA **5893 SF**
- MAXIMUM IMPERVIOUS SURFACE RATIO (I.S.R.) 90% OR 14.83 ACRES OR 645,994.8 SF
- ACTUAL NEW IMPERVIOUS SURFACE RATIO 6,243 SF
- SIDE SET-BACKS - NONE REQUIRED
- FRONT SET BACK - 15'-0" MINIMUM
- REAR SET-BACK - 20'-0" MINIMUM
- MAXIMUM HEIGHT 30'-0"
- LANDSCAPE BUFFER REQUIREMENT MANDATES A MINIMUM OF 5'-0" SIDE SET BACK BASED ON ADJACENT LAND USES

PROPERTY INFORMATION

ADDRESS: 4100 CLARKSVILLE PIKE NASHVILLE, TN 37218

MAP & PARCEL ID#: 058 00 0 181.00



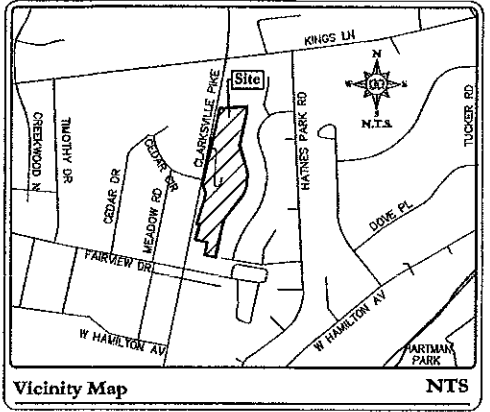


REVISIONS:

DATE: September 25, 2018

4100 Clarksville Pike
 BEING PARCEL 181 ON TAX MAP 58
 & PARCEL 139 ON TAX MAP 58-16
 NASHVILLE, DAVIDSON COUNTY, TENNESSEE

- GENERAL NOTES**
1. THIS SURVEY IS NOT A GENERAL PROPERTY SURVEY AS DEFINED UNDER RULE 0820.03-7 AND WAS DONE UNDER THE AUTHORITY OF TCA 62-18-128.
 2. DISTANCES SHOWN WERE MEASURED BY ELECTRONIC MEASURING EQUIPMENT AND HAVE BEEN ADJUSTED FOR TEMPERATURE.
 3. THE NORTHWESTLY CORNER OF THE PROPERTY IS 660'-4" FROM THE APPROXIMATE CENTERLINE INTERSECTION OF CLARKSVILLE PIKE AND KINGS LANE.
 4. THE SUBJECT PROPERTY IS CURRENTLY ZONED C1 (COMMERCIAL LIMITED) WITH AN O-UDO (URBAN DESIGN OVERLAY) PER THE METROPOLITAN PLANNING DEPARTMENT-ONLINE MAPPING: PARCEL REPORT.
 5. THE PROPERTY SHOWN IS NOT INCLUDED IN AREAS DESIGNATED AS "SPECIAL FLOOD HAZARD" ON THE MOST CURRENT FLOOD INSURANCE MAP AVAILABLE TO THIS OFFICE BEING PANEL NO. 4703700229 H. EFFECTIVE DATE: APRIL 5, 2017.
 6. UTILITIES SHOWN ARE FROM FIELD LOCATED VISIBLE APPURTENANCES, MAPS OBTAINED FROM CONSULTATION WITH VARIOUS UTILITY COMPANIES, OR OTHER DRAWINGS. THIS SURVEYOR MAKES NO GUARANTEE THAT 1) THE UNDERGROUND UTILITIES, EITHER CURRENTLY IN SERVICE OR ABANDONED, COMPRISE ALL OF SUCH UTILITIES IN THE SUBJECT AREA AND THAT 2) THEY ARE IN THE EXACT INDICATED LOCATION AS SHOWN. SURVEYOR DID NOT PHYSICALLY LOCATE UNDERGROUND UTILITIES.
 7. BEARINGS SHOWN ARE RELATIVE TO TENNESSEE STATE PLANE COORDINATES NAD83.
 8. ELEVATIONS SHOWN ARE RELATIVE TO NAVD 1988.
 9. CONTOURS ARE SHOWN ON A 2 FOOT INTERVAL DERIVED FROM GROUND SHOTS.



LEGEND

IP.(F)	IRON PIPE (FOUND)
IR.(F)	IRON ROD (FOUND)
RCP	REINFORCED CONCRETE PIPE
F.F.E.	FINISHED FLOOR ELEVATION
SWM	ANCHOR
P.P.	POWER POLE
S.P.	SERVICE POLE
T.P.	TELEPHONE POLE
C.O.	CLEAN OUT
S.H.	SANITARY HANNOLE
W.M.	WATER METER
W.V.	WATER VALVE
F.H.	FIRE HYDRANT
LOT NUMBER	
PARCEL NUMBER	
DRAINAGE DITCH	
PROPERTY LINE	
FENCE LINE	
OVERHEAD UTILITIES	
WATER LINE	
SANITARY LINE	
CONCRETE	
NO PARKING	

DEED REFERENCE
 TO: WORD OF LIFE CHRISTIAN CENTER
 RECORD: DEED BOOK 11471, PAGE 909, R.O.D.C., TENNESSEE

TAX MAP REFERENCE
 BEING PARCEL 181 & ON TAX MAP 58

DEED REFERENCE
 TO: WORD OF LIFE CHRISTIAN CENTER
 RECORD: DEED BOOK 11376, PAGE 416, R.O.D.C., TENNESSEE

TAX MAP REFERENCE
 BEING PARCEL 139 & ON TAX MAP 58-16



Dale & Associates
 Consulting Civil Engineering
 Land Planning & Zoning
 Surveying

516 Timber Place
 Nashville, Tennessee 37204
 (615) 257-5166

PROJECT #18132
 SHEET NUMBER:
1
 1 OF 1

Partial Topographic Survey

PLANNING DEPARTMENT SIDEWALK VARIANCE RECOMMENDATION

BZA Case 2018-723 (4100 Clarksville Pike)

Metro Standard:	6' grass strip, 8' sidewalk, as defined by the Major and Collector Street Plan
Requested Variance:	Not construct sidewalks; not contribute in lieu of construction (not eligible)
Zoning	CL
Community Plan Policy:	T3 CM (Suburban Mixed Use Corridor)
MCSP Street Designation:	T3-M-AB5-LM
Transit:	300' from #22 – Bordeaux
Bikeway:	None existing; bike lanes planned

Planning Staff Recommendation: *Approve*

Analysis: The applicant is constructing a 5,900 square foot addition to an existing church, and requests a variance from constructing sidewalks due to lack of sidewalks in the area and TDOIT's planned widening of Clarksville Pike. Planning evaluated the following factors for the variance request:

- (1) There is currently no sidewalk on the property's frontage, which is consistent with both block faces, and the neighborhood.
- (2) TDOIT currently has a project within the right-of-way acquisition phase in this area. Their 3-Year Plan identifies the project moving into construction. Given the imminent construction in this area, a new sidewalk would likely be torn out within the next few years given the status of the widening project.
- (3) TDOIT has sufficient right-of-way to complete its road widening project and construct sidewalks and bike lanes to the Arterial Boulevard standard.

Given the factors above, staff recommends **approval**.

Metropolitan Board of Zoning Appeals

Metro Howard Building
800 Second Avenue South
Nashville, Tennessee 37210



X Appellant: Tripp Smith Date: 11-6-18
Property Owner: M. Dale TN Foundation Holdings, LLC Case #: 2018-724
Representative: Tripp Smith Map & Parcel: 07215018800

Council District 01

The undersigned hereby appeals from the decision of the Zoning Administrator, wherein a Zoning Permit/Certificate of Zoning Compliance was refused:

Purpose:

X To renovate existing buildings on site
and add an addition

Activity Type:

X Location: 1600 Riverside Drive

This property is in the _____ Zone District, in accordance with plans, application and all data heretofore filed with the Zoning Administrator, all of which are attached and made a part of this appeal. Said Zoning Permit/Certificate of Zoning Compliance was denied for the reason:

Reason: sidewalk variance.

Section(s): 17.20.120

Based on powers and jurisdiction of the Board of Zoning Appeals as set out in Section 17.40.180 Subsection _____ Of the Metropolitan Zoning Ordinance, a Variance, Special Exception, or Modification to Non-Conforming uses or structures is here by requested in the above requirement as applied to this property.

X Tripp Smith
Appellant Name (Please Print)

X same
Representative Name (Please Print)

2606 Eugenia Ave, Ste. D
Address

Address

Nashville, TN, 37211
City, State, Zip Code

City, State, Zip Code

659-333-3479
Phone Number

Phone Number

tripp@shgroupllc.com
Email

Email

Appeal Fee: _____

APPLICATION FOR A VARIANCE REQUEST

After your appeal is filed, Zoning staff will visit the site to take photographs for the Board members. So they will have a better ideal of the nature of your request. Zoning staff will notify the district council member of the hearing. You will be responsible for preparing the envelopes and notices for mailing to the owners of property within 600 feet pf the property at issue in the case. The envelopes must include the return address for the BZA and case number. Fold and insert notices into envelopes, seal the envelopes, and apply first class postage. These neighbor notices must be delivered to Zoning staff at least twenty-three (23) days before the public hearing. Additionally, you will be responsible for purchasing, posting, and removing the red Zoning Appeal signs for the subject property. (See attached Metro Code of Laws requirements regarding, sign placement.)

The day of the public hearing, it will be your responsibility to convey to the Board the nature of the hardship in your request that makes it difficult/impossible for you to comply with the Zoning Code. **It would be to your benefit to let your neighbors know about your request prior to all notices being sent to them from our office.**

Any party can appeal the Board's decision to Chancery or Circuit Court within sixty (60) days from the date the order in the case is entered. **Should your request be granted, we would remind you that it is your responsibility to obtain the permit for which you have applied.** You should also be aware that you have two (2) years to obtain the permit or you would have to re-file your request with the board.

Once your request is filed, the staff will review your request to verify that the submittal is complete. Incomplete submittals will not be scheduled for hearing until complete.

Any correspondence to the Board must be submitted to our office by noon, the Monday prior to the public hearing to be included in the record. You must provide eight (8) copies of your information to staff.

We hope that this information will be of help to you in understanding the variance procedure and if our office can be of further assistance, please do not hesitate to contact us.

METROPOLITAN BOARD OF ZONING APPEALS (615) 862-6510

I am aware that I am responsible for posting and also removing the sign(s) after the public hearing.

APPELLANT

11-6-18

DATE

Standards for a Variance

The Metropolitan Board of Zoning Appeals may grant variances from the strict application of the provisions of the Zoning Code based upon findings of fact related to the standards in section 17.40.370. This Section is included as follows:

Physical Characteristics of the property- The exceptional narrowness, shallowness or shape of a specific piece of property, exceptional topographic condition, or other extraordinary and exceptional condition of such property would result in peculiar and exceptional practical difficulties to, or exceptional or undue hardship upon the owners of such property.

Unique characteristics- *The specific conditions cited are unique to the subject property and generally not prevalent to other properties in the general area.*

Hardship not self-imposed- *The alleged difficulty or hardship has not been created by the previous actions of any person having an interest in the property after date of Zoning Code.*

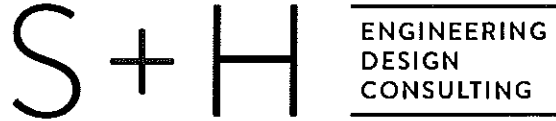
Financial gain not only bases- *Financial gain is not the sole basis for granting the variance.*

No injury to neighboring property- *The granting of a variance will not be injurious to other property or improvements in the area, impair and adequate supply of light and air to adjacent property, or substantially diminish or impair property values within the area.*

No harm to public welfare- *The granting of the variance will not be detrimental to the public welfare and will not substantially impair the intent and purpose of this Zoning Code.*

Integrity of Master Development Plan- *The granting of a variance will not compromise the design integrity or functional operation of activities or facilities within an approved Planned Unit Development.*

The Board shall not grant variances to the land use provisions of section 2.3, nor the density of Floor Area Ratio (FAR) standards of Tables 3-B and 2-C, nor the required size of residential lots approved by the Planning Commission under the authority of section 3.7 (Lot Averaging), section 3.8 (Cluster Lot Option) or Section 9. E.3 (PUD). Further the Board shall not act on a variance application within a Planned Unit Development (PUD), Urban Design Overlay or Institutional Overlay district without first considering a recommendation from the Planning Commission.



2606 Eugenia Avenue, Suite D · Nashville, TN 37211 · 615.647.8775 · www.shgroupinc.com

November 6, 2018

Board of Zoning Appeals
800 2nd Ave S
Nashville, TN 37210

Re: 1600 Riverside Drive & 1600 Porter Road
Parcel No. 07215018800 & 07215018500

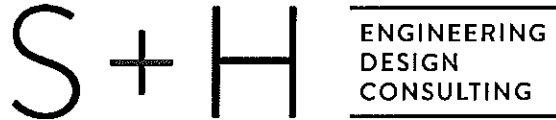
To Whom It May Concern:

On behalf of our client, we are submitting the referenced project for a Variance Request from Third Substitute Ordinance No. BL2016-493 amending Chapters 17.04, 17.20 and 17.40 of the Metropolitan Code pertaining to sidewalks (Proposal No. 2016Z-024TX-001). Due to the unique circumstances of the property pertaining to the locations of existing structures on site and the inability to accommodate the prescribed sidewalk standard per the Major Collector and Street Plan ("MCSP"), we are requesting a variance from the required sidewalk and are proposing an alternative sidewalk plan for the project. Please consider this letter and the enclosed documents as our Variance Application. Please find our unique circumstance (hardship) description below and enclosed the following:

1. Eight (8) copies of the Site Plan
2. Site GIS and Aerial Images
3. Board of Zoning Appeals Checklist
4. Application for Variance Request
5. Check in the amount of \$200.00 to Board of Zoning

Unique Circumstance (Hardship)

As mentioned above, there are unique circumstances (hardships) that affect the property regarding the required sidewalk installation. The location of the existing building to be renovated, the existing constrained ROW of Porter Road and the MCSP requirements for total sidewalk ROW (including total bike lane, sidewalk, and furnishing and green zones) create a conflict which will not permit the required sidewalk standard to be installed along Porter Road. We have design concerns with transitioning an alternative sidewalk that would fit within the existing ROW of Porter Road to the required sidewalk standard per MCSP along Riverside Drive at the intersection of those streets given the inconsistent sidewalk and vegetation strip widths and the resulting appearance at that intersection. Further, while we understand this would not be considered a hardship, we feel it should be noted that the required sidewalk standard along Riverside Drive would conflict with the proposed addition of retail space along the existing building facade at the intersection, which is critical to the project provided the plan for a campus of non-profit businesses. Accordingly, we have presented an alternative sidewalk plan for the entire campus to provide a more consistent sidewalk along Porter Road, Riverside Drive and Porter Avenue that is described in more detail below.



2606 Eugenia Avenue, Suite D · Nashville, TN 37211 · 615.647.8775 · www.shgroupllc.com

Property frontage is located on three sides, along Porter Road, Porter Avenue, and Riverside Drive. Per the MCSP, the standard along Porter Road calls for a 6-foot bike lane with a 2-foot buffer, a 7-foot vegetation strip, an 8-foot sidewalk, and a 4-foot frontage zone. The standard along Riverside Drive calls for a 6-foot bike lane with a 2-foot buffer, a 4-foot vegetation strip, an 8-foot sidewalk, and a 4-foot frontage zone. As mentioned and shown in the attached site plan layout, the sidewalk and frontage zone would conflict with the existing building when providing adequate travel lane width within Porter Road and implementing the above referenced sidewalk requirements. Additionally, the above referenced sidewalk requirements would create an incompatible transition at the corner of Riverside Drive and Porter Road with the inconsistent sidewalk and vegetation strip dimension, resulting in an undesirable entrance to the building facade at the intersection. Accordingly, we propose to implement a 6-foot bike lane with 2-foot buffer, a 4-foot vegetation strip, a 6-foot sidewalk and to maintain a 4' frontage zone where possible along Porter Road. We will plan to transition to the required standard 4-foot vegetation strip and a 5-foot sidewalk as required by the MCSP at the intersection of and along Porter Avenue.

Due to the reasons cited above, we believe that a sidewalk variance and alternative sidewalk plan is appropriate based on the site meeting the requirements of hardship from a physical characteristic of the property, unique characteristics of the property, hardship not self-imposed, financial gain not only basis, no injury to neighboring property, and no harm to public welfare.

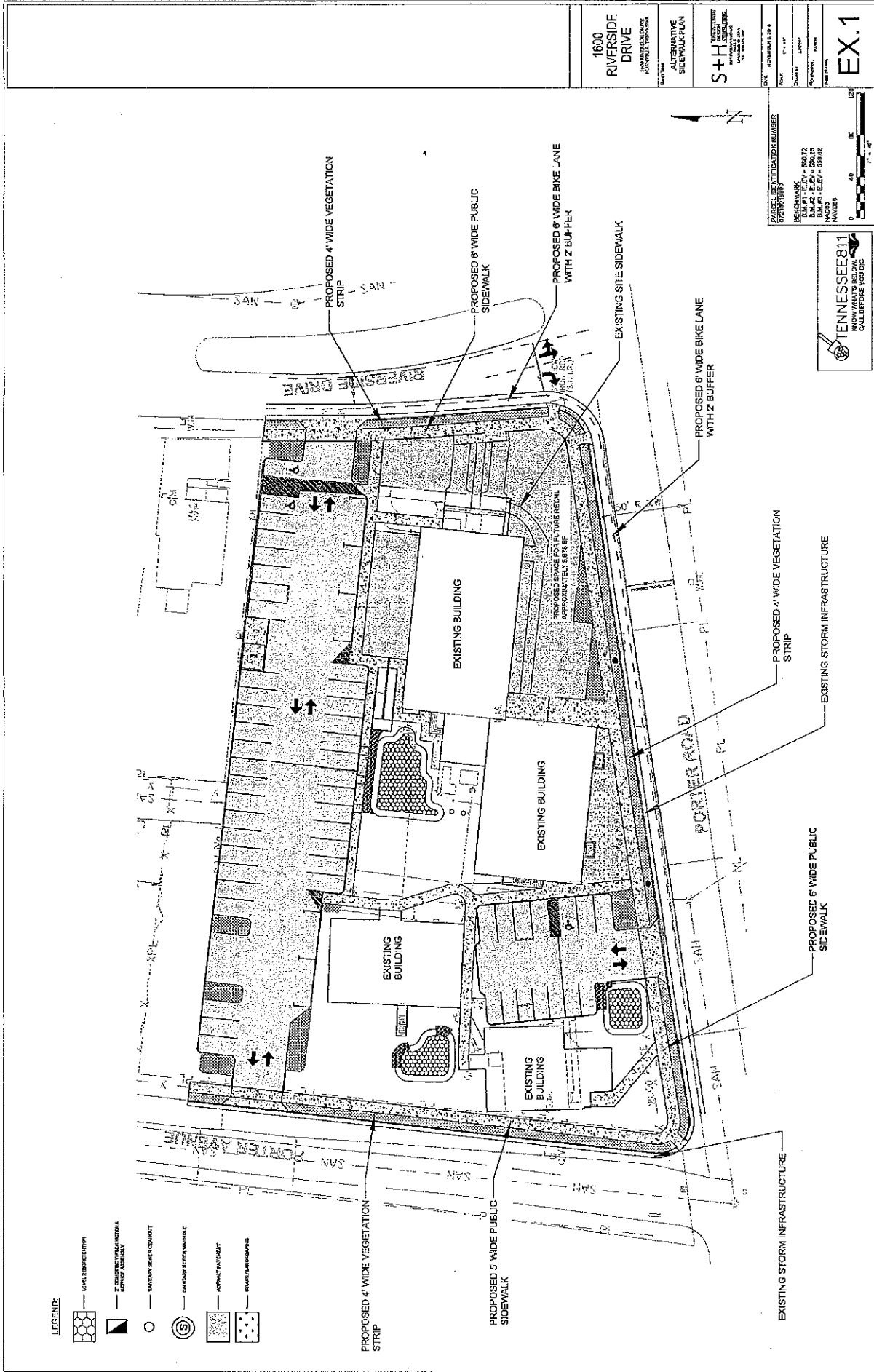
If you have any questions or concerns, please call or email me at 615-390-0139 or tripp@shgroupllc.com.

Sincerely,

A handwritten signature in cursive script that reads 'Tripp Smith'.

Frank (Tripp) P. Smith, III, PE
Principal, Director of Operations

cc: Chip Howorth, Principal







PLANNING DEPARTMENT SIDEWALK VARIANCE RECOMMENDATION

BZA Case 2018-724 (1600 Riverside Drive)

Metro Standard:	Riverside Drive – 4’ grass strip, 8’ sidewalk as defined by the Major and Collector Street Plan
	Porter Road – 7’ grass strip, 8’ sidewalk as defined by the Major and Collector Street Plan
	Porter Avenue – 4’ grass strip, 5’ sidewalk as defined by the Metro Local Street standard
Requested Variance:	Construct alternate sidewalk designs
Zoning:	CL, R6, R10
Community Plan Policy:	T4 NC (Urban Neighborhood Center)
MCSP Street Designation:	Riverside Drive – T4-M-AB2
	Porter Road – T4-M-CA2
	Porter Avenue – Local Street
Transit:	#4 – Shelby; Major Local service per nMotion
Bikeway:	Existing low stress bikeways on Riverside Drive and Porter Road

Planning Staff Recommendation: *Approve with conditions.*

Analysis: The applicant is proposing to repurpose a former religious institution for a future office use and requests a variance to construct alternative sidewalk designs. Planning evaluated the following factors for the variance request:

- (1) A 5’ sidewalk without a grass strip currently exists along the Riverside Drive frontage on the adjacent property to the north, while no sidewalks exists along the Porter Avenue block face.
- (2) The applicant proposes to construct 4’ grass strip and 8’ sidewalks along the Riverside Drive and Porter Road frontages where existing pull-in parking currently exists. The applicant seeks to replace the loss of the pull-in parking spaces with an expanded off-street parking area within the northwest portion of the property. While the proposed sidewalk designs do not meet each respective MCSP standard, the alternative designs proposed by the applicant meet the intent of the MCSP.

Given the factors above, staff recommends **approval with conditions**:

1. The applicant shall construct sidewalks along all property frontages per the attached site plan.

Metropolitan Board of Zoning Appeals

Metro Howard Building
800 Second Avenue South
Nashville, Tennessee 37210



Appellant: JOSH HELLMER Date: 11/6/18
Property Owner: CREAM CITY DEVELOPMENT Case #: 2018- 725
Representative: JOSH HELLMER Map & Parcel: 105-030-131-00

Council District 17

The undersigned hereby appeals from the decision of the Zoning Administrator, wherein a Zoning Permit/Certificate of Zoning Compliance was refused:

Purpose: SINGLE FAMILY RESIDENCE - NEW CONSTRUCTION
REQUEST TO BUILD 20' INTO SETBACK AREA FOR
20' FRONT SETBACK. 40.2' MIN. FRONT SETBACK REQUIRED
PER 17.12.030-C-3

Activity Type: SINGLE FAMILY RESIDENCE

Location: 45 WHARF AVE. NASHVILLE, TN 37210

This property is in the RG Zone District, in accordance with plans, application and all data heretofore filed with the Zoning Administrator, all of which are attached and made a part of this appeal. Said Zoning Permit/Certificate of Zoning Compliance was denied for the reason:

Reason: FRONT SETBACK. NOT TO BUILD SIDEWALKS OR CONTRIBUTE

Section(s): 17.12.030C.3 17.20.120

Based on powers and jurisdiction of the Board of Zoning Appeals as set out in Section 17.40.180 Subsection B Of the Metropolitan Zoning Ordinance, a Variance, Special Exception, or Modification to Non-Conforming uses or structures is here by requested in the above requirement as applied to this property.

JOSH HELLMER
Appellant Name (Please Print)

* SAME AS APPELLANT *
Representative Name (Please Print)

1071 2ND AVE S
Address

Address

NASHVILLE, TN 37210
City, State, Zip Code

City, State, Zip Code

920-207-4721
Phone Number

Phone Number

HELLMERS@HOTMAIL.COM
Email

Email

Appeal Fee: _____

APPLICATION FOR A VARIANCE REQUEST

After your appeal is filed, Zoning staff will visit the site to take photographs for the Board members. So they will have a better ideal of the nature of your request. Zoning staff will notify the district council member of the hearing. You will be responsible for preparing the envelopes and notices for mailing to the owners of property within 600 feet of the property at issue in the case. The envelopes must include the return address for the BZA and case number. Fold and insert notices into envelopes, seal the envelopes, and apply first class postage. These neighbor notices must be delivered to Zoning staff at least twenty-three (23) days before the public hearing. Additionally, you will be responsible for purchasing, posting, and removing the red Zoning Appeal signs for the subject property. (See attached Metro Code of Laws requirements regarding, sign placement.)

The day of the public hearing, it will be your responsibility to convey to the Board the nature of the hardship in your request that makes it difficult/impossible for you to comply with the Zoning Code. **It would be to your benefit to let your neighbors know about your request prior to all notices being sent to them from our office.**

Any party can appeal the Board's decision to Chancery or Circuit Court within sixty (60) days from the date the order in the case is entered. **Should your request be granted, we would remind you that it is your responsibility to obtain the permit for which you have applied.** You should also be aware that you have two (2) years to obtain the permit or you would have to re-file your request with the board.

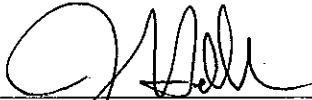
Once your request is filed, the staff will review your request to verify that the submittal is complete. Incomplete submittals will not be scheduled for hearing until complete.

Any correspondence to the Board must be submitted to our office by noon, the Monday prior to the public hearing to be included in the record. You must provide eight (8) copies of your information to staff.

We hope that this information will be of help to you in understanding the variance procedure and if our office can be of further assistance, please do not hesitate to contact us.

METROPOLITAN BOARD OF ZONING APPEALS (615) 862-6510

I am aware that I am responsible for posting and also removing the sign(s) after the public hearing.



APPELLANT

11/6/18

DATE

Standards for a Variance

The Metropolitan Board of Zoning Appeals may grant variances from the strict application of the provisions of the Zoning Code based upon findings of fact related to the standards in section 17.40.370. This Section is included as follows:

Physical Characteristics of the property- The exceptional narrowness, shallowness or shape of a specific piece of property, exceptional topographic condition, or other extraordinary and exceptional condition of such property would result in peculiar and exceptional practical difficulties to, or exceptional or undue hardship upon the owners of such property.

Unique characteristics- *The specific conditions cited are unique to the subject property and generally not prevalent to other properties in the general area.*

Hardship not self-imposed- The alleged difficulty or hardship has not been created by the previous actions of any person having an interest in the property after date of Zoning Code.

Financial gain not only bases- Financial gain is not the sole basis for granting the variance.

No injury to neighboring property- The granting of a variance will not be injurious to other property or improvements in the area, impair and adequate supply of light and air to adjacent property, or substantially diminish or impair property values within the area.

No harm to public welfare- *The granting of the variance will not be detrimental to the public welfare and will not substantially impair the intent and purpose of this Zoning Code.*

Integrity of Master Development Plan- *The granting of a variance will not compromise the design integrity or functional operation of activities or facilities within an approved Planned Unit Development.*

The Board shall not grant variances to the land use provisions of section 2.3, nor the density of Floor Area Ratio (FAR) standards of Tables 3-B and 2-C, nor the required size of residential lots approved by the Planning Commission under the authority of section 3.7 (Lot Averaging), section 3.8 (Cluster Lot Option) or Section 9. E.3 (PUD). Further the Board shall not act on a variance application within a Planned Unit Development (PUD), Urban Design Overlay or Institutional Overlay district without first considering a recommendation from the Planning Commission.

In Simple terms, for the Board to gran you a variance in the zoning ordinance, you must convey to the Board what your hardship is. Hardships are narrowness, shallowness, irregular shape, and topography of property. The Board can also consider other practical difficulties such as mature trees, easements, and location of disposal systems which can affect your plan. Consideration can be given to the characteristics of neighborhood and the way it is developed. One or more of these conditions must affect your inability to build or occupy the property to provide your case.

At the public hearing, please be prepared to tell the Board what your hardship is, why you cannot build in accordance with zoning without requesting a variance and why you feel you have legitimate hardship.

The Board cannot grant a variance based solely on inconvenience to the applicant or solely on a financial consideration. It is incumbent on you as the appellant to complete this form by conveying a HARDSHIP as outlined. At the meeting it is important that you explain this hardship as effectively as possible.

WHAT SPECIFIC AND UNIQUE CIRCUMSTANCES (HARDSHIP) EXIST THAT WOULD AUTHORIZE THE CONSIDERATION OF THE BOARD UNDER THE REVIEW STANDARDS AS OUTLINED?

DUE TO THE 40' FRONT SETBACK OF COLLECTOR STREETS, THERE IS NOT ENOUGH ROOM FOR A HOUSE AND DETACHED GARAGE TO BE BUILT. THE NEIGHBORHOOD IS CHANGING, BUT IT'S STILL ROUGH. A NEIGHBOR BEHIND THIS PROPERTY W/0 A GARAGE WAS SHOT AND KILLED WHILE MOVING HIS GARBAGE CANS. IF GRANTED THE VARIANCE, THERE'S ROOM FOR THE DETACHED GARAGE. THANKS.

THERE WAS ALSO A HOUSE THERE AT SOME POINT THAT HAS BEEN DEMO'D, IT HAD A BASEMENT, AND THEY LEFT THE "HOLE." BUILDING A NEW HOUSE AT A 20' SETBACK WOULD HELP UTILIZE THE EXISTING GRADES.

PLANNING DEPARTMENT SIDEWALK VARIANCE RECOMMENDATION

BZA Case 2018-725 (45 Wharf Avenue)

Metro Standard:	4' grass strip, 8' sidewalk, as defined by the Major and Collector Street Plan
Requested Variance:	Construct alternative sidewalk design with a 3' grass strip and 8' sidewalk
Zoning	R6
Community Plan Policy:	T4 NE (Urban Neighborhood Evolving)
MCSP Street Designation:	T4-M-CA2
Transit:	#25 – Midtown; 350' from #55 – Murfreesboro rapid bus, planned for light rail per nMotion
Bikeway:	None existing; major protected bikeway planned per WalknBike

Planning Staff Recommendation: *Approve with conditions.*

Analysis: The applicant is constructing a single family dwelling, and requests a variance from constructing sidewalks, to construct an 8' sidewalk and utilize the existing grass strip. Planning evaluated the following factors for the variance request:

- (1) There is currently a 3' grass strip and 4' sidewalk, which is consistent with both block faces, and the neighborhood. The 3' grass strip is sufficient to contain utility poles and mailboxes.
- (2) Being near a high frequency transit corridor planned for future light rail, expanding the sidewalk width will support future pedestrian travel needs.

Given the factors above, staff recommends **approval with conditions:**

1. The applicant shall construct an alternative sidewalk design that utilizes the existing grass strip and expands the sidewalk to 8' wide.

Lifsey, Debbie (Codes)

From: Michael, Jon (Codes)
Sent: Friday, December 14, 2018 2:14 PM
To: Lifsey, Debbie (Codes); Shepherd, Jessica (Codes)
Subject: FW: D17 positions for Dec. 20 meeting

For the file.

From: Sledge, Colby (Council Member)
Sent: Friday, December 14, 2018 2:14 PM
To: Board of Zoning Appeals (Codes)
Cc: Michael, Jon (Codes); Lamb, Emily (Codes)
Subject: D17 positions for Dec. 20 meeting

Good afternoon,

Here are my positions on D17 items before you next week.

- 2018-522: I continue to **oppose** a request for exemption to create front-loading garages on Carvell Ave.
- 2018-644: I **oppose** a setback variance request on 2nd Ave S.
- 2018-709: I **tentatively support** a request for parking requirement variances for a microunit development on Humphreys Ave. The applicant will be at a community meeting on Monday, and I'll want to hear from residents.
- 2018-725: I **strongly oppose** a request not to pay into the sidewalks fund on Wharf Ave.
- 2018-662: I **oppose** a short-term rental permit appeal on West Grove Ave.
- 2018-704: I **oppose** a short-term rental appeal on Summit Ave.

Thank you all, as always, for your service, and I hope you have a great weekend!

Colby

Colby Sledge
Metro Council, District 17
(615) 442-3727
ColbySledge.com
[Sign up for my weekly newsletter here!](#)

Metropolitan Board of Zoning Appeals
Metro Howard Building
800 Second Avenue South
Nashville, Tennessee 37210

METROPOLITAN GOVERNMENT OF DAVIDSON COUNTY



Appellant: William Hart Date: 11-6-18
Property Owner: 2305 12th Ave S. Partners Case #: 2018-727
Representative: William Hart Map & Parcel: 105-13-96

Council District 18

The undersigned hereby appeals from the decision of the Zoning Administrator, wherein a Zoning Permit/Certificate of Zoning Compliance was refused:

Purpose: Requesting special exception from front setback requirement to allow 0' front setback

Activity Type: New Construction - Addition of covered patio

Location: 2305 12th Ave - S.

This property is in the CS, U²⁰ Zone District, in accordance with plans, application and all data heretofore filed with the Zoning Administrator, all of which are attached and made a part of this appeal. Said Zoning Permit/Certificate of Zoning Compliance was denied for the reason:

Reason: Does not meet minimum front setback

Section(s): 1.17.12.035

Based on powers and jurisdiction of the Board of Zoning Appeals as set out in Section 17.40.180 Subsection B Of the Metropolitan Zoning Ordinance, a Variance, Special Exception, or Modification to Non-Conforming uses or structures is here by requested in the above requirement as applied to this property.

2305 12th AVES PARTNERS
Appellant Name (Please Print)

SAME
Address

City, State, Zip Code

Phone Number

Email

WILLIAM R. HART
Representative Name (Please Print)

921 B WOODLAND ST.
Address

NASHVILLE, TN 37206
City, State, Zip Code

(615) 667-0808
Phone Number

will.hart@pfeffertorode.com
Email

Appeal Fee: \$ 200.00



**Metropolitan Government
of Nashville and Davidson County, Tennessee
Department of Codes and Building Safety
800 Second Avenue South, Nashville, TN 37210**



3576252

**ZONING BOARD APPEAL / CAAZ - 20180070224
Inspection Checklist for Use and Occupancy
This is not a Use and Occupancy Notification**

PARCEL: 10513009600

APPLICATION DATE: 11/06/2018

SITE ADDRESS:

2305 12TH AVE S NASHVILLE, TN 37204
PT LOT 9 BELMONT LAND CO

PARCEL OWNER: 2305 12 AVENUE SOUTH PARTNERS, LLC CONTRACTOR:

APPLICANT:**PURPOSE:**

requesting a special exception of front setback requirement to reduce setback to 0'.

*Before a Use and Occupancy Letter can be issued for this project, the following approvals are required.
Inspections Foundation = before concrete poured, Framing = before covering wall and after rough-in inspections.*

There are currently no required inspections

Inspection requirements may change due to changes during construction.

November 20, 2018

Mr. David Ewing
 Chairman
 Metropolitan Board of Zoning Appeals
 800 Second Avenue South
 Nashville, TN 37210

Dear Mr. Ewing,

On behalf of my client, 2305 12th Avenue South Partners, LLC, I am writing to submit a request for special exception related to the determination of a front setback for the property located at 2305 12th Avenue South based on contextual criteria within an Urban Zoning Overlay district.

The existing one-story building on the property will be adapted partially for food service, and also preparation support space and administrative office space. The building's front façade is located approximately 14.5' minimum from the front property line, and my client wishes to utilize this space as a covered patio area for year-round use. The property is zoned 'CS'.

The setback condition created by the adjacent building at 2301 12th Avenue South creates a condition unique to this property in which two abutting buildings of the same type have significantly unequal front setbacks. Please consider the following sections of Metro Zoning Code relating to front setback requirements:

1. 17.12.030 – Front setback for non-residential CS zoning established at 15'
2. 17.12.035 – Street setbacks established separately within urban zoning overlay districts
 - a. Subsection (A)(1) – the setback of the principal structure fronting the same street, located on an adjacent lot, and physically abutting my client's building does not meet the minimum requirements of 17.12.030. Adjacent property referenced is located at 2301 12th Avenue South (Please see attached Exhibit A)
 - b. Subsection (C)(3) – setbacks determined based on context (Please see attached Exhibit B)
 - i. Consistency with like building type. 'Building Type' is defined in chapter 17.04.060 as: "a classification of buildings by function, disposition and configuration that provides the norm against which variations are assessed and classified. Buildings shall be classified as residential, commercial, industrial, civic, or support."
 - ii. Contextual Criteria – setbacks consistent with the predominant pattern of street setbacks of pre-1950 buildings located within a distance of three lot widths along both sides of the same street

Buildings of similar 'building type' (commercial) constructed before 1950 within three lot widths facing both sides of 12th Avenue South exhibit a predominant development pattern of zero or minimal setback from the front property line, and do not comply with setbacks for base zoning set forth in chapter 17.12.030.

Furthermore, my client's proposal for a covered patio, while not a permanent enclosure or addition, is consistent with the predominant development pattern of similar building types in the



Pfeffer Torode Architecture

Nashville
 401 E. Woodland Street • East of 5, Tennessee 37203
 Tel: 615.997.0906

Memphis
 17 West Jefferson Street, Suite 201 • Memphis, Tennessee 38102
 Office: 901.725.1900

www.pfeffertorode.com

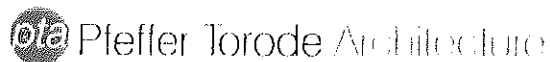
neighborhood. It will support and enhance the commercial frontage and pedestrian-friendly streetscape with no adverse effects to neighboring property or the public welfare.

For the reasons outlined above, I respectfully ask that the Board grant the request to determine street setback along 12th Avenue South based on contextual criteria to allow a covered patio at 2305 12th Avenue South.

Sincerely,

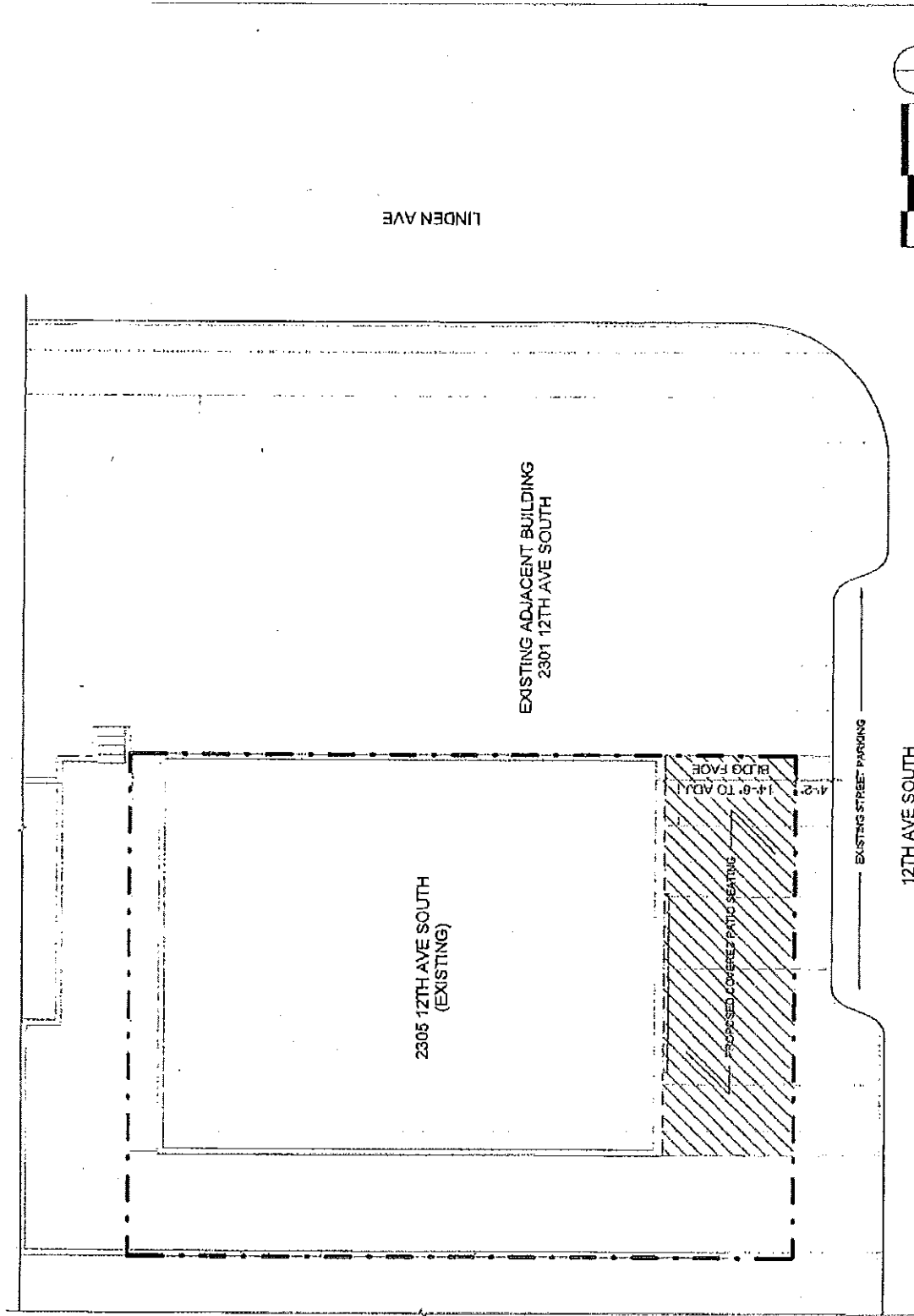


William R. Hart, AIA



Portland
2011 Columbia Street • Portland, Tennessee 37203
Office: 615.661.8800

Montgomery
12 West Jefferson Street, Suite 200 • Montgomery, Alabama 36102
Office: 334.513.1970



LINDEN AVE

2305 12TH AVE SOUTH
(EXISTING)

EXISTING ADJACENT BUILDING
2301 12TH AVE SOUTH

PROPOSED COVERED PATIO SEATING

EXISTING STREET PARKING

12TH AVE SOUTH

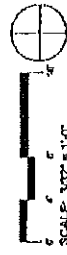
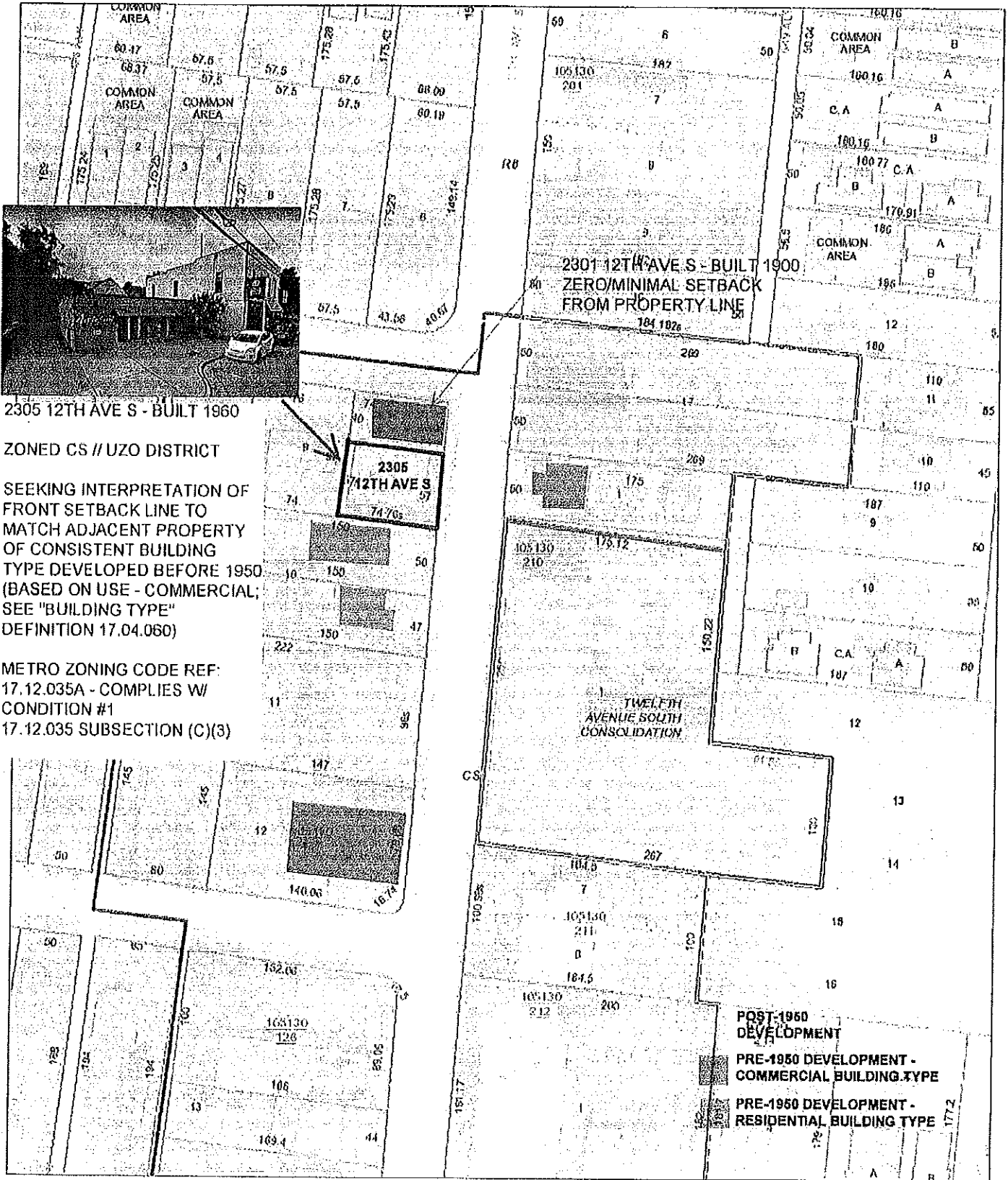


EXHIBIT A - SITE PLAN

2305 12TH AVE S



Pfeiffer Torode Architecture



2305 12TH AVE S - BUILT 1960

ZONED CS // UZO DISTRICT

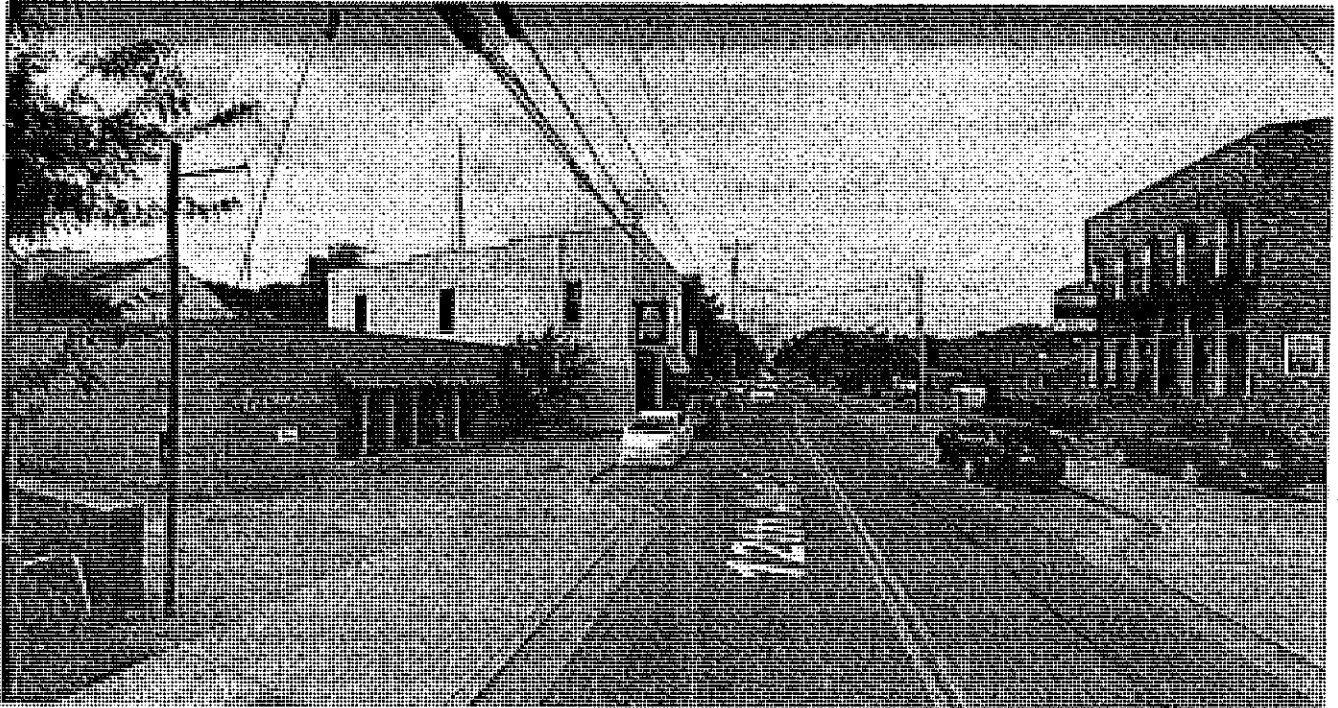
SEEKING INTERPRETATION OF FRONT SETBACK LINE TO MATCH ADJACENT PROPERTY OF CONSISTENT BUILDING TYPE DEVELOPED BEFORE 1950 (BASED ON USE - COMMERCIAL; SEE "BUILDING TYPE" DEFINITION 17.04.060)

METRO ZONING CODE REF: 17.12.035A - COMPLIES W/ CONDITION #1 17.12.035 SUBSECTION (C)(3)

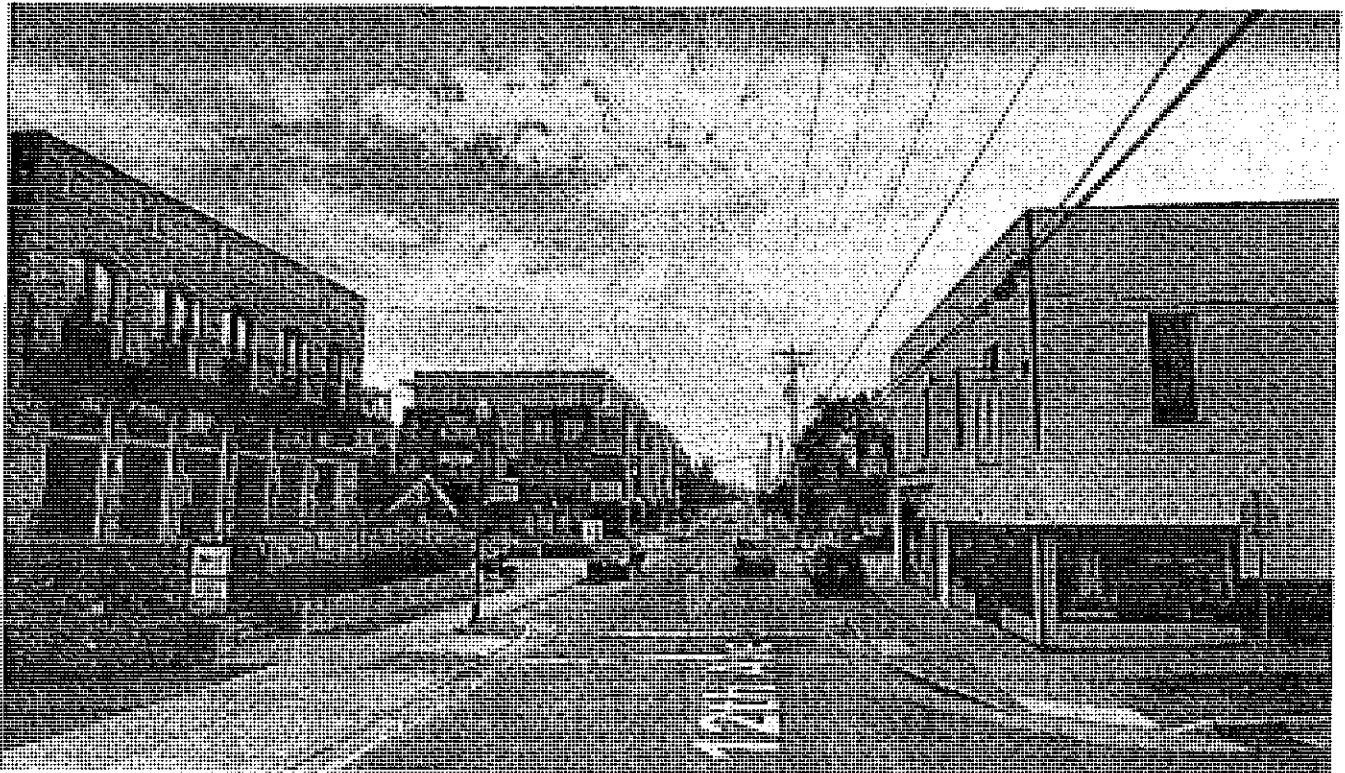
EXHIBIT B - VICINITY ANALYSIS

NTS

2305 12TH AVE S



12TH AVENUE SOUTH - FACING NORTH



12TH AVENUE SOUTH - FACING SOUTH

EXHIBIT C - EXISTING STREET CONDITIONS

2305 12TH AVE S

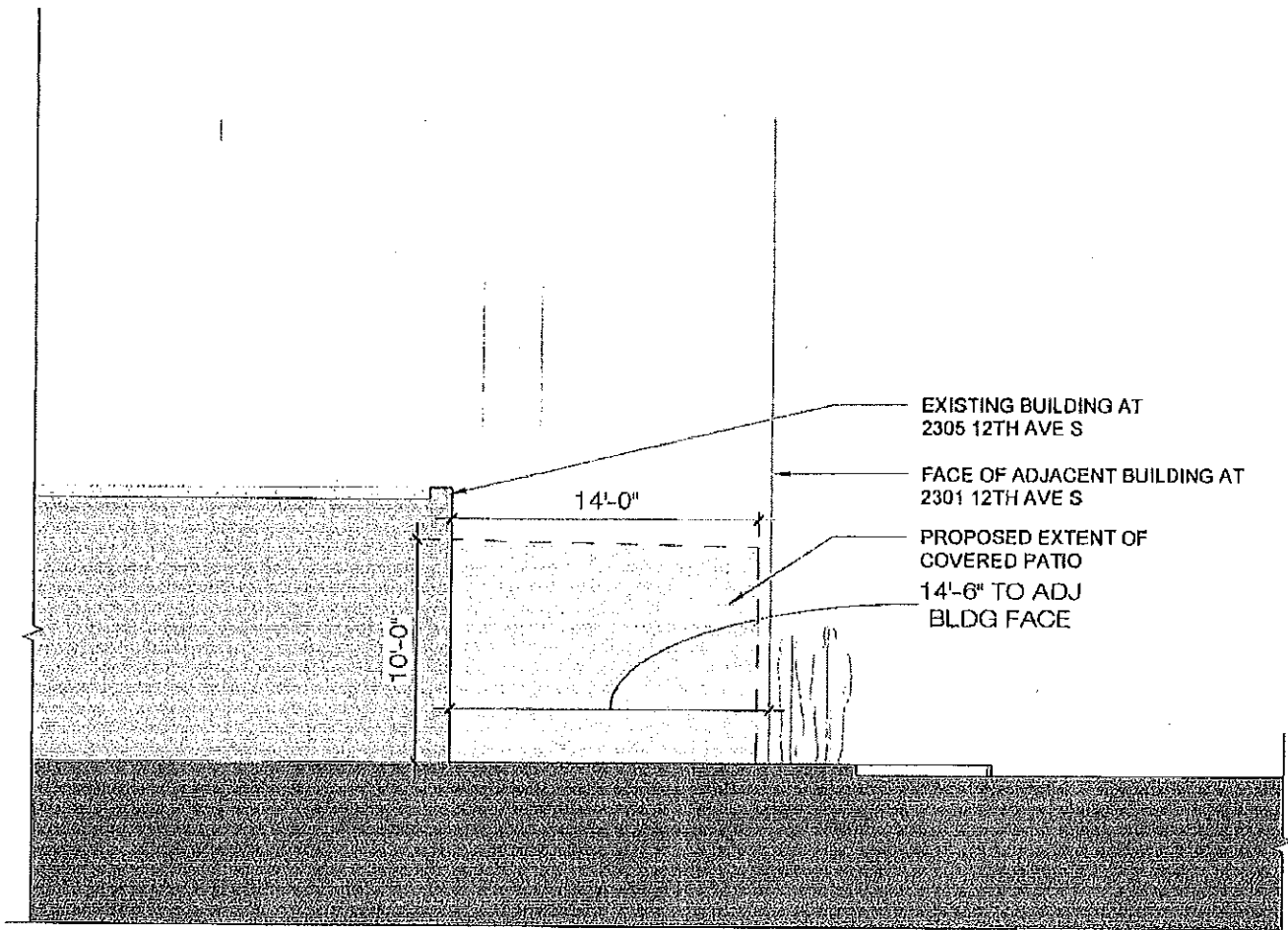


EXHIBIT D - COVERED PATIO DIAGRAM

2305 12TH AVE S

APPLICATION FOR SPECIAL EXCEPTION REQUESTS

After your appeal is filed, zoning staff will visit the site to take photographs for the Board Members so they will have a better idea of the nature of your request. Zoning staff will notify the district councilmember of the hearing. You will be responsible for preparing the envelopes and notices for mailing to the owners of property within 600 feet of the property at issue in this case. The envelopes must include the return address for the BZA and case number. Fold and insert the notices into the envelopes, seal the envelopes, and apply first class postage. These neighbor notices must be delivered to zoning staff at least twenty-three (23) days before the public hearing. Additionally, you will be responsible for purchasing, posting, and removing the red Zoning Appeal signs for the subject property. (See attached Metro Code of Laws requirements regarding sign placement.) Finally, BZA Rules require that you conduct a neighborhood meeting regarding the special exception request before the BZA hearing date.

The day of the public hearing, it will be your responsibility to convey to the Board the nature of the hardship in your request that makes it difficult/impossible for you to comply with the Zoning Code. It would be to your benefit to let your neighbors know about your request prior to all notices being sent to them from our office.

Any party can appeal the Board's decision to Chancery or Circuit Court within sixty (60) days from the date the order in the case is entered. Should your request be granted, we would remind you that it is your responsibility to obtain the permit for which you have applied. You should also be aware that you have two (2) years to obtain the permit or you would have to re-file your request with the Board.

Once your request is filed, the staff will review your request to verify that the submittal is complete. Incomplete submittals will not be scheduled for a hearing until complete.

Any correspondence to the Board must be submitted to our office by noon, The Monday prior to the public hearing to be included in the record. You must provide eight (8) copies of your information to staff.

We hope that this information will be of help to you in understanding the variance procedure and if our office can be of further assistance, please do not hesitate to contact us.

METROPOLITAN BOARD OF ZONING APPEAL (615) 862-6510

I am aware that I am responsible for posting and also removing the sign(s) after the public hearing. I am aware that I am required to conduct a neighborhood meeting.


APPELLANT

11/21/2018
DATE

SPECIAL EXCEPTION REQUEST

BZA Rules of Procedure, Item 9(2) (e) requirements to conduct neighborhood meetings regarding the case that will later appear before the BZA. The BZA Rules specifies, "In the Interest of having informed stake holder in special exception cases. It is required that the appellant make contact with the district council person and neighbors within 600 feet of the subject property from a mailing list provided by the board staff. Information by the applicant shall include a contact person and include a reasonable representation of the proposal and hold a meeting at a geographically convenient place, date, and time. Applicant shall document to the Board that this requirement has been met. Failure to comply may result in deferral of your case."

Zoning staff will provide you a mailing list of property owners in proximity to the location designated for a special exception permit. The BZA Rule then requires you to contact those persons on the mailing list, provide them with the date, time and place of meeting, and discuss your BZA request accordingly. If there is opposition to your case, this meeting gives you the chance to address those concerns prior to the public hearing at the BZA meeting.

You must create and provide documentation of your efforts to contact the neighboring property owners for the neighborhood meeting. Failure to do so can result in a deferral or denial of your appeal to the BZA.

I ACKNOWLEDGE MY RESPONSIBILITES regarding the neighborhood meeting preceding the public hearing for by BZA appeal for a special exception

William R. Hunt
APPELLANT (OR REPRESENTATIVE)

11/21/18
DATE

Metropolitan Board of Zoning Appeals
Metro Howard Building
800 Second Avenue South
Nashville, Tennessee 37210



Appellant: William Hart Date: 11-6-18
Property Owner: 2305 12th Ave S. Partners Case #: 2018-727
Representative: William Hart Map & Parcel: 105-13-96

Council District 18

The undersigned hereby appeals from the decision of the Zoning Administrator, wherein a Zoning Permit/Certificate of Zoning Compliance was refused:

Purpose: Requesting special exception from front setback requirement to allow 0' front setback

Activity Type: New Construction - Addition of covered patio

Location: 2305 12th Ave. S.

This property is in the CS, UPO Zone District, in accordance with plans, application and all data heretofore filed with the Zoning Administrator, all of which are attached and made a part of this appeal. Said Zoning Permit/Certificate of Zoning Compliance was denied for the reason:

Reason: Does not meet minimum front setback

Section(s): 1.17.12.035

Based on powers and jurisdiction of the Board of Zoning Appeals as set out in Section 17.40.180 Subsection B Of the Metropolitan Zoning Ordinance, a Variance, Special Exception, or Modification to Non-Conforming uses or structures is hereby requested in the above requirement as applied to this property.

2305 12th AVES PARTNERS
Appellant Name (Please Print)

SAME
Address

City, State, Zip Code

Phone Number

Email

WILLIAM R. HART
Representative Name (Please Print)

921 B WOODLAND ST.
Address

NASHVILLE, TN 37206
City, State, Zip Code

(615) 667-0808
Phone Number

will.hart@pefferlorde.com
Email

Appel Fees \$ 200.00



Metropolitan Government
of Nashville and Davidson County, Tennessee
Department of Codes and Building Safety
800 Second Avenue South, Nashville, TN 37210



3576252

ZONING BOARD APPEAL / CAN7 - 20180070224**Inspection Checklist for Use and Occupancy****This is NOT a Use and Occupancy Notification**

PARCEL: 10513009600

APPLICATION DATE: 11/06/2018

SITE ADDRESS:

2305 12TH AVE S NASHVILLE, TN 37204

PT LOT 9 BELMONT LAND CO

PARCEL OWNER: 2305 12 AVENUE SOUTH PARTNERS, LLC CONTRACTOR:

APPLICANT:**PURPOSE:**

requesting a special exception of front setback requirement to reduce setback to 0'.

*Before a Use and Occupancy Letter can be issued for this project, the following approvals are required.
Inspections Foundation = before concrete poured, Framing = before covering wall and after rough-in inspections.*

There are currently no required inspections

Inspection requirements may change due to changes during construction.

November 20, 2018

Mr. David Ewing
 Chairman
 Metropolitan Board of Zoning Appeals
 800 Second Avenue South
 Nashville, TN 37210

Dear Mr. Ewing,

On behalf of my client, 2305 12th Avenue South Partners, LLC, I am writing to submit a request for special exception related to the determination of a front setback for the property located at 2305 12th Avenue South based on contextual criteria within an Urban Zoning Overlay district.

The existing one-story building on the property will be adapted partially for food service, and also preparation support space and administrative office space. The building's front façade is located approximately 14.5' minimum from the front property line, and my client wishes to utilize this space as a covered patio area for year-round use. The property is zoned 'CS'.

The setback condition created by the adjacent building at 2301 12th Avenue South creates a condition unique to this property in which two abutting buildings of the same type have significantly unequal front setbacks. Please consider the following sections of Metro Zoning Code relating to front setback requirements:

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2. 17.12.035 – Street setbacks established separately within urban zoning overlay districts
 - a. Subsection (A)(1) – the setback of the principal structure fronting the same street, located on an adjacent lot, and physically abutting my client's building does not meet the minimum requirements of 17.12.030. Adjacent property referenced is located at 2301 12th Avenue South (Please see attached Exhibit A)
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 - ii. Contextual Criteria – setbacks consistent with the predominant pattern of street setbacks of pre-1950 buildings located within a distance of three lot widths along both sides of the same street

Buildings of similar 'building type' (commercial) constructed before 1950 within three lot widths facing both sides of 12th Avenue South exhibit a predominant development pattern of zero or minimal setback from the front property line, and do not comply with setbacks for base zoning set forth in chapter 17.12.030.

Furthermore, my client's proposal for a covered patio, while not a permanent enclosure or addition, is consistent with the predominant development pattern of similar building types in the



Pfeffer Torode Architecture

1100 10th Avenue South
 Nashville, Tennessee 37203
 Phone: 615.259.0756

12 West • 1200 Connecticut Street, Suite 200 • Longwood, Atlanta, GA 30304
 Phone: 404.525.1976

www.pfeffertorode.com

neighborhood. It will support and enhance the commercial frontage and pedestrian-friendly streetscape with no adverse effects to neighboring property or the public welfare.

For the reasons outlined above, I respectfully ask that the Board grant the request to determine street setback along 12th Avenue South based on contextual criteria to allow a covered patio at 2305 12th Avenue South.

Sincerely,



William R. Hart, AIA



Head Office
2211 Cowan Street • 11th Floor • Vancouver, BC
V6Z 1K5 • 604 681 0800

Los Angeles
3700 Wilshire Blvd • Suite 200 • Los Angeles, CA 90010
Tel: 310 551 9976

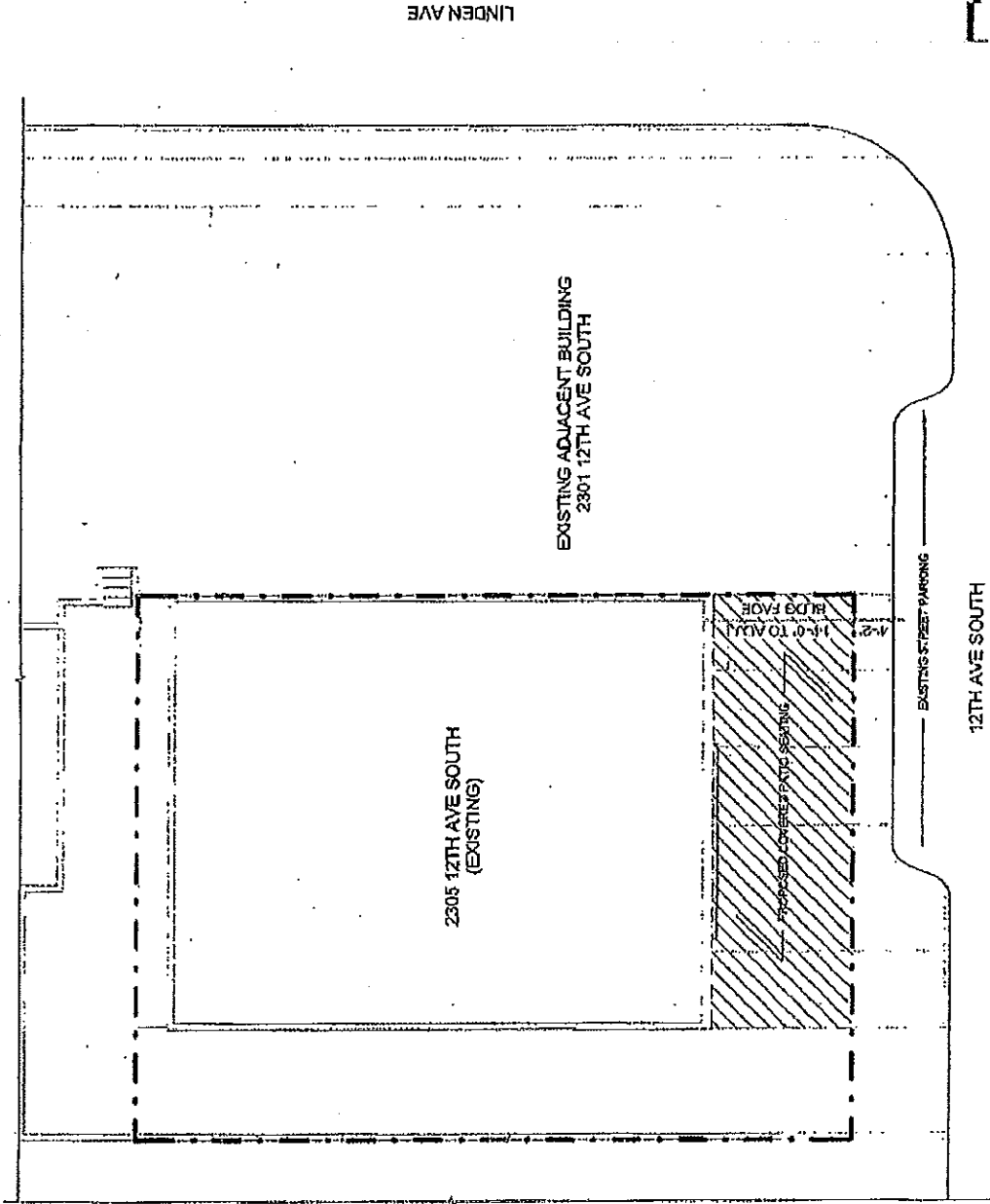


EXHIBIT A - SITE PLAN

2305 12TH AVE S

Pfeiffer Torode Architecture

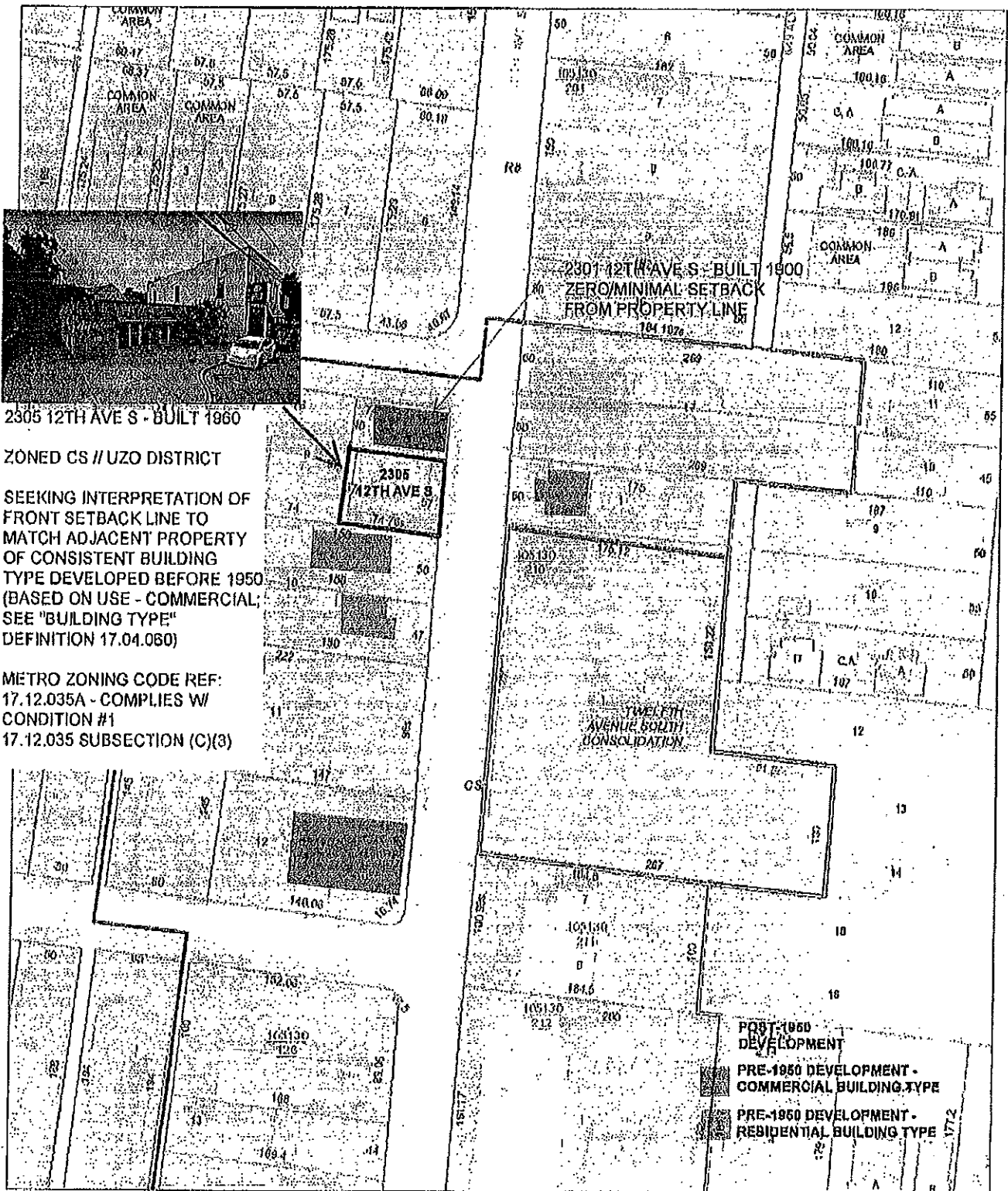
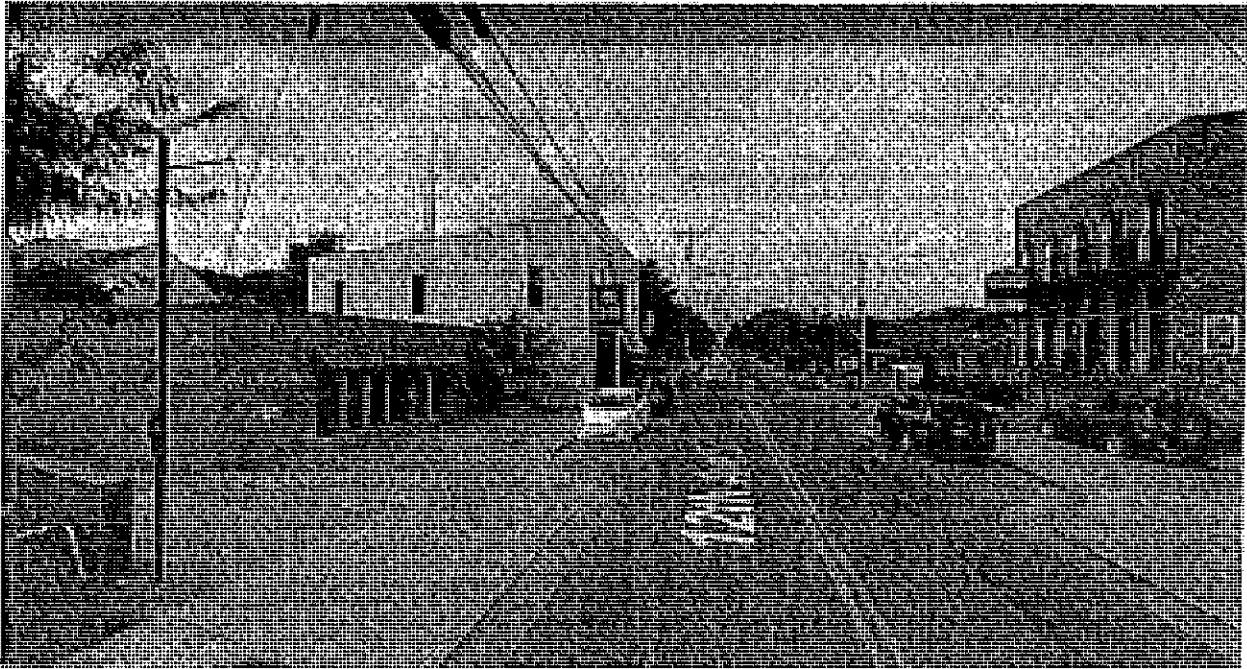


EXHIBIT B - VICINITY ANALYSIS

NTS

2305 12TH AVE S



12TH AVENUE SOUTH - FACING NORTH



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EXHIBIT C - EXISTING STREET CONDITIONS

2305 12TH AVE S

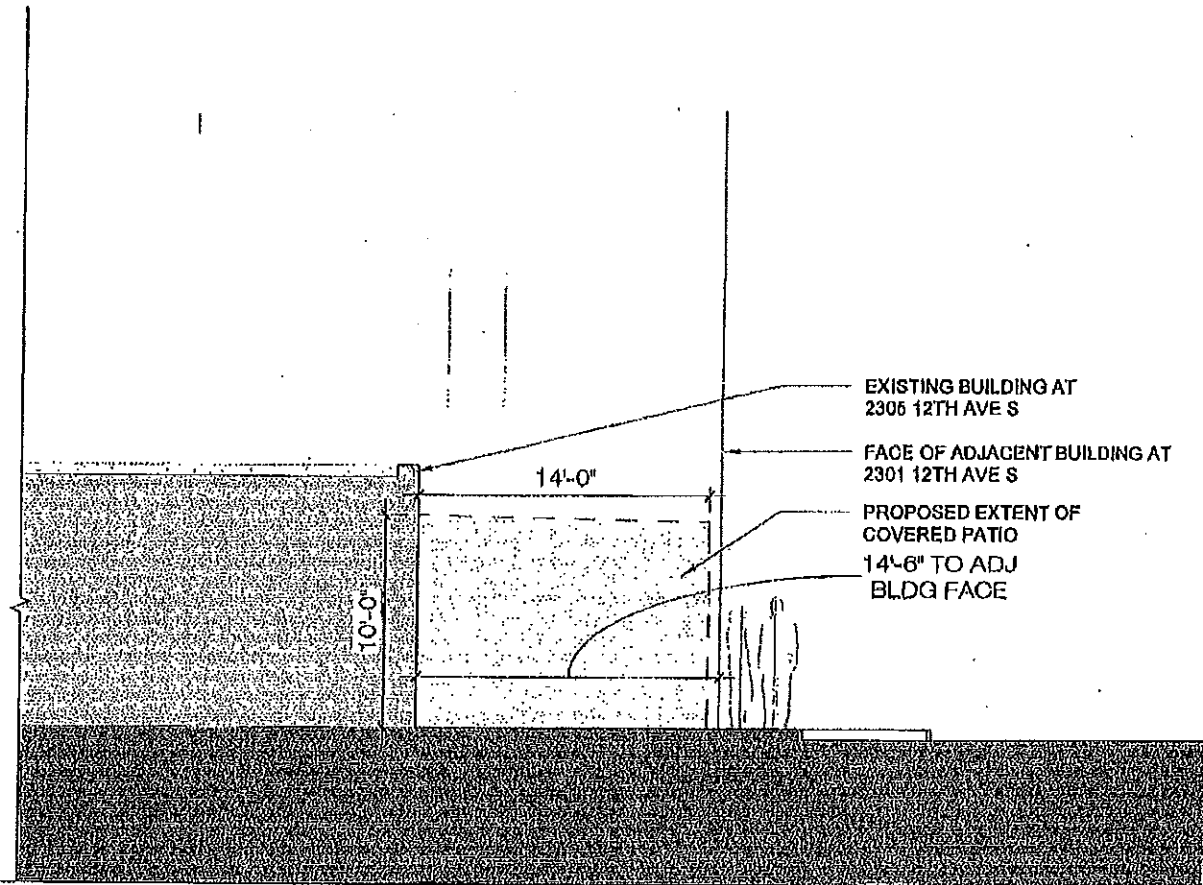


EXHIBIT D - COVERED PATIO DIAGRAM

2305 12TH AVE S

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METROPOLITAN BOARD OF ZONING APPEAL (615) 862-6510

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APPELLANT

11/21/2018
DATE

SPECIAL EXCEPTION REQUEST

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I ACKNOWLEDGE MY RESPONSIBILITIES regarding the neighborhood meeting preceding the public hearing for by BZA appeal for a special exception


APPELLANT (OR REPRESENTATIVE)

11/21/18
DATE

From: [Ammarell, Beverly \(Public Works\)](#)
To: [Lifsey, Debbie \(Codes\)](#)
Cc: [Doyle, Devin \(Public Works\)](#)
Subject: RE: Appeal 2018-727
Date: Monday, December 17, 2018 12:53:41 PM

2018-727 Addition of covered patio 2305 12th Ave S special Exception for front setback
Variance: 17.12.035 front setback special exception

Response: Public Works takes no exception. This does not imply approval of the submitted site plan as access and design issues will be addressed and coordinated during the permitting process.

-----Original Message-----

From: Lifsey, Debbie (Codes)
Sent: Monday, December 17, 2018 12:09 PM
To: Ammarell, Beverly (Public Works)
Subject: FW: Appeal 2018-727

This appeal case 2018-727 was changed from a variance to a special exception and I do not see a record of it being sent to you. Not sure if you can make any recommendation before our meeting this Thursday.

Thank you,

Debbie Lifsey

-----Original Message-----

From: Shepherd, Jessica (Codes)
Sent: Wednesday, November 21, 2018 8:36 AM
To: Briggs, Michael (Planning) <Michael.Briggs@nashville.gov>; Milligan, Lisa (Planning) <Lisa.Milligan@nashville.gov>
Subject: Appeal 2018-727

Appeal 2018-727 on agenda for 12/20/18

-----Original Message-----

From: MOBKDMFP01@nashville.gov [<mailto:MOBKDMFP01@nashville.gov>]
Sent: Wednesday, November 21, 2018 8:39 AM
To: Shepherd, Jessica (Codes)
Subject: Message from "MOBKDMFP01"

This E-mail was sent from "MOBKDMFP01" (Aficio MP C5502).

Scan Date: 11.21.2018 09:39:02 (-0500)
Queries to: MOBKDMFP01@nashville.gov

METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY
Planning Department
Metro Office Building
800 Second Avenue South
Nashville, Tennessee 37201
615.862.7150
615.862.7209

Memo

To: Metropolitan Nashville Board of Zoning Appeals
From: Metropolitan Nashville Planning Department
CC: Emily Lamb
Date: December 7, 2018
BZA Hearing Date: December 20, 2018
Re: Planning Department Recommendation for a Special Exception, Case 2018-727

Pursuant to Section 17.40.300 of the Metro Zoning Code, the Metropolitan Planning Department is providing a recommendation on the following Special Exception case:

1. Case 2018-727 (2305 12th Avenue South)

Request: A Special Exception to reduce the street setback to zero feet.

Zoning: Commercial Service (CS) is intended for retail, consumer service, financial, restaurant, office, self-storage, light manufacturing and small warehouse uses.

Overlay District: Urban Zoning Overlay District

Land Use Policy: T4 Urban Neighborhood Center (T4 NC) is intended to maintain, enhance, and create urban neighborhood centers that serve urban neighborhoods that are generally within a 5 minute walk. T4 NC areas are pedestrian friendly areas generally located at intersections of urban streets that contain commercial, mixed use, residential, and institutional land uses. Infrastructure and transportation networks may be enhanced to improve pedestrian, bicycle, and vehicular connectivity.

Supplemental Policy: 10-12S-T4-NC-SD9A consists of an area bounded by Wedgewood Avenue to the north, 10th Avenue south to the east, I-440 at Sevier Park and Cedar Lane to the south, and Belmont Boulevard to the west. The intent of the Supplemental Policy is to provide planning guidance at a more detailed level than a community plan. The 12th Avenue South Corridor Detailed Neighborhood Design Plan addresses land use, transportation, and community character at the neighborhood level.

Planning Department Analysis: The Special Exception proposes to reduce the existing street setback to zero feet. Existing site conditions include a one story commercial building, built in 1960, that has a street setback of approximately 15 feet. The intent of this street setback request is to provide an accessory structure in the form of a covered patio with seating between the existing building and the sidewalk along 12th Avenue South. The proposed patio is 14 feet deep and is approximately 46 feet wide. Metro Zoning Code (17.12.035) specifies the criteria for modifying the street setback for a property located in the Urban Zoning Overlay District.

Existing context includes an adjacent 2-story commercial building that has a street setback of zero feet. The setback for that building, immediately north of the site, was used for comparison with this site. The existing 15-foot setback on this site is not consistent with the supplemental policy which encourages a street setback between 0 feet and 5 feet in this location. The intent of the supplemental policy is to develop the 12th Avenue South Corridor as an area that can accommodate a mixture of traffic at a neighborhood scale. The supplemental policy at this location encourages pedestrian and bicycle access between uses, public spaces, and adjacent neighborhoods. Reduction in the street setback for a covered patio as proposed is consistent with the supplemental policy in this location. The proposed covered patio with a setback of zero feet would provide additional activation of the street and contribute to a strong pedestrian-friendly environment.

Planning Recommendation: Approve.

From: [Michael, Jon \(Codes\)](#)
To: [Lamb, Emily \(Codes\)](#)
Cc: [Lifsey, Debbie \(Codes\)](#)
Subject: FW: Planning recommendations for 12/20 BZA meeting
Date: Tuesday, December 18, 2018 8:10:47 AM
Attachments: [BZA2018-700 Sidewalk rec. Planning FINAL.pdf](#)
[BZA2018-706 Sidewalk rec. Planning FINAL.pdf](#)
[BZA2018-710 Sidewalk rec. Planning FINAL.pdf](#)
[BZA2018-711 Sidewalk rec. Planning FINAL.pdf](#)
[BZA2018-718 Sidewalk rec. Planning FINAL.pdf](#)
[BZA2018-719 Sidewalk rec. Planning FINAL.pdf](#)
[BZA2018-722 Sidewalk rec. Planning FINAL.pdf](#)
[BZA2018-723 Sidewalk rec. Planning FINAL.pdf](#)
[BZA2018-724 Sidewalk rec. Planning FINAL.pdf](#)
[BZA2018-725 Sidewalk rec. Planning FINAL.pdf](#)
[BZA2018-728 Sidewalk rec. Planning FINAL.pdf](#)
[BZA2018-720 Sidewalk rec. Planning FINAL.pdf](#)
[BZA2018-721 Sidewalk rec. Planning FINAL.pdf](#)
[BZA2018-727 Special Exception planning rec.pdf](#)

Lamb:

Sometime today, please reach out to Duane Cuthbertson on Case 716. Apparently, it can be withdrawn. We need to be certain that has been communicated. Just let Debbie know once they're on the same page.

Thanks,
JM.

From: Briggs, Michael (Planning)
Sent: Friday, December 14, 2018 11:30 AM
To: Lifsey, Debbie (Codes); Shepherd, Jessica (Codes)
Cc: Michael, Jon (Codes); Lamb, Emily (Codes); Braisted, Sean (Codes); Leeman, Bob (Planning); Milligan, Lisa (Planning)
Subject: Planning recommendations for 12/20 BZA meeting

Debbie & Jessica-

Attached are the following recommendations unless noted in red and potential agenda status:

2018-700-1219 N 7th St. (Sidewalk)
 2018-706-842 B Goff St. (Sidewalk) – Potential Consent
 2018-710-324 B Dade Dr. (Sidewalk) – Potential Consent
 2018-711-4809 Old Hickory Blvd. (Sidewalk) – Potential Consent
 2018-715-7177 Cockrill Bend Blvd. (Special Exception) – **NOT READY AT THIS TIME. LISA WILL SEND NEXT WEEK.**
 2018-716-1006 11th Ave. N. Sidewalk) – **NO RECOMMENDATION ATTACHED. THIS CASE CAN BE WITHDRAWN. WE IDENTIFY IN MCSP AS LOCAL STREET AND LEAVING SIDEWALKS AT 8' HERE GIVEN REDEVELOPMENT DISTRICT.**
 2018-718-2600 Gallatin Pike (Sidewalk)
 2018-719-725 Park Circle (Sidewalk) – Potential Consent

2018-720-802 & 804 28 Ave N. (Sidewalk) – Potential Consent, still has setback issue to consider
2018-721-806 28th Ave. N. (Sidewalk) – Potential Consent, still has setback issue to consider
2018-722-3354 Bell Rd. (Sidewalk) – Potential Consent
2018-723-4100 Clarksville Pike (Sidewalk) – Potential Consent
2018-724-1600 Riverside Dr. (Sidewalk) – Potential Consent
2018-725-45 Warf Ave. (Sidewalk) – Potential Consent

These might be bonuses since they weren't on your list:

2018-727-2305 12th Ave S. (Special Exception)
2018-728-2404 Elliston Place (Sidewalks) – Potential Consent

Let me know if you have any questions.

Thanks,
Michael

Michael Briggs, AICP

Manager of Multimodal Transportation Planning
Metro Nashville Planning Department
800 Second Avenue South | P.O. Box 196300 | Nashville, TN 37219-6300
615.862.7219 | michael.briggs@nashville.gov | www.nashville.gov/MPC

[*Bronze Bicycle Friendly Business*](#)

Metropolitan Board of Zoning Appeals

Metro Howard Building
800 Second Avenue South
Nashville, Tennessee 37210

METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY



Appellant : Collins Legal, PLC

Date: Oct 16, 2018

Property Owner: TBC I, LLC

Case #: 2018- 662

Representative: : Grover Collins

Map & Parcel: 105 09 0R 002.00

Council District 17

The undersigned hereby appeals from the decision of the Zoning Administrator, wherein a Zoning Permit/Certificate of Zoning Compliance was refused:

Purpose:

The renewal should have been renewed pursuant to State law.

Activity Type: Short Term Rental Permit

Location: 1014B West Grove Ave, Nashville, TN 37203

This property is in the R8 Zone District, in accordance with plans, application and all data heretofore filed with the Zoning Administrator, all of which are attached and made a part of this appeal. Said Zoning Permit/Certificate of Zoning Compliance was denied for the reason:

Reason: Transfer of Property from LLC back into LLC

Section(s): MCL 17.16.250(E)

Based on powers and jurisdiction of the Board of Zoning Appeals as set out in Section 17.40.180 Subsection A Of the Metropolitan Zoning Ordinance, a Variance, Special Exception, or Modification to Non-Conforming uses or structures is here by requested in the above requirement as applied to this property.

Collins Legal, PLC
Appellant Name (Please Print)

Grover Collins
Representative Name (Please Print)

414 Union Street, Suite 1110
Address

414 Union Street, Suite 1110
Address

Nashville, TN 37219
City, State, Zip Code

Nashville, TN 37219
City, State, Zip Code

615-736-9596
Phone Number

615-736-9596
Phone Number

grover@collins.legal
Email

grover@collins.legal
Email

Appeal Fee: \$100.00



**Metropolitan Government
of Nashville and Davidson County, Tennessee
Department of Codes and Building Safety
800 Second Avenue South, Nashville, TN 37210**



3570307

**ZONING BOARD APPEAL / CAAZ - 20180066167
Inspection Checklist for Use and Occupancy
This is not a Use and Occupancy Notification**

PARCEL: 105090R00200CO**APPLICATION DATE:** 10/18/2018**SITE ADDRESS:**

1014 B W GROVE AVE NASHVILLE, TN 37203
UNIT B 1014 WEST GROVE AVENUE TOWNHOMES

PARCEL OWNER: TBC I, LLC**CONTRACTOR:****APPLICANT:****PURPOSE:**

Transferring property from LLC back into LLC.

*Before a Use and Occupancy Letter can be issued for this project, the following approvals are required.
Inspections Foundation = before concrete poured, Framing = before covering wall and after rough-in inspections.*

There are currently no required inspections

Inspection requirements may change due to changes during construction.

DAVID BRILEY
MAYOR



METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

DEPARTMENT OF CODES & BUILDING SAFETY

OFFICE ADDRESS
METRO OFFICE BUILDING-- 3rd FLOOR
800 SECOND AVENUE, SOUTH
NASHVILLE, TENNESSEE 37210

MAILING ADDRESS
POST OFFICE BOX 196300
NASHVILLE, TENNESSEE 37219-6300
TELEPHONE (615) 862-6500
FACSIMILE (615) 862-6514
www.nashville.gov/codes

March 26, 2018

Freeman Wizer
1014 A W. Grove Avenue
Nashville, Tennessee 37203

RE: Permit CASR #201516993
1014 B W. Grove Avenue

Dear Mr. Wizer:

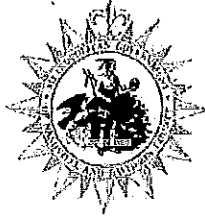
Pursuant to Section 17:16.250(E) of the Metropolitan Code of Laws, this letter serves as your formal notice of the cancellation of the above referenced STRP permit. This property changed ownership after the date of permit issuance. Since the law does not allow transfers of STRP permits, this permit has been invalid since the June 21, 2016 ownership change.

All short term rental advertising, operations, and actual renting at this address must cease immediately. Any such actions at the subject address will be a violation of law and subject you to court proceedings. You have the right to appeal this decision at the Board of Zoning Appeals.

Sincerely,

Jon Michael
Metro Codes

METRO GOV OF NASHVILLE & DAVIDSON CTY
DEPARTMENT OF CODES & BUILDING SAFETY
PO BOX 196300
NASHVILLE, TN 37219-6300



TBC I LLC
1014B W GROVE AVE
NASHVILLE, TN 37203-5448



April 2, 2018

RE: Notice of Short Term Rental Property Violation at 1014B West Grove Avenue, Nashville, TN (Parcel # 105090R00200)

Dear TBC I, LLC:

You are hereby notified as owner of the above-referenced property that the property is in violation of the Metropolitan Code of Laws Section 17.16.250.E – Short Term Rental Property.

Pursuant to MCL § 17.16.250.E, it is illegal to advertise and/or rent property in Nashville on a short term basis (fewer than 30 days) without first having obtained a short term rental permit from the Department of Codes Administration. Based on MCL § 17.16.250.E, you are ineligible to rent this property on a short term basis until you obtain a short term rental permit. Accordingly, effective immediately you must discontinue advertising and/or renting your property on a short term basis, cancel any existing reservations, and remove any advertisements pertaining to the short term rental of the property.

Please be advised that the penalty for violating MCL § 17.16.250.E is a fine of \$50 per day as well as a three year waiting period to become eligible for a permit if you continue to operate without a permit. In the event you fail to discontinue advertising and/or operating this short term rental without a permit, we intend to initiate court action to stop the advertisement and/or operation.

If you have any questions, please contact Robert Osborn at (615) 862-6590.

Respectfully,

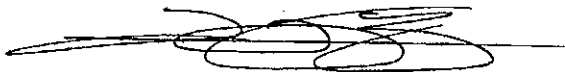
Robert Osborn
Metro Codes, Property Standards Division

AFFIDAVIT

Comes now affiant FREEMAN WIZER / TBCI LLC, designated representative for Short Term Rental Property ("STRP") Permit # 201516993 for the property located at 1014B W GROVE AVE, NASHVILLE, TN 37203 and states as follows, based upon the affiant's personal knowledge:

1. That I am over the age of eighteen and competent to provide this Affidavit.
2. That I am the designated representative for STRP Permit # 201516993.
3. That I wish to continue the permitted operation of an STRP at 1014B W GROVE AVE, NASHVILLE, TN 37203, pursuant to MCL 6.28.030.
4. That the floor plan at the permitted address has not changed since the prior STRP inspection and approval by the Metro Fire Marshal.
5. That I possess the full insurance coverage for the STRP, as required by MCL 6.28.030.
6. That I have paid all applicable taxes related to this permit and this land use.
7. That I have not violated the requirements for operation of a permitted STRP, pursuant to MCL 6.28.030.

FURTHER, AFFIANT SAITH NOT:



SIGNATURE

3/6/18

DATE

Affiant's PRINTED Name	<u>FREEMAN WIZER / TBCI LLC</u>
Affiant's Address	<u>P.O. BOX 121792</u>
	<u>NASHVILLE, TN 37212</u>
Representative's Email	<u>FREEMANWIZER@GMAIL.COM</u>
Phone	<u>615-545-7050</u>

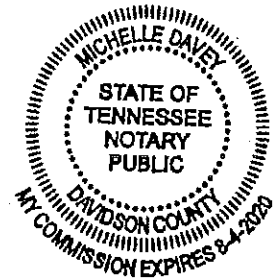
COUNT OF DAVIDSON)
STATE OF TENNESSEE)

Before me, a notary public for said county and said state, appeared Freeman Wizer,
~~with whom I am personally acquainted~~, or proved to me on the basis of satisfactory evidence, and who
acknowledged that he is the Representative for STRP Permit # 201516993, and that
in the capacity of Representative executed the foregoing Affidavit for the purposes therein contained.

This the 6 day of March, 2018.

Michelle Davey

My Commission Expires: 8-4-2020



Lifsey, Debbie (Codes)

From: Michael, Jon (Codes)
Sent: Friday, December 14, 2018 2:14 PM
To: Lifsey, Debbie (Codes); Shepherd, Jessica (Codes)
Subject: FW: D17 positions for Dec. 20 meeting

For the file.

From: Sledge, Colby (Council Member)
Sent: Friday, December 14, 2018 2:14 PM
To: Board of Zoning Appeals (Codes)
Cc: Michael, Jon (Codes); Lamb, Emily (Codes)
Subject: D17 positions for Dec. 20 meeting

Good afternoon,

Here are my positions on D17 items before you next week.

- 2018-522: I continue to **oppose** a request for exemption to create front-loading garages on Carvell Ave.
- 2018-644: I **oppose** a setback variance request on 2nd Ave S.
- 2018-709: I **tentatively support** a request for parking requirement variances for a microunit development on Humphreys Ave. The applicant will be at a community meeting on Monday, and I'll want to hear from residents.
- 2018-725: I **strongly oppose** a request not to pay into the sidewalks fund on Wharf Ave.
- 2018-662: I **oppose** a short-term rental permit appeal on West Grove Ave.
- 2018-704: I **oppose** a short-term rental appeal on Summit Ave.

Thank you all, as always, for your service, and I hope you have a great weekend!

Colby

Colby Sledge
Metro Council, District 17
(615) 442-3727
ColbySledge.com
[Sign up for my weekly newsletter here!](#)

From: [Liane Moneta-Koehler](#)
To: [Sledge, Colby \(Council Member\)](#); [Board of Zoning Appeals \(Codes\)](#)
Subject: Opposition to STR appeal case 2018-662
Date: Saturday, December 1, 2018 3:22:07 PM

Hi Colby & BZA,

I'm writing in opposition to the STR permit appeal for 1014B W Grove Ave - Case number 2018-662 (Permit number 20180066167). Thank you for enforcing the rules.

I live across the street at [1015B W Grove Ave](#) with my husband and 3 kids. We would like long term residents in the neighborhood. People that we might befriend. Children for our kids to play with. Or even just familiar faces to smile at when we bike passed. We want neighbors, not visitors.

In particular, when the house operated as a AirBnB, visitors were especially inconsiderate to the neighborhood community. Noise was a mild issue, but more concerning was the public urination.

Thank you,
Liane Moneta-Koehler
[1015B W Grove Ave](#)

1017A West Grove Avenue
Nashville, TN 37203

November 17, 2018

Dear Board of Zoning Appeals:

I am writing in reference to permit #20180066167. I apologize that we are not able to attend the scheduled meeting on December 6th regarding this matter, but we will be out of the country.

We own a house across the street on West Grove Avenue, and ask that you consider denying this permit request based on several experiences that we have had in the two years that we have resided here. Nashville has become the spot for girls' trips, bachelor and bachelorette parties, etc., and this is the clientele that is attracted to a house that sleeps many people near both 12 South and downtown. These trips also tend to involve heavy drinking, and because of that, people staying in our neighborhood are not always on their best behavior.

We've had crowds of people hanging around that we don't know, we've had noise complaints late at night, and we've even had an airbnb guest defecate between our house and our neighbor's house, but none of these things compare to having an intoxicated guest attempt to break into our house in the middle of the night. We have several outdoor cameras, so we were able to eventually pull them up and see that this was not a gun-wielding robber, but a drunk guest staying across the street instead. Still, imagine the fear in those few minutes when we had someone aggressively banging on our door and trying to pry the door handle open when it was locked.

When we moved to West Grove, we knew that it was a neighborhood in transition. There is a lot of construction and as is everything in Nashville, the area is growing. However, we are hoping that this growth brings with it more stability, and not less. And we have good reason to believe that such rentals across the street bring too much of the unexpected, which isn't what we want for ourselves, for our families, and for our neighbors.

Thank you for your time and consideration.

Sincerely,

Megan and Satish Reddy

From: [Sledge, Colby \(Council Member\)](#)
To: [Board of Zoning Appeals \(Codes\)](#)
Cc: [Michael, Jon \(Codes\)](#); [Lamb, Emily \(Codes\)](#)
Subject: BZA positions for Dec. 6 meeting
Date: Tuesday, November 20, 2018 7:31:14 PM

Board members,

You have quite the task ahead of you for this meeting's agenda! Below are my positions on the District 17 items on the Dec. 6 agenda:

2018-522: **Deny**
2018-619: **Strongly deny**
2018-637: **Support**, as applicant has spoken with me
2018-638: **Deny**
2018-644: **Deny**
2018-662: **Strongly deny** based on resident complaints
2018-671: **Deny**
2018-672: **Deny**
2018-677: **Strongly deny**

Thank you, as always, for your service, and Happy Thanksgiving!

Colby

Colby Sledge
Metro Council, District 17
(615) 442-3727
[ColbySledge.com](#)
[Sign up for my weekly newsletter here!](#)

From: [David Hooper](#)
To: [Board of Zoning Appeals \(Codes\)](#); [Sledge, Colby \(Council Member\)](#)
Subject: re: appeal 2018-662 / 1014B West Grove
Date: Thursday, November 29, 2018 3:02:31 PM

To Whom It May Concern:

Words matter. So I think it's funny that the letter you sent on the appeal of 2018-662 says it's a "neighbor's request" when Collins Legal, LLC isn't a neighbor at all.

At the end of West Grove at 12th Ave is a single building with MULTIPLE STR properties going for \$300/night. Along West Grove are MULTIPLE non-owner occupied STRs, some for \$1000/night or more.

That's great tax revenue for the city, but it's not good for the people who actually live here or want to live here. West Grove is not a commercial street.

This neighborhood and its residents don't need another STR from an anonymous investment group, especially one who has already shown it's not playing by the rules you've established.

David Hooper

Lifsey, Debbie (Codes)

From: Freeman Wizer <freemanwizer@gmail.com>
Sent: Wednesday, December 5, 2018 12:46 PM
To: Board of Zoning Appeals (Codes)
Cc: donaldr@tigermail.auburn.edu; Colby Sledge
Subject: Fwd: AirBnB

Dear BZA, please see my neighbor's letter of support below for case 2018-662. I would also like to request that this be added to my Draft Board Packet. Thank you.

Freeman Wizer

----- Forwarded message -----

From: **Dustin Donald** <donaldr@tigermail.auburn.edu>
Date: Fri, Nov 2, 2018 at 3:47 PM
Subject: AirBnB
To: freemanwizer@gmail.com <freemanwizer@gmail.com>

To Whom It May Concern:

This letter is regarding the AirBnB operated by Freeman Wizer at 1014 West Grove Avenue. Freeman has always been a responsible host and we have never had any problems or issues with his AirBnB or his guests. As his neighbor, I support his permit and continued operation of his AirBnB. Please feel free to contact me with any further questions or concerns.

Sincerely,
Dustin Donald
1012 A West Grove Ave
Nashville, TN 37203

Dustin R. Donald, Pharm.D, CSP
donaldr@auburn.edu
334-332-9914

Lifsey, Debbie (Codes)

From: Freeman Wizer <freemanwizer@gmail.com>
Sent: Wednesday, December 5, 2018 12:44 PM
To: Board of Zoning Appeals (Codes)
Cc: Colby Sledge; Clark Elkins
Subject: Fwd: 1014B W Grove Ave

Dear BZA, please see my neighbor's letter of support below for case 2018-662. I would also like to request that this be added to my Draft Board Packet. Thank you.

Freeman Wizer

----- Forwarded message -----

From: Clark Elkins <j.clark.elkins@gmail.com>
Date: Fri, Nov 2, 2018 at 12:33 PM
Subject: 1014B W Grove Ave
To: Freeman Wizer <freemanwizer@gmail.com>

To Whom It May Concern-

I have lived at 1012B W Grove Ave in Nashville for 3.5 years. The property next door is 1014B W Grove Ave in Nashville. The owners of that Air BnB have always done a great job monitoring it and I have never seen or heard of any issues the entire time it's been rented out. They seem to be responsible renters and are responsive. If you have any other questions, let me know.

Best,
Clark Elkins
1012B W Grove Ave
Nashville, TN 37203

Lifsey, Debbie (Codes)

From: Freeman Wizer <freemanwizer@gmail.com>
Sent: Wednesday, December 5, 2018 12:43 PM
To: Board of Zoning Appeals (Codes)
Cc: bcurb@curb.com; Colby Sledge
Subject: Fwd: airbnb

Dear BZA, please see my neighbor's letter of support below for case 2018-662. I would also like to request that this be added to my Draft Board Packet. Thank you.

Freeman Wizer

----- Forwarded message -----

From: **Benson Curb** <bcurb@curb.com>
Date: Tue, Nov 6, 2018 at 4:34 PM
Subject: airbnb
To: Freemanwizer@gmail.com <Freemanwizer@gmail.com>

To whom it may concern:

I would like to endorse the Wizers as responsible, friendly and good natured neighbors. We have known them for over two years and they treat their airbnb business with utmost respect. We feel they do a great job managing their tenants and airbnb customers. We have confidence in their ability to manage any current or future airbnb properties.

Sincerely,

The Curb's (neighbor)
1027 wedgewood Avenue
Nashville, TN 37203

Lifsey, Debbie (Codes)

From: Freeman Wizer <freemanwizer@gmail.com>
Sent: Wednesday, December 5, 2018 12:42 PM
To: Board of Zoning Appeals (Codes)
Cc: Colby Sledge; corynowakowski@hotmail.com
Subject: Fwd: Airbnb

Dear BZA, please see my neighbor's letter of support below for case 2018-662. I would also like to request that this be added to my Draft Board Packet. Thank you.

Freeman Wizer

----- Forwarded message -----

From: **Cory Nowakowski** <corynowakowski@hotmail.com>
Date: Tue, Nov 6, 2018 at 4:44 PM
Subject: Airbnb
To: freemanwizer@gmail.com <freemanwizer@gmail.com>

To Whom It May Concern,

My name is Cory Nowakowski and I am writing in regards to Candice and Freeman Wizer's Airbnb property on West Grove. I am directly behind said property and can attest that they have been great Airbnb hosts and their renter's have never been a nuisance. I live at 1021 Wedgewood Avenue Nashville, TN 37203 and can be reached at 574-855-9081 if you would like to discuss further. Again, I am happy if the Wizer's Airbnb their property on West Grove with no objection.

Thank you,

Cory Nowakowski

Sent from my iPhone

Lifsey, Debbie (Codes)

From: Freeman Wizer <freemanwizer@gmail.com>
Sent: Wednesday, December 5, 2018 12:40 PM
To: Board of Zoning Appeals (Codes)
Cc: BChase@rcmathews.com; Colby Sledge
Subject: Fwd: Your Airbnb Operation - Thanks!

Dear BZA, please see my neighbor's letter of support below for case 2018-662. I would also like to request that this be added to my Draft Board Packet. Thank you.

Freeman Wizer

----- Forwarded message -----

From: **Brian Chase** <BChase@rcmathews.com>
Date: Fri, Nov 2, 2018 at 2:31 PM
Subject: Your Airbnb Operation - Thanks!
To: freemanwizer@gmail.com <freemanwizer@gmail.com>

Freeman,

Just a quick note of appreciation for your handling of your Airbnb. Halloween was 2 years to the day of Tonya, Zach and I moving to Wedgewood and we were very apprehensive to learn of your Airbnb directly behind the alley from us – especially us coming from the country. We were very wrong as you and Candice have handled everything professionally and we do not, and expect to not, have any complaints about anything. Thanks for being good neighbors and thanks for operating with respect to those of us that are permanent residents.

Well done and keep up the great work.

-Brian Chase

1029 Wedgewood

Brian R. Chase

Senior Project Manager

R.C. Mathews Contractor

D: 615-850-2737 | C: 615-347-2004 | www.rcmathews.com

615 3rd Ave South, Suite 500 | Nashville, Tennessee 37210



Lifsey, Debbie (Codes)

From: Freeman Wizer <freemanwizer@gmail.com>
Sent: Wednesday, December 5, 2018 12:39 PM
To: Board of Zoning Appeals (Codes)
Cc: Colby Sledge; tommyboy28144@gmail.com
Subject: Fwd: Airbnb

Dear BZA, please see my neighbor's letter of support below for case 2018-662. I would also like to request that this be added to my Draft Board Packet. Thank you.

Freeman Wizer

----- Forwarded message -----

From: **Tommy Anderson** <tommyboy28144@gmail.com>
Date: Sat, Nov 3, 2018 at 9:08 PM
Subject: Airbnb
To: <freemanwizer@gmail.com>

To whomever it may concern,

Freeman Wizer has been my neighbor and the operator of a short term rental for quite some time now. During this period not only have I had no issues or problems with any of his guests but, he has also been a very respectful and cooperative as a neighbor and operator of his short term rental. As his neighbor, I would like to state that he has my full support in regards to his short term rental venture.

Tommy Anderson
1011 W Grove Ave, Nashville, TN 37203
615-837-9936

Lifsey, Debbie (Codes)

From: Freeman Wizer <freemanwizer@gmail.com>
Sent: Wednesday, December 5, 2018 12:37 PM
To: Board of Zoning Appeals (Codes)
Cc: Colby Sledge; Charles Collins
Subject: Fwd: Airbnb Licensing

Dear BZA, please see my neighbor's letter of support below for case 2018-662. I would also like to request that this be added to my Draft Board Packet. Thank you.

Freeman Wizer

----- Forwarded message -----

From: **Charles Collins** <charliecollins13@yahoo.com>
Date: Tue, Nov 20, 2018 at 10:26 AM
Subject: Airbnb Licensing
To: freemanwizer@gmail.com <freemanwizer@gmail.com>

To whom it may concern,

I have been neighbors to the Wizers for the better part of a decade now. I have been witness to them manage a home build, scope a large scale condo construction as well as develop an Airbnb property. They have been the model of professionalism and demonstrated the utmost responsibility in all their affairs.

Having the Airbnb property across the street has never created an issue for me or my family. In fact, it has been a great representation of the growth and attractiveness for tourism and consumerism of our developing city.

I wholeheartedly support these opportunities in our community and hope to see them to continue.

Please feel free to contact me with any additional questions.

Best regards,

Charlie Collins
858.243.3057
charliecollins13@yahoo.com

Lifsey, Debbie (Codes)

From: Freeman Wizer <freemanwizer@gmail.com>
Sent: Wednesday, December 5, 2018 12:37 PM
To: Board of Zoning Appeals (Codes)
Cc: Colby Sledge; C.J. Solar
Subject: Fwd: AirBnB

Dear BZA, please see my neighbor's letter of support below for case 2018-662. I would also like to request that this be added to my Draft Board Packet. Thank you.

Freeman Wizer

----- Forwarded message -----

From: **curtis solar** <cjsolar5@gmail.com>
Date: Fri, Nov 2, 2018 at 1:07 PM
Subject: AirBnB
To: <freemanwizer@gmail.com>

To whom it may concern,

I have lived down the street of the Wizer's for the last 8 years and they have been wonderful neighbors. Since they started airbnb'ing the other side of their duplex a few years ago I have had no complaints or heard any from other neighbors. Their guests have always been respectful to the neighborhood and I've never had a bad experience with any of them.

CJ Solar
225-276-7782
Owner/Property Manager
1020 & 1018 W Grove Ave
Nashville, TN 37203

Lifsey, Debbie (Codes)

From: Freeman Wizer <freemanwizer@gmail.com>
Sent: Wednesday, December 5, 2018 12:36 PM
To: Board of Zoning Appeals (Codes)
Cc: Colby Sledge; Duane Campbell
Subject: Fwd: 1014B West Grove Avenue - Appeal regarding AirBnb Property Use

Dear BZA, please see my neighbor's letter of support below for case 2018-662. I would also like to request that this be added to my Draft Board Packet. Thank you.

Freeman Wizer

----- Forwarded message -----

From: **Duane Campbell** <dcampbell65@gmail.com>
Date: Tue, Nov 27, 2018 at 4:54 PM
Subject: 1014B West Grove Avenue - Appeal regarding AirBnb Property Use
To: <freemanwizer@gmail.com>, <candicewizer@gmail.com>

November 27th, 2018

To Whom it May Concern:

We are writing on behalf of Candice and Freeman Wizer, neighbors, entrepreneurs, and property owners at 1014B West Grove Avenue who reside across the street from our home. We have known the couple for over five years now, longer than they have owned the aforementioned property, and can only offer kind words and gratitude for the hospitality, civil engagement, and character they have brought to our corner of the 12 South Community.

As homeowners and resident AirBnb operators since 2015, they are to be commended for managing their business concerns without incident an always respectful to neighbors in 12 South/Waverly. The home and it entire footprint are maintained so well that in our humble opinion, it does not stand out as a rental properties often do in that they may lack the upkeep aesthetic integration that homeowners like ourselves seek in a in-town neighborhood. We have never had any complaint or issues with their short-term rental of the property, offer our support for its continued use as an AirBnb, and respectfully request that all consideration be given to their appeal.

Kind Regards,

G. Duane Campbell and Scott Sutton
Residents and Homeowners since 2007
1013A West Grove Avenue
Nashville, TN 37203

From: [Shawn Bailes](#)
To: [Board of Zoning Appeals \(Codes\)](#)
Subject: Appeal Case # 2018-662 (1014B West Grove)
Date: Thursday, November 15, 2018 11:59:47 AM

Dear BZA,

This correspondence is in support of the Appeal Case # 2018-662 located at 1014B West Grove Ave. The owner has operated his short term rental as a model citizen/neighbor and should continue to be able to do so in the future. I own several properties within a block of this property and have never had an issue with this property, nor have I heard of any issues from the neighborhood. Thank you in advance for your consideration.

Sincerely,

Shawn Bailes
President/CEO

FMBCInvestments

REAL ESTATE: Investor Lending • Rehabs • Custom Building • Rentals

Phone (615) 297-1152

Fax (615) 297-1172

Cell (615) 479-0404

3716 West End Ave.

Nashville, TN 37205

sbailes@FMBCInvestments.com

www.FMBCInvestments.com

Metropolitan Board of Zoning Appeals

Metro Howard Building
800 Second Avenue South
Nashville, Tennessee 37210

METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

Appellant : Patrick ThomasDate: 10-19-18Property Owner: Patrick ThomasCase #: 2018-666Representative: Patrick ThomasMap & Parcel: 090080K00100COCouncil District 20

The undersigned hereby appeals from the decision of the Zoning Administrator, wherein a Zoning Permit/Certificate of Zoning Compliance was refused:

Purpose: To renew a STRP permit.Activity Type: Short Term RentalLocation: 647 C James Ave.

This property is in the R8 Zone District, in accordance with plans, application and all data heretofore filed with the Zoning Administrator, all of which are attached and made a part of this appeal. Said Zoning Permit/Certificate of Zoning Compliance was denied for the reason:

Reason: Item A appeal, challenging the zoning administrator's denial of a short term rental permit. Applicant operated prior to obtaining the legally required short term rental permit.

Section(s): 17.16.250 (E)

Based on powers and jurisdiction of the Board of Zoning Appeals as set out in Section 17.40.180 Subsection A Of the Metropolitan Zoning Ordinance, a Variance, Special Exception, or Modification to Non-Conforming uses or structures is here by requested in the above requirement as applied to this property.

Patrick Thomas
Appellant Name (Please Print)

Same
Representative Name (Please Print)

647 C James Ave.
Address

Address

Nashville, TN 37209
City, State, Zip Code

City, State, Zip Code

(817) 723-0128
Phone Number

Phone Number

apatrickthomas@gmail.com
Email

Email

Appeal Fee: \$100.00



**Metropolitan Government
of Nashville and Davidson County, Tennessee
Department of Codes and Building Safety
800 Second Avenue South, Nashville, TN 37210**

Case #2018-666

3570711

**ZONING BOARD APPEAL / CA02 - 2018-086489
Inspection Checklist for Use and Occupancy
This is not a Use and Occupancy Notification**

PARCEL: 090080K00100CO **APPLICATION DATE:** 10/19/2018

SITE ADDRESS:

647 C JAMES AVE NASHVILLE, TN 37209
UNIT C JAMES AVENUE TOWNHOMES AMENDED

PARCEL OWNER: THOMAS, ALBERT P. IV & HELLSTERN, RO **CONTRACTOR:**

APPLICANT:

PURPOSE:

Item A appeal, challenging the zoning administrator's denial of a short term rental permit. Applicant operated prior to obtaining the legally required short term rental permit.

*Before a Use and Occupancy Letter can be issued for this project, the following approvals are required.
Inspections Foundation = before concrete poured, Framing = before covering wall and after rough-in inspections.*

There are currently no required inspections

Inspection requirements may change due to changes during construction.



METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

DEPARTMENT OF CODES & BUILDING SAFETY

OFFICE ADDRESS
METRO OFFICE BUILDING - 8th FLOOR
800 SECOND AVENUE, SOUTH
NASHVILLE, TENNESSEE 37210

MAILING ADDRESS
POST OFFICE BOX 196300
NASHVILLE, TENNESSEE 37219-6300
TELEPHONE (615) 862-6500
FACSIMILE (615) 862-6514
www.nashville.gov/codes

NOTICE

Pending your appeal of the denial of your application for a short term rental permit (STRP), you are prohibited from operating the STRP. Should you continue to advertise and/or operate the STRP at the subject property, the matter will be referred to Metro Legal for prosecution in Environmental Court.

10/19/18

Rental Unit Record

647 James Ave, Nashville, TN 37209, USA

Removed X
Identified ✓
Compliant ✓

PRINT

Airbnb - 28157033



Identified Address

647 James Ave, Nashville, TN 37209, USA

Identified Unit Number

None

Identified Latitude, Longitude

36.162201, -86.874354

Parcel Number

090080K00100

Owner Name

THOMAS, ALBERT P. IV & HELLSTERN, RONALD A.

Owner Address

647 C JAMES AVE
NASHVILLE, TN 37209, US

Matched Details

Analyst 7SOZ

Explanation

The streetview matches. The Trulia pictures match.

Listing Photos

Matching 3rd Party Sources



The exterior matches.



The kitchen is identical.

Timeline of Activity

View the series of events and documentation pertaining to this property

X Listing air28157033 Removed
October 17th, 2018

Zip Code Match

City Name Match

First Warning - No STR or Tax: Delivered
October 12th, 2018

2 Documented Stays
October, 2018

First Warning - No STR or Tax: Sent
October 5th, 2018

9 Documented Stays
September, 2018

Listing air28157033 Identified
September 24th, 2018

Listing air28157033 First Crawled
August 31st, 2018

Listing air28157033 First Activity
August 31st, 2018

Listing Details

Listing URL	- https://www.airbnb.com/rooms/28157033
Listing Status	● Inactive
Host Compliance Listing ID	- air28157033
Listing Title	- Private room in new home! Amazing location!
Property type	- House
Room type	- Private room
Listing Info Last Captured	- Oct 16, 2018
Screenshot Last Captured	- Oct 16, 2018
Price	- \$49/night
Cleaning Fee	- \$

Information Provided on Listing

Contact Name	- Patrick
Latitude, Longitude	-- 36.161122, -86.873767
Minimum Stay (# of Nights)	- 1
Max Sleeping Capacity (# of People)	- 2
Max Number of People per Bedroom	- 2
Number of Reviews	- 12
Last Documented Stay	- 10/2018

Listing Screenshot History

View Latest Listing Screenshot

August **1**

September **4**

October **4**

October 16, 2018 - 01:04PM America/Chicago



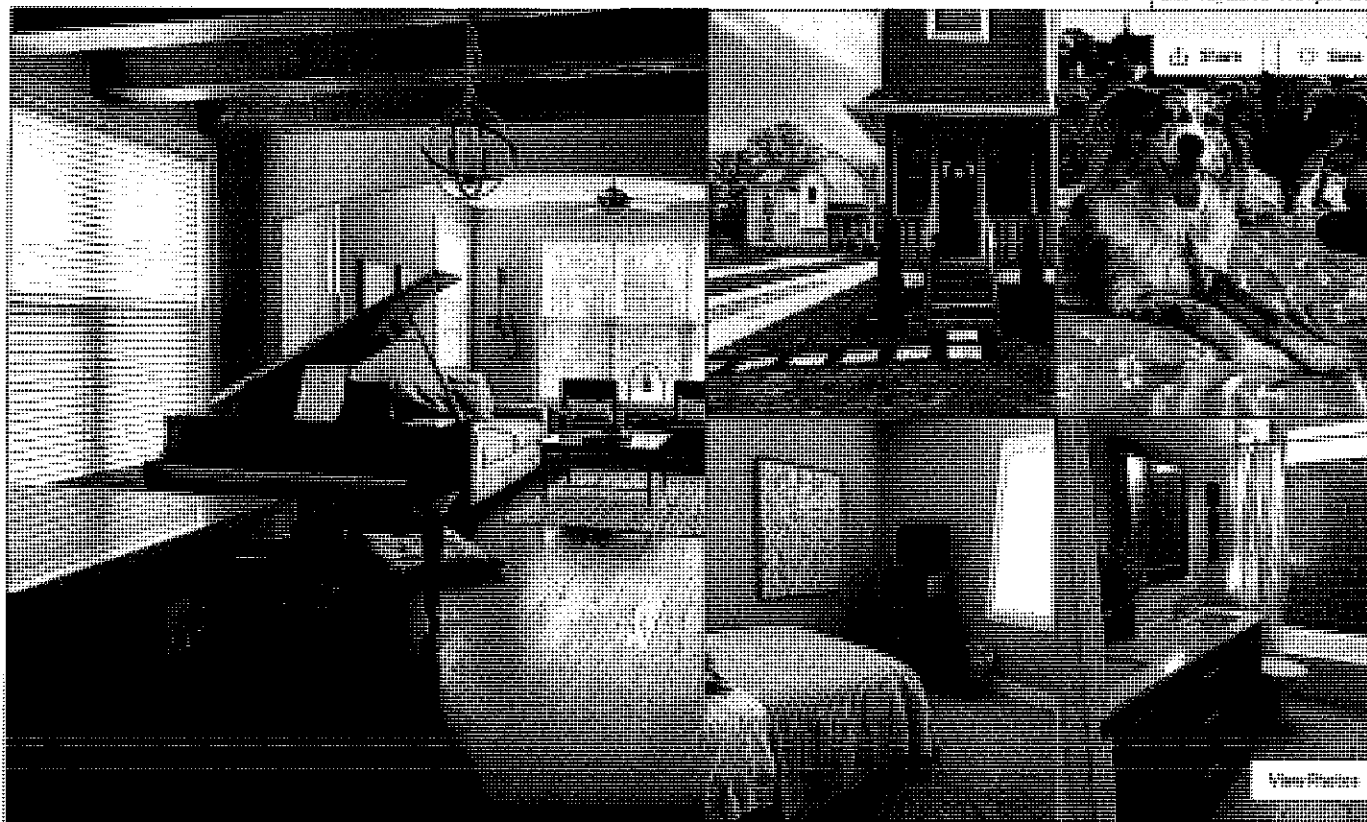
Search

Reserve a host Help Sign up Log in

Oct 18, 2018 1:04pm CT

Share Share

View Photos



PRIVATE ROOM IN HOUSE

Private room in new home! Amazing location!

Nashville



Patrick

2 guests 1 bedroom 1 bed 1.5 private baths

HOME HIGHLIGHTS

Great check-in experience · 100% of recent guests gave this home's check-in process a 5-star rating.

Helpful · Not helpful

Sparkling clean · 5 recent guests have said that this home was sparkling clean.

Helpful · Not helpful

Self check-in · Easily check yourself in with the lockbox.

Helpful · Not helpful

Private room in a brand new house in one of Nashville's hottest areas. 10-12 minutes to downtown. Less than 5 minutes from shopping, Costco, coffee shops, and many restaurants and bars. Walking distance to the Cumberland River and Blue Moon Riverfront Bar and Grill. Room comes with private bathroom with bathtub and all the essentials including fresh coffee in the morning. Annie, our 4 yr old Australian Shepherd, is also great company!

Read more about the space

Contact host

Amenities

Free parking on premises

Breakfast

Kitchen

Iron

\$59 per night

★★★★ 12

Dates

Check in

→ Check out

Guests

1 guest

Request to Book

You won't be charged yet

Report this listing

Wifi

TV

Show all 20 amenities

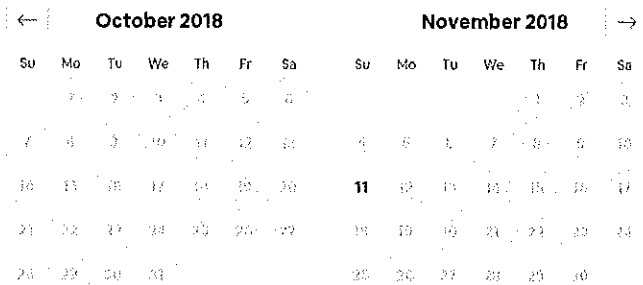
Sleeping arrangements



Bedroom 1
1 queen bed

Availability

Updated 1 day ago



12 Reviews ★★★★★

Search reviews

- Accuracy ★★★★★
- Communication ★★★★★
- Cleanliness ★★★★★
- Location ★★★★★
- Check-in ★★★★★
- Value ★★★★★

Briggs
October 2018

Patrick's house was extremely clean, well-appointed and they were very welcoming hosts. It was a great value and we appreciate the hospitality.

Marsha & Greg
October 2018

This is an impeccably clean place! The bed was super comfy. It was a short distance to downtown Nashville. We highly recommend it!

Nic
September 2018

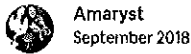
Great house! Neighbor even let us park our giant Uhaul in his yard. Great folks and a nice space. Everything was easy! House is brand new and beautiful.

Alyssa
September 2018

Patrick and Lauren were lovely hosts! Their food recommendations were always delicious, they were friendly and the location was awesome. It was a great first stay in Nashville!

Heather
September 2018

Lovely hosts, home, and pup! It was immaculately clean and comfortable, and we felt right at home. 100% recommend.



Amaryst
September 2018



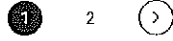
Fantastic hosts, give great advice on BBQ places, and have a stylish, comfortable and welcoming home. Their dog is beautiful and friendly! Would recommend to anyone looking for a fun and welcoming stay in Nashville! Thanks again!



Sadé
September 2018



You'll enjoy the comfort of this home! Great hospitality



Hosted by Patrick

Nashville, Tennessee, United States · Joined in July 2016



★ 17 Reviews ✨ Verified

Contact host

Always communicate through Airbnb · To protect your payment, never transfer money or communicate outside of the Airbnb website or app. [Learn more](#)

About the home

When you stay in an Airbnb, you're staying in someone's home.

This is Patrick's place.

Lauren helps host.



The neighborhood

Patrick's home is located in Nashville, Tennessee, United States.

We are in West Nashville in what is known as the Nations. It is an area that has seen tremendous growth in the last few years due to its central location and proximity to downtown and the river.

[Read more about the neighborhood](#) ▾

Things to do in Nashville

Nearby landmarks

Centennial Park	4.5 mi
The Parthenon	4.6 mi
Bicentennial Capitol Mall State Park	5.4 mi
Belle Meade Plantation	5.5 mi
Frist Art Museum	5.8 mi

Exact location information is provided after a booking is confirmed.

Policies

House Rules

Not suitable for children and infants

No smoking

No pets

No parties or events

Check-in is anytime after 3PM

Check out by 11AM

Self check-in with lockbox

[Read all rules](#) ▾

Cancellations

Flexible - Free cancellation for 48 hours

After that, cancel up to 24 hours before check-in and get a full refund, minus the service fee.

[Read more about the policy](#) ▾

From: [Herbert, Bill \(Codes\)](#)
To: [Shepherd, Jessica \(Codes\)](#)
Cc: [Michael, Jon \(Codes\)](#); [Lifsey, Debbie \(Codes\)](#)
Subject: FW: BZA 2018-666
Date: Monday, November 5, 2018 1:05:03 PM
Attachments: [~WRD000.jpg](#)

From: Mary Carolyn Roberts [mailto:marycarolynroberts@gmail.com]
Sent: Monday, November 05, 2018 9:49 AM
To: Herbert, Bill (Codes); Michael, Jon (Codes)
Subject: BZA 2018-666

Attention: This email originated from a source external to Metro Government. Please exercise caution when opening any attachments or links from external sources.

Good morning!

I want to express my support for BZA case number 2018-666. This is a hard working couple who fell into the AIRBNB pitfall and are struggling to make ends meet. The address is 647C James Ave, 37209. The name on the account is Patrick Thomas (full name is Albert Patrick Thomas IV.)

Thank you,



Mary Carolyn Roberts
Village Real Estate
615-977-9262 (c)
615-383-6964 (w)
Metro Council, District 20

Metropolitan Board of Zoning Appeals

Metro Howard Building

800 Second Avenue South

Nashville, Tennessee 37210

METROPOLITAN GOVERNMENT OF CHARLOTTE AND DAVIDSON COUNTY



Appellant : Amy Pickard

Date: 10-25-18

Property Owner: Amy Pickard

Case #: 2018-697

Representative: Amy Pickard

Map & Parcel: 08207019200

Council District 06

The undersigned hereby appeals from the decision of the Zoning Administrator, wherein a Zoning Permit/Certificate of Zoning Compliance was refused:

Purpose: To apply for a STRP permit.

Activity Type: Short Term Rental

Location: 731 Joseph Ave.

This property is in the RM20 Zone District, in accordance with plans, application and all data heretofore filed with the Zoning Administrator, all of which are attached and made a part of this appeal. Said Zoning Permit/Certificate of Zoning Compliance was denied for the reason:

Reason: Item A appeal, challenging the zoning administrator's denial of a short term rental permit. Applicant operated after the issued STRP permit was cancelled.

Section(s): 17.16.250 (E)

Based on powers and jurisdiction of the Board of Zoning Appeals as set out in Section 17.40.180 Subsection A Of the Metropolitan Zoning Ordinance, a Variance, Special Exception, or Modification to Non-Conforming uses or structures is here by requested in the above requirement as applied to this property.

Amy Pickard
Appellant Name (Please Print)

Representative Name (Please Print)

731 Joseph Ave.
Address

Address

Nashville, TN 37207
City, State, Zip Code

City, State, Zip Code

(843) 442-7387
Phone Number

Phone Number

revolvecharlotte@gmail.com
Email

Email

Appeal Fee: \$100.00

DAVID BRILEY
MAYOR



METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

DEPARTMENT OF CODES & BUILDING SAFETY

OFFICE ADDRESS
METRO OFFICE BUILDING--3rd FLOOR
800 SECOND AVENUE, SOUTH
NASHVILLE, TENNESSEE 37210

MAILING ADDRESS
POST OFFICE BOX 196300
NASHVILLE, TENNESSEE 37219-6300
TELEPHONE (615) 862-6500
FACSIMILE (615) 862-6514
www.nashville.gov/codes

September 17, 2018

Amy Pickard
731 Joseph Avenue
Nashville, TN 37207

RE: Permit CASR #2018046982
731 Joseph Avenue

Dear Ms. Pickard:

Pursuant to Section 17.16.250(E) of the Metropolitan Code of Laws, this letter serves as your formal notice of the cancellation of the above referenced STRP permit. This property changed ownership after the date of permit issuance. Since the law does not allow any transfers of STRP permits, this permit has been invalid since the August 24, 2018 ownership change.

All short term rental advertising, operations, and actual renting at this address must cease immediately. Any such actions at the subject address will be a violation of law and subject you to court proceedings. You have the right to appeal this action at the Board of Zoning Appeals.

Sincerely,

Jon Michael
Metro Codes

CC: Brandon McSwain
733 Joseph Ave
Nashville, TN 37207



METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

DEPARTMENT OF CODES & BUILDING SAFETY

OFFICE ADDRESS
METRO OFFICE BUILDING--3rd FLOOR
800 SECOND AVENUE, SOUTH
NASHVILLE, TENNESSEE 37210

MAILING ADDRESS
POST OFFICE BOX 196300
NASHVILLE, TENNESSEE 37219-6300
TELEPHONE (615) 862-6500
FACSIMILE (615) 862-6514
www.nashville.gov/codes

NOTICE

Pending your appeal of the denial of your application for a short term rental permit (STRP), you are prohibited from operating the STRP. Should you continue to advertise and/or operate the STRP at the subject property, the matter will be referred to Metro Legal for prosecution in Environmental Court.

10/25/18



**Metropolitan Government
of Nashville and Davidson County, Tennessee
Department of Codes and Building Safety
800 Second Avenue South, Nashville, TN 37210**



3572711

ZONING BOARD APPEAL YEAR 201800167928
Inspection Checklist for Use and Occupancy
This is for Use and Occupancy Not Final

PARCEL: 08207019200

APPLICATION DATE: 10/25/2018

SITE ADDRESS:

731 JOSEPH AVE NASHVILLE, TN 37207
LOT 16 SEC 1 TOWNWOOD HOMES

PARCEL OWNER: PICKARD, AMY & MCSWAIN, BRANDON

CONTRACTOR:

APPLICANT:**PURPOSE:**

Item A appeal; challenging the zoning administrator's denial of a short term rental permit. Applicant operated under a cancelled STRP permit.

*Before a Use and Occupancy Letter can be issued for this project, the following approvals are required.
Inspections Foundation = before concrete poured, Framing = before covering wall and after rough-in inspections.*

There are currently no required inspections

Inspection requirements may change due to changes during construction.

10/25/2018

Matched property listing

My Dashboards

Rental Unit Record

731 Joseph Ave, Nashville, TN 37207, USA

Active ●
Identified ✓
Compliant X

PRINT

Airbnb - 27525154



Identified Address

731 Joseph Ave, Nashville, TN 37207, USA

Identified Unit Number

None

Identified Latitude, Longitude

36.184061, -86.772244

Parcel Number

08207019200

Owner Name

PICKARD, AMY

Owner Address

731 JOSEPH AVE
NASHVILLE, TN 37207, US

Matched Details

Analyst

WVG

Explanation

The host provides a photo of the rental permit with the address included.

Listing Photos



Matching 3rd Party Sources



Same address on listing.

Zip Code Match

City Name Match

Timeline of Activity

View the series of events and documentation pertaining to this property

Listing Details

Listing URL

https://www.airbnb.com/rooms/27525154

6 Documented Stays
October, 2018

10/25/2018

Matched property listing

Listing Status ● Active
 Host Compliance Listing ID - alr27525154
 Listing Title - SunnySide Up Nashville 4Bed/2Ba 1mile to Broadwayl
 Property type -> Townhouse
 Room type - Entire home/apt
 Listing Info Last Captured - Oct 23, 2018
 Screenshot Last Captured - Oct 23, 2018
 Price - \$119/night
 Cleaning Fee - \$100

- Listing alr27525154 Reposted October 21st, 2018
- ✘ Listing alr27525154 Removed October 20th, 2018
- ✔ First Warning - No Tax Reg: Delivered October 13th, 2018
- ✔ First Warning - No STR or Tax: Delivered October 12th, 2018
- ✔ First Warning - No Tax Reg: Sent October 5th, 2018
- ✔ First Warning - No STR or Tax: Sent October 5th, 2018
- 4 Documented Stays September, 2018
- ✔ Listing alr27525154 Identified September 24th, 2018
- ✱ Listing alr27525154 First Crawled August 10th, 2018
- Listing alr27525154 First Activity August 10th, 2018
- ☹ tip: 731 Joseph Ave , Nashville August 6th, 2018

Information Provided on Listing

Contact Name - Brandon
 Latitude, Longitude - 36.183097, -86.771262
 Minimum Stay (# of Nights) - 2
 Max Sleeping Capacity (# of People) - 10
 Max Number of People per Bedroom - 2.5
 Number of Reviews - 10
 Last Documented Stay - 10/2018

Listing Screenshot History

View Latest Listing Screenshot

August 2

September 4

October 6

10/25/2018

Matched property listing

October 23, 2018 - 03:27PM America/Chicago



ENTIRE TOWNHOUSE

SunnySide Up Nashville 4Bed|2Ba 1mile to Broadway!

Nashville



Brandon

10 guests 4 bedrooms 7 beds 2 baths

- Great check-in experience
100% of recent guests gave this home's check-in process a 5-star rating.
- Brandon is a Superhost
Superhosts are experienced, highly rated hosts who are committed to providing great stays for guests.
- Self check-in
Easily check yourself in with the smartlock.

\$119 per night
★★★★ 10

Dates

Check in → Check out

Guests

1 guest

Book

You won't be charged yet

Report this listing

Welcome to SunnySide Up, Nashville's chicest boutique style vacation rental, with a pop of character in every corner. Located one mile from Broadway, you are a short ride away from all that Music City has to offer. This open floor plan and large private patio are perfect for entertaining before you hit the town. Offering 4 bedrooms and 2 full baths designed with all of the amenities of home.

Read more about the space

Contact host

Amenities

Standard: Kitchen, Wifi, Iron, Laptop friendly workspace, TV, and 21 more
Other highlights: Free parking on premises, Bathtub, Room-darkening shades, Free street parking, Dishwasher, and 4 more

Show all 35 amenities

10/25/2018

Matched property listing

Sleeping arrangements



Bedroom 1
1 queen bed



Bedroom 2
1 queen bed



Bedroom 3
1 queen bed



Bedroom 4
2 single beds



Availability

Updated today

October 2018							November 2018						
Su	Mo	Tu	We	Th	Fr	Sa	Su	Mo	Tu	We	Th	Fr	Sa
	1	2	3	4	5	6					1	2	3
7	8	9	10	11	12	13	4	5	6	7	8	9	10
14	15	16	17	18	19	20	11	12	13	14	15	16	17
21	22	23	24	25	26	27	18	19	20	21	22	23	24
28	29	30	31				25	26	27	28	29	30	

10 Reviews ★★★★★

Search reviews

Accuracy	★★★★★	Location	★★★★★
Communication	★★★★★	Check-in	★★★★★
Cleanliness	★★★★★	Value	★★★★★

Nick
October 2018

Came to Nashville for a bachelor party and booked the sunny side up house. Nice layout, plenty of room and worked great for our group of 7. ...Read more

Caroline
October 2018

Great communication and such a fun space! Great location!

Brooklyn
October 2018

Very cute home! It's was wonderful for my bachelorette weekend. An Uber to and from town was about 5-10 dollars depending on the time of day. ...Read more

Brittany
October 2018

Sunny side up is a perfect spot for a bachelorette party. 9 girls stayed here. One of us had to sleep on the couch which she didn't mind. ...Read more

Wesley
October 2018

Brandon's place did the trick for us!

Jennifer
October 2018

Loved the space! Super stylish & fun decor. Would definitely stay there again!

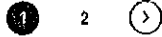
Lauren
September 2018

This is a great place to stay. Sleeps a large group and is easy to Uber/Lyft/drive

10/25/2018

Matched property listing

downtown, to Germantown, or even the Guich and Vanderhoit...Read more



Hosted by Brandon

Nashville, Tennessee, United States · Joined in April 2015

★ 724 Reviews • Verified



Brandon is a Superhost · Superhosts are experienced, highly rated hosts who are committed to providing great stays for guests.

Hey folks! My name is Brandon! I spent many years touring the world on both sides of the concert stage. I was front and center as a singer/songwriter, musician and worship leader as well as spent 15 years behind the scenes in professional touring production as a audio an...Read more

Brandon supports the Living Wage Pledge
People who clean this host's listing are paid a living wage. Learn more

Response rate: 100%

Response time: within an hour

Contact host

Always communicate through Airbnb · To protect your payment, never transfer money or communicate outside of the Airbnb website or app. Learn more

About the home

When you stay in an Airbnb, you're staying in someone's home.

This is Brandon's place. Dylan helps host.



The neighborhood

Brandon's home is located in Nashville, Tennessee, United States.

SunnySide Up is located in Cleveland Park, a smaller transitional neighborhood located in East Nashville.

Read more about the neighborhood

Brandon's Guidebook Things to do in Nashville

Nearby landmarks

Bicentennial Capitol Mall State Park	1.6 mi
The George Jones	1.7 mi
The Johnny Cash Museum & Cafe	1.9 mi
Country Music Hall of Fame and Museum	2.2 mi
Frist Art Museum	2.4 mi

Exact location information is provided after a booking is confirmed.

10/25/2018

Matched property listing

Policies

House Rules

No smoking

Check-in is anytime after 4PM

Check out by 10AM

Self check-in with smart lock

[Read all rules](#) v

Cancellations

Flexible - Free cancellation for 48 hours

After that, cancel up to 24 hours before check-in and get a full refund, minus the service fee.

[Read more about the policy](#) v

Explore other options in and around Nashville



Metropolitan Government
of Nashville and Davidson County, Tennessee
Department of Codes and Building Safety
800 Second Avenue South, Nashville, TN 37210



3572823

ZONING BOARD APPEAL / C&AZ - 20180068011
Inspection Checklist for Use and Occupancy
This is not a Use and Occupancy Notification

PARCEL: 050160A01100CO

APPLICATION DATE: 10/26/2018

SITE ADDRESS:

500 W VAILVIEW CT NASHVILLE, TN 37207
LOT 11 SKYLINE VILLAGE

PARCEL OWNER: NEWMAN, ANTONISHA

CONTRACTOR:

APPLICANT:

CONTACT: NEWMAN, ANTONISHA

500 W VAILVIEW CT
NASHVILLE, TN 37207

PURPOSE:

requesting variance on short term rental for operation without a permit

*Before a Use and Occupancy Letter can be issued for this project, the following approvals are required.
Inspections Foundation = before concrete poured, Framing = before covering wall and after rough-in inspections.*

There are currently no required inspections

Inspection requirements may change due to changes during construction.

APPLICATIONS FOR VARIANCE REQUESTS

After your appeal is filed, Zoning staff will visit the site to take photographs for the Board members so that they will have a better idea of the nature of your request. Zoning staff will notify the district councilmember of the hearing. You will be responsible for preparing the envelopes and notices for mailing to the owners of property within 600 feet of the property at issue in this case. The envelopes must include the return address for the BZA and the case number. Fold and insert the notices into envelopes, seal the envelopes, and apply first class postage. These neighbor notices must be delivered to Zoning staff at least twenty-three (23) days before the public hearing. Additionally, you will be responsible for purchasing, posting, and removing the red Zoning Appeal signs for the subject property. (See attached Metro Code of Laws requirements regarding sign placement.)

The day of the public hearing, it will be your responsibility to convey to the Board the nature of the hardship in your request that makes it difficult/impossible for you to comply with the Zoning Code. It would be to your benefit to let your neighbors know about your request prior to all notices being sent to them from our office.

Any party can appeal the Board's decision to Chancery or Circuit Court within sixty (60) days from the date the order in the case is entered. Should your request be granted, we would remind you that it is your responsibility to obtain the permit for which you have applied. You should also be aware that you have two (2) years to obtain the permit or you would have to re-file your request with the Board.

Once your request is filed, the staff will review your request to verify that the submittal is complete. Incomplete submittals will not be scheduled for a hearing until complete.

Any correspondence to the Board must be submitted to our office by noon, the Monday prior to the public hearing to be included in the record. You must provide eight (8) copies of your information to staff.

We hope that this information will be of help to you in understanding the variance procedure and if our office can be of further assistance, please do not hesitate to contact us.

METROPOLITAN BOARD OF ZONING APPEALS (615) 862-6530

I am aware that I am responsible for posting and also removing the sign(s) after the public hearing.

Arthur Nunn
APPELLANT

10/26/18
DATE

In simple terms, for the Board to grant you a variance in the zoning ordinance, you must convey to the Board what your hardship is. Hardships are narrowness, shallowness, irregular shape, and topography of property. The Board can also consider other practical difficulties such as mature trees, easements, and location of disposal systems which can affect your plan. Consideration can be given to the characteristics of the neighborhood and the way it is developed. One or more of these conditions MUST affect your inability to build or occupy the property to prove your case.

At the public hearing, please be prepared to tell the Board what your hardship is, why you can not build in accordance with zoning without requesting a variance and why you feel you have a legitimate hardship.

The Board can not grant a variance based solely on an inconvenience to the applicant nor solely on a financial consideration. It is incumbent on you as the appellant to complete this form by conveying a HARDSHIP as outlined. At the meeting it is important that you explain this hardship as effectively as possible.

WHAT SPECIFIC AND UNIQUE CIRCUMSTANCES (HARDSHIP) EXIST THAT WOULD AUTHORIZE THE CONSIDERATION OF THE BOARD UNDER THE REVIEW STANDARDS AS OUTLINED?

I am currently in the works to become an entrepreneur
and this permit will allow me to achieve this.
My airbnb was a very helpful source of income,
and it's been a struggle since I had to cancel it.

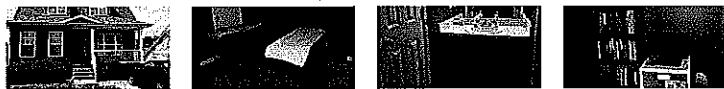
Rental Unit Record

500 W Vailview Ct, Nashville, TN 37207, USA

Removed ✗
Identified ✓
Compliant ✓

PRINT

Airbnb - 19414203



Identified Address

500 W Vailview Ct, Nashville, TN 37207, USA

Identified Unit Number

None

Identified Latitude, Longitude

36.240252, -86.762090

Parcel Number

050160A01100

Owner Name

NEWMAN, ANTONISHA

Owner Address

500 W VAILVIEW CT
NASHVILLE, TN 37207, US

Matched Details

Analyst IZHJ

Explanation

Her airbnb profile gives her full name which matches this parcel. Its a private room in her home.
SS: <http://prntscr.com/g3zk12>

Zip Code Match

Owner Name Match

City Name Match

Listing Details

Listing URL - <https://www.airbnb.com/rooms/19414203>

Listing Status ● Inactive

Host Compliance Listing ID - air19414203

Listing Title - AMN Cozy Home



Property type - House

Timeline of Activity

View the series of events and documentation pertaining to this property










✗ Listing air19414203 Removed August 21st, 2018

Room type — Private room
 Listing Info Last Captured — Aug 15, 2018
 Screenshot Last Captured — Aug 21, 2018
 Price — \$70/night
 Cleaning Fee — \$35


- ✔ First Warning - No STR or Tax: Delivered 
August 11th, 2018
- ✔ First Warning - No STR or Tax: Sent 
August 4th, 2018
- Listing air19414203 Reposted
June 23rd, 2018
- ✘ Listing air19414203 Removed
June 22nd, 2018




Information Provided on Listing

Contact Name — Antonisha
 Latitude, Longitude — 36.241259, -86.762993
 Minimum Stay (# of Nights) — 1
 Max Sleeping Capacity (# of People) — 2
 Max Number of People per Bedroom — 2
 Number of Reviews — 18
 Last Documented Stay — 06/2018

-  1 Documented Stay
June, 2018
-  2 Documented Stays
May, 2018
-  5 Documented Stays
April, 2018
-  3 Documented Stays
March, 2018
- Listing air19414203 Reposted
March 4th, 2018
- ✘ Listing air19414203 Removed
March 2nd, 2018
-  2 Documented Stays
January, 2018
-  1 Documented Stay
December, 2017
-  1 Documented Stay
October, 2017
-  2 Documented Stays
September, 2017
-  1 Documented Stay
August, 2017
- ✔ Listing air19414203 Identified
August 7th, 2017
- ✱ Listing air19414203 First Crawled
June 24th, 2017
- Listing air19414203 First Activity
June 20th, 2017

Listing Screenshot History

 View Latest Listing Screenshot

August 
 September 
 October 

Metropolitan Board of Zoning Appeals

Metro Howard Building
800 Second Avenue South
Nashville, Tennessee 37210



Appellant : Natasha Eldridge

Date: 10-29-18

Property Owner: Natasha Eldridge

Case #: 2018-704

Representative: Natasha Eldridge

Map & Parcel: 10505057500

Council District 17

The undersigned hereby appeals from the decision of the Zoning Administrator, wherein a Zoning Permit/Certificate of Zoning Compliance was refused:

Purpose: To apply for a STRP permit.

Activity Type: Short Term Rental

Location: 1021 Summit Ave.

This property is in the R6-A Zone District, in accordance with plans, application and all data heretofore filed with the Zoning Administrator, all of which are attached and made a part of this appeal. Said Zoning Permit/Certificate of Zoning Compliance was denied for the reason:

Reason: Item A appeal, challenging the zoning administrator's denial of a short term rental permit. Applicant operated after the issued STRP permit was cancelled due to name change.

Section(s): 17.16.250 (E)

Based on powers and jurisdiction of the Board of Zoning Appeals as set out in Section 17.40.180 Subsection A Of the Metropolitan Zoning Ordinance, a Variance, Special Exception, or Modification to Non-Conforming uses or structures is here by requested in the above requirement as applied to this property.

Natasha Eldridge
Appellant Name (Please Print)

Representative Name (Please Print)

1021 Summit Ave.
Address

Address

Nashville, TN 37203
City, State, Zip Code

City, State, Zip Code

(615) 218-6216
Phone Number

Phone Number

johneldridge3@me.com
Email

Email

Appeal Fee: \$100.00



**Metropolitan Government
of Nashville and Davidson County, Tennessee
Department of Codes and Building Safety
800 Second Avenue South, Nashville, TN 37210**



3573175

**ZONING BOARD APPEAL / CAAZ - 20180068251
Inspection Checklist for Use and Occupancy
This is not a Use and Occupancy Notification**

PARCEL: 10505057500**APPLICATION DATE:** 10/29/2018**SITE ADDRESS:**

1021 SUMMIT AVE NASHVILLE, TN 37203
LOT 2 MILLER SUB A V JONES

PARCEL OWNER: ELDRIDGE, NATASHA**CONTRACTOR:****APPLICANT:****PURPOSE:**

Item A appeal, challenging the zoning administrator's cancellation of existing STRP permit due to owner name change.

*Before a Use and Occupancy Letter can be issued for this project, the following approvals are required.
Inspections Foundation = before concrete poured, Framing = before covering wall and after rough-in inspections.*

There are currently no required inspections

Inspection requirements may change due to changes during construction.

DAVID BRILEY
MAYOR



METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

DEPARTMENT OF CODES & BUILDING SAFETY

OFFICE ADDRESS
METRO OFFICE BUILDING--3rd FLOOR
800 SECOND AVENUE, SOUTH
NASHVILLE, TENNESSEE 37210

MAILING ADDRESS
POST OFFICE BOX 196300
NASHVILLE, TENNESSEE 37219-6300
TELEPHONE (615) 862-6500
FACSIMILE (615) 862-6514
www.nashville.gov/codes

October 1, 2018

Natasha Eldridge
667 Wedgewood Ave STE C
Nashville, Tennessee 37203

RE: Permit CASR #2017073221
1021 Summit Ave

Dear Mrs. Eldridge:

Pursuant to Section 17.16.250(E) of the Metropolitan Code of Laws, this letter serves as your formal notice of the cancellation of the above referenced STRP permit. The law restricts owner occupied permits by requiring ownership to be held by a natural person, rather than any LLC, Trust, or corporate entity. Therefore, UP Partnership, GPs not eligible to hold this or any other owner occupied STRP permit. The above referenced permit is thus hereby cancelled immediately.

All short term rental advertising, operations, and actual renting at this address must cease immediately. Any such actions at the subject address will be a violation of law and subject you to court proceedings. You have the right to appeal this action at the Board of Zoning Appeals.

Sincerely,

Jon Michael
Metro Codes

METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY



DEPARTMENT OF CODES & BUILDING SAFETY

OFFICE ADDRESS

METRO OFFICE BUILDING -- 3rd FLOOR
800 SECOND AVENUE, SOUTH
NASHVILLE, TENNESSEE 37210

MAILING ADDRESS

POST OFFICE BOX 196300
NASHVILLE, TENNESSEE 37219-6300
TELEPHONE (615) 862-6500
FACSIMILE (615) 862-5514
www.nashville.gov/codes

NOTICE

Pending your appeal of the denial of your application for a short term rental permit (STRP), you are prohibited from operating the STRP. Should you continue to advertise and/or operate the STRP at the subject property, the matter will be referred to Metro Legal for prosecution in Environmental Court.

A handwritten signature in blue ink, appearing to be "A. A.", written in a cursive style.

Rental Unit Record

1021 Summit Ave, Nashville, TN 37203, USA

Removed ✕
Identified ✓
Compliant ✓

PRINT

VRBO - 321.1214532.1765386

Airbnb - 22117080



Identified Address

1021 Summit Ave, Nashville, TN 37203, USA

Identified Unit Number

None

Identified Latitude, Longitude

36.138416, -86.785838

Parcel Number

10505057500

Owner Name

UP PARTNERSHIP, GP

Owner Address

667 Wedgewood Ave Ste C
Nashville, TN 37203, US

Matched Details

Analyst: QCES

Explanation: Duplicate of air22117080. All photos match.

Listing Details

Listing URL	- https://www.homeaway.com/vacation-rental/p1214532vb
Listing Status	● Inactive
Host Compliance Listing ID	- hma321.1214532.1765386
Listing Title	- 5 BR + 4.5 BA, Luxury 5 STAR home with roof top deck view of Nashville!
Property type	- House
Room type	- Entire home/apartment

Timeline of Activity

View the series of events and documentation pertaining to this property

✕ Listing air22117080 Removed October 15th, 2018

Listing Info Last Captured	- Oct 05, 2018
Screenshot Last Captured	- Oct 09, 2018
Price	- \$1140/night
Cleaning Fee	- \$300

































Information Provided on Listing

Contact Name	- Austin Totty
Latitude, Longitude	- 36.138426, -86.785849
Minimum Stay (# of Nights)	- 2
Max Sleeping Capacity (# of People)	- 12
Max Number of People per Bedroom	- 2.4
Number of Reviews	- 20
Last Documented Stay	- 09/2018

Listing Screenshot History

 View Latest Listing Screenshot

August 4 September 5 October 2

-  First Warning - No STR or Tax: Delivered 
October 12th, 2018
-  Listing hma321.1214532.1765386 Removed
October 10th, 2018
-  First Warning - No STR or Tax: Sent 
October 5th, 2018
-  7 Documented Stays
September, 2018
-  6 Documented Stays
August, 2018
-  3 Documented Stays
July, 2018
-  Listing air22117080 Reposted
June 23rd, 2018
-  Listing air22117080 Removed
June 22nd, 2018
-  5 Documented Stays
June, 2018
-  1 Documented Stay
May, 2018
-  Listing hma321.1214532.1765386 Reposted
May 2nd, 2018
-  Listing hma321.1214532.1765386 Removed
April 26th, 2018
-  2 Documented Stays
April, 2018
-  Airbnb Letter: Delivered 
April 9th, 2018
-  Airbnb Letter: Sent 
April 3rd, 2018
-  6 Documented Stays
March, 2018
-  Listing air22117080 Reposted
March 4th, 2018
-  Listing air22117080 Removed
March 2nd, 2018
-  3 Documented Stays
February, 2018
-  Listing hma321.1214532.1765386 Reposted
February 23rd, 2018
-  Listing hma321.1214532.1765386 Removed
February 21st, 2018
-  3 Documented Stays
January, 2018
-  First Warning - No Tax Reg: Delivered 
January 6th, 2018
-  First Warning - No Tax Reg: Sent 
December 29th, 2017
-  Listing hma321.1214532.1765386 Identified
December 26th, 2017
-  Listing air22117080 Identified
December 26th, 2017

- 📅 1 Documented Stay
December, 2017
- ✳ Listing hma321.1214532.1765386 First
Crawled
December 9th, 2017
- Listing hma321.1214532.1765386 Reposted
December 9th, 2017
- ✳ Listing air22117080 First Crawled
December 9th, 2017

- Listing air22117080 First Activity
December 8th, 2017
- ✘ Listing hma321.1214532.1765386 Removed
December 2nd, 2017
- Listing hma321.1214532.1765386 First
Activity
December 1st, 2017

October 09, 2018 - 07:17AM America/Chicago

HomeAway®



Trip Boards

Login

Help

List your property



Oct 9, 2018 7:17am CT

Destination
Edgehill, Nashville, TN, USA

Arrive

Depart

Search



\$1,140 avg/night

★★★★★ 20 Reviews

Wonderful 4.9/5

Premier Partner

Enter dates for accurate pricing

Check In

Check Out

Guests

Instant Confirmation

Book Now

Ask Manager a Question

For booking assistance, call 888-640-7927

Property # 1214532vb

CHECK IN TO DIFFEREN

BOOK NOW

tru

by HILTON™

Overview Amenities Reviews Map Availability



5 BR * 4.5 BA, Luxury 5 STAR home with roof top deck view of Nashville!

Edgehill, Nashville, TN, USA

- House: 3500 sq. ft.
- Bedrooms: 5
- Sleeps: 12
- Bathrooms: 4
- Half Baths: 1
- Min Stay: 2 nights

Brand new 5 star luxury house. This house is straight out of a magazine!!

This brand new 5 star stunning modern three-story home is conveniently located between the trendy 12th Avenue South, Nashville's upscale Gulch and the best bars in downtown music city. This house is straight out of a magazine, the home is equipped with new mattresses, comfortable and clean linens, high speed wireless internet and cable TVs. The open concept first floor features the living room with a 80inch TV, dining area on the oversized kitchen top, powder room and master bedroom including a king sized bed and full bathroom. The second floor features 3 bedrooms that all have TVs with 2 full bathrooms and

View more

Property Manager



Austin Totty

Member Since 2017

Ask Manager a Question

Premier Partner

The manager of this property consistently provides great experiences for their guests.

Response rate: 90%

Response time: Within One Hour

Speaks: English

Calendar last updated: Oct 8, 2018

AN UNFORGETTABL HOLIDAY

Up to \$100/night* on-property credi



[view more about Austin | otty](#)

Amenities

Internet	Satellite or Cable	Parking
Air Conditioning	Children Welcome	TV
Heater	Washer & Dryer	No Smoking

Bedrooms

5 Bedrooms, Sleeps 12

Master bedroom first floor 1 king	2nd floor Guest 1 queen	3rd floor Master 1 king
2nd floor Master- 1 king	2nd floor guest 2 double	

Bathrooms

4 Bathrooms, 1 Half Bath

Powder Room toilet	2nd floor Guest toilet, combination tub/shower	3rd floor master toilet, combination tub/shower
1st floor Master toilet, shower	2nd floor master toilet, shower	

Location Type

Downtown

Theme

Romantic	Historic	Tourist Attractions
Family	Budget	Spa
Away From It All	Sports & Activities	Adventure

Meals

Guests provide their own meals

General

Air Conditioning	Clothes Dryer <small>Washer and dryer located in the first floor master closet and the 2nd floor hallway.</small>	Wireless Internet
Heating		Iron & Board
Linens Provided	Parking	Hair Dryer
Washing Machine <small>Washer and dryer located in the first floor master closet and the 2nd floor hallway.</small>	Internet	Living Room
	Towels Provided	

Kitchen

Dishwasher	Oven	Toaster
Refrigerator	Microwave	Pantry Items

Stove Gas stove	Coffee Maker Keurig coffee maker available.	Dishes & Utensils Kitchen
--------------------	--	------------------------------

Dining

Dining Area	Dining
-------------	--------

Entertainment

Television TVs are in every bedroom and a 60inch tv provided in the living room.	Satellite / Cable Cable tv and wifi available.
---	---

Outside

Lawn / Garden	Outdoor Grill Gas grill is available on the 1st floor outdoor patio and the roof top deck area	Deck / Patio
Balcony		

Attractions

churches	playground	restaurants
cinemas	recreation center	winery tours
library	theme parks	zoo
marina	water parks	health/beauty spa
museums	live theater	festivals

Leisure Activities

walking	sight seeing	shopping
bird watching	scenic drives	photography
outlet shopping	miniature golf	

Local Services & Businesses

ATM/bank	hospital	medical services
fitness center	laundromat	
groceries	massage therapist	

Sports & Adventure Activities

swimming	mountain biking	spelunking
tennis	roller blading	golf privileges optional
cycling	hunting	basketball court
fishing	hiking	kayaking
golf	jet skiing	rock climbing
water skiing	pier fishing	

Notes

You will be within walking distance to Vanderbilt University, Belmont University and a short \$5 Lyft/Uber ride to The Gulch, 12th South and Broadway! Whether you're looking for a relaxing get away, or a fun filled trip to the famous music city, this place is perfect for you!

Guests will have access to the entire house, a key code will be provided upon arrival. As well as cable and wifi.

House Rules

Check-in: 3:00 PM **Check-out:** 10:00 AM

✗ No parties/events

✗ No smoking

✗ No pets

✓ Children allowed

Minimum age of primary renter: 24

Max occupancy: 12 (12 adults)

Quiet time between 10pm and 7am please.

-Absolutely No smoking inside the home, you can smoke out back but please don't throw your cigarettes all over the yard or patio.

Additional Cleaning Fees May apply if home is damaged or vomit left.

Cancellation Policy

100% refund if canceled at least 60 days before arrival date.

20 Reviews

★★★★★ Wonderful 4.9/5

1 - 6 of 20

Awesome amenities! Easy booking and the location was superb!

5/5 ★★★★★ Stayed Jan 2018

Shari L.

This house was amazing! It has everything to make your stay enjoyable. Even the simple things like hairdryer, paper towels, dish soap and laundry soap, (and the dinnerware and glasses all provided). The furnishings were excellent and clean! Tvs in all bedrooms, WiFi, super comfortable bedding. It feels like it was set up just for you! It was just a few dollars to Uber to Broadway downtown. Attractions are so close and convenient . The rooftop view is amazing! Grills for outdoor cooking and the seating was so nice on rooftop. I would book this again and again!

Submitted Jan 6, 2018

Owner's Response:

Thank you Shari, it was great to meet you! I'm glad you enjoyed it, Please come back anytime!

Great house! Easy process with Austin, who responded quickly to any questions.Thank you !

4/5 ★★★★★ Stayed Sep 2018

Sean C. Rockford, Michigan

Worked out perfectly for us

Reviewed by property host.

The house was fantastic. The yard could have been tended to to complete the first impression, but overall was wonderful.

Thank you!

Submitted Sep 20, 2018

Great house!!!

5/5 ★★★★★ Stayed Sep 2018

Jennifer D.

We loved the house and Nashville! Thanks!

Submitted Sep 16, 2018

As pictured!

5/5 ★★★★★ Stayed Aug 2018

Kristie C.

We had a great time here. Home was big enough so we never felt on top of each other. Bathrooms were abundance and large. Beds comfortable. Would definitely recommend staying here. We will be back at some point!

Submitted Sep 5, 2018

Love this property!

5/5 ★★★★★ Stayed Aug 2018

mARK S.

Our stay was perfect in every way. Super clean, beautifully decorated and absolutely everything we needed to be comfortable. Austin was great to work with and genuinely made us feel at home. The location was excellent. We will definitely contact Austin in the future for his properties.

Submitted Aug 24, 2018

Great house for a group, questionable neighborhood.

4/5 ★★★★★ Stayed Aug 2018

Simpson S.

The house was clean and had everything we needed. Did not realize that government housing would be right across the street. Overpriced for an "up and coming" neighborhood.

Submitted Aug 14, 2018

1 - 6 of 20

Map





Edgehill, Nashville, TN, USA

This home is in the perfect location. No real need for a car here. Just minutes away from everything you need. Only 15 minutes away from the Nashville airport (maybe a \$15/\$20 CAB/UBER ride). Also there are rentable bikes all over town that you can ride all over Nashville.

-This area has a lot of history, next to some historical venues and shops as well. 12th Avenue South (restaurants, boutiques, etc.) is almost in walking distance, we suggest the 3 minute UBER/LYFT ride though. Once again, you are just minutes away from Nashville's most attractive downtown, midtown and the Gulch. Downtown: Tootsies, Acme Feed and Seed, Honky Tonk Central, Fleet Street. We do want to mention that it's only a 10 minute ride to East Nashville which has plenty of hot spots, restaurants and shops.

Availability

October 2018							November 2018						
Su	Mo	Tu	We	Th	Fr	Sa	Su	Mo	Tu	We	Th	Fr	Sa
	1	2	3	4	5	6					1	2	3
7	8	9	10	11	12	13	4	5	6	7	8	9	10
14	15	16	17	18	19	20	11	12	13	14	15	16	17
21	22	23	24	25	26	27	18	19	20	21	22	23	24
28	29	30	31				25	26	27	28	29	30	

December 2018							January 2019						
Su	Mo	Tu	We	Th	Fr	Sa	Su	Mo	Tu	We	Th	Fr	Sa
						1			1	2	3	4	5
2	3	4	5	6	7	8	6	7	8	9	10	11	12
9	10	11	12	13	14	15	13	14	15	16	17	18	19
16	17	18	19	20	21	22	20	21	22	23	24	25	26
23	24	25	26	27	28	29	27	28	29	30	31		
30	31												

You might like these similar properties



 \$85 avg/night	 \$164 avg/night	 \$205 avg/night	 \$150 avg/night
---	--	---	--

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Best Cabins in Pigeon Forge, TN Special Offers Available

Popular Vacation Destinations

United States > Tennessee > Nashville > Edgehill

Feedback

Lifsey, Debbie (Codes)

From: Michael, Jon (Codes)
Sent: Friday, December 14, 2018 2:14 PM
To: Lifsey, Debbie (Codes); Shepherd, Jessica (Codes)
Subject: FW: D17 positions for Dec. 20 meeting

For the file.

From: Sledge, Colby (Council Member)
Sent: Friday, December 14, 2018 2:14 PM
To: Board of Zoning Appeals (Codes)
Cc: Michael, Jon (Codes); Lamb, Emily (Codes)
Subject: D17 positions for Dec. 20 meeting

Good afternoon,

Here are my positions on D17 items before you next week.

- 2018-522: I continue to **oppose** a request for exemption to create front-loading garages on Carvell Ave.
- 2018-644: I **oppose** a setback variance request on 2nd Ave S.
- 2018-709: I **tentatively support** a request for parking requirement variances for a microunit development on Humphreys Ave. The applicant will be at a community meeting on Monday, and I'll want to hear from residents.
- 2018-725: I **strongly oppose** a request not to pay into the sidewalks fund on Wharf Ave.
- 2018-662: I **oppose** a short-term rental permit appeal on West Grove Ave.
- 2018-704: I **oppose** a short-term rental appeal on Summit Ave.

Thank you all, as always, for your service, and I hope you have a great weekend!

Colby

Colby Sledge
Metro Council, District 17
(615) 442-3727
ColbySledge.com
[Sign up for my weekly newsletter here!](#)

From: [Liz Larson](#)
To: [Board of Zoning Appeals \(Codes\)](#)
Subject: Opposition to Appeal Case Number: 2018-704
Date: Monday, December 17, 2018 10:33:06 AM

Re: 2018-704

Parcel: 10505057500

Dear Zoning Board:

Regarding case 2018-704, I am in opposition of allowing the applicant to obtain a non-owner occupied short term rental permit. Based on guidance outlined in the permit type section of the short-term rental guidance, permits are not transferrable based on the last bulletpoint: "New not owner-occupied permits are not permitted in R or RS zoned properties. Existing permit holders in these zoned districts may be eligible to apply for renewals, but those permits are not transferable if the property is sold." (reference: <https://www.nashville.gov/Codes-Administration/Short-Term-Rentals/Permit-Types.aspx>)

Additionally, as the applicant operated the permit after change in ownership, the applicant should be fined for days the STR was in operation and compensate the city for operation during that time period.

Thank you,
Liz Larson
1006 Wade Avenue
Nashville, TN 37203

Metropolitan Board of Zoning Appeals

Metro Howard Building
800 Second Avenue South
Nashville, Tennessee 37210



Appellant : Lindsley Richey

Date: 10-29-18

Property Owner: Lindsley Richey

Case #: 2018-705

Representative: Lindsley Richey

Map & Parcel: 11708002800

Council District 25

The undersigned hereby appeals from the decision of the Zoning Administrator, wherein a Zoning Permit/Certificate of Zoning Compliance was refused:

Purpose: To apply for a STRP permit.

Activity Type: Short Term Rental

Location: 3709 Hilldale Dr.

This property is in the RS-20 Zone District, in accordance with plans, application and all data heretofore filed with the Zoning Administrator, all of which are attached and made a part of this appeal. Said Zoning Permit/Certificate of Zoning Compliance was denied for the reason:

Reason: Item A appeal, challenging the zoning administrator's denial of a short term rental permit. Applicant operated after the issued STRP permit expired.

Section(s): 17.16.250 (E)

Based on powers and jurisdiction of the Board of Zoning Appeals as set out in Section 17.40.180 Subsection A Of the Metropolitan Zoning Ordinance, a Variance, Special Exception, or Modification to Non-Conforming uses or structures is here by requested in the above requirement as applied to this property.

Lindsley Richey
Appellant Name (Please Print)

Representative Name (Please Print)

3709 Hilldale Dr.
Address

Address

Nashville, TN 37215
City, State, Zip Code

City, State, Zip Code

(615) 400-1027
Phone Number

Phone Number

lindsley.hunter@mac.com
Email

Email

Appeal Fee: \$100.00



**Metropolitan Government
of Nashville and Davidson County, Tennessee
Department of Codes and Building Safety
800 Second Avenue South, Nashville, TN 37210**



Case #2018-705

3573295

**ZONING BOARD APPEAL / CAAZ - 20180068317
Inspection Checklist for Use and Occupancy
This is not a Use and Occupancy Notification**

PARCEL: 11709002800

APPLICATION DATE: 10/29/2018

SITE ADDRESS:

3709 HILLDALE DR NASHVILLE, TN 37215
W. SIDE OF HILLDALE DRIVE N. OF ABBOTT MARTIN ROAD

PARCEL OWNER: RICHEY, LINDSLEY

CONTRACTOR:

APPLICANT:

PURPOSE:

Item A appeal, challenging the zoning administrator's denial of a short term rental permit. Applicant operated under an expired STRP permit.

*Before a Use and Occupancy Letter can be issued for this project, the following approvals are required.
Inspections Foundation = before concrete poured, Framing = before covering wall and after rough-in inspections.*

There are currently no required inspections

Inspection requirements may change due to changes during construction.

Flags FEMAFLOOD : PARCEL EXISTS IN FEMA FLOODPLAIN [FLAG].. FEMAFWBUF : PARCEL EXISTS IN THE FEMA FLOODWAY BUFFE [FLAG].. CACODES : CODES FLAG [FLAG]...

- Summary
- Main**
- Address
- People
- DataGroup
- Workflow
- Fees
- Payment
- Notes
- Rel Docs

Type/SubType: CASR - CAZ10A001 Number: 2017048832 Status: EXPIRED

Main

Case Type: CASR
Case Type Desc: Residential Short Term Rental
Case Number: 2017048832
Case Status: EXPIRED
Status Code: DONE
Sub Type: CAZ10A001
Sub Type Desc: Short Term Rental - Owner Occupied

Project/Permit Details:

By making this application for a Residential Short Term Rental permit, I certify that I will comply with all requirements of Ordinance BL2014-951.

Project:
Location: 3709 HILDALE DR 37215
Tag:
Accepted By: DFRABUTT 7/26/2017
Issued By: MPOTTER 8/4/2017
Initiated By: DFRABUTT 7/26/2017
Expiration, Priority: 8/4/2018 37215
X, Y: 1723746.600, 648322.800



METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

DEPARTMENT OF CODES & BUILDING SAFETY

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METRO OFFICE BUILDING--3rd FLOOR
800 SECOND AVENUE, SOUTH
NASHVILLE, TENNESSEE 37210

MAILING ADDRESS
POST OFFICE BOX 196300
NASHVILLE, TENNESSEE 37219-6300
TELEPHONE (615) 862-6500
FACSIMILE (615) 862-6514
www.nashville.gov/codes

NOTICE

Pending your appeal of the denial of your application for a short term rental permit (STRP), you are prohibited from operating the STRP. Should you continue to advertise and/or operate the STRP at the subject property, the matter will be referred to Metro Legal for prosecution in Environmental Court.

Lindsley Richey
10/29/18

October 28, 2018 - 07:05AM America/Chicago



Search

Become a host Help Sign up Log in

Oct 28, 2018 7:05am CT



ENTIRE HOUSE

Peaceful Mid-Century Retreat in Greenhills.

Nashville



Lindsay

Entire house

6 guests 3 bedrooms 3 beds 2 baths

Great location

90% of recent guests gave this home's location a 5-star rating.

Great check-in experience

95% of recent guests gave this home's check-in process a 5-star rating.

Lindsay is a Superhost

Superhosts are experienced, highly rated hosts who are committed to providing great stays for guests.

\$298 per night

★★★★★ 26

Dates

Check In



Check Out

Guests

1 guest



Request to Book

You won't be charged yet

Report this listing

Nestled in the heart of Nashville's Green Hills neighborhood, is a sanctuary of beauty, wellness, and inspiration. Come experience this beautifully feng shui'd home that will nurture, rejuvenate and balance your mind, body, and spirit while you stay here. Find serenity as you meditate in the lush zen gardens or as you do yoga on the back deck. We are 1 mile from Blue Bird Cafe. 4 miles from Music Row. 8 miles to Downtown.

[Read more about the space](#)

[Contact host](#)

Amenities

- Free parking on premises
- Indoor fireplace
- Kitchen
- Iron
- Wifi
- Laptop friendly workspace

[Show all 29 amenities](#)

SHOW ALL 22 AMENITIES

Sleeping arrangements



Bedroom 1
1 queen bed



Bedroom 2
1 queen bed



Bedroom 3
1 queen bed

Availability

Updated 15 days ago



26 Reviews ★★★★★

Search reviews

Accuracy	★★★★★	Location	★★★★★
Communication	★★★★★	Check-in	★★★★★
Cleanliness	★★★★★	Value	★★★★★



Jude
October 2018

We have been vacation renting for many years and the owner, Lindsley, was probably the kindest host we've ever had. Rest assured that she will take care of any issue right away. The beds were very comfortable and all needed amenities were well provided. The neighborhood was very ...[Read more](#)



Matthew
September 2018

A beautiful home and a wonderful host. Highly recommended!



Olivia
September 2018

My husband and I traveled to Nashville with another couple and stayed at Lindsley's home. We were expecting it to be great (the pictures alone were stunning!), but her warm welcome and hospitality exceeded our expectations. I am not intimately familiar the power of feng shui, bu...[Read more](#)



Ruth
September 2018

Fabulously comfortable home in phenomenal quiet neighborhood. A respite.



Elisa
September 2018

Such a wonderful stay. Lindsley was welcoming and prompt and her home had everything we needed and more.

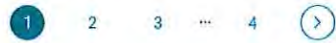


Kelly
August 2018

This is a very nice, quiet neighborhood. The house rules include no shoes and there is a very peaceful feel to this home. It is a nice retreat from the busy downtown area!



We absolutely loved staying at Lindsley's house. It was calming, stylish, spotless, and very comfortable. Lindsley was very accommodating to our group when we had to check in late due to flight delays. We really appreciated her hospitality and hope to come back soon!



Nashville, Tennessee, United States · Joined in February 2013



★ 33 Reviews

Lindsley is a Superhost · Superhosts are experienced, highly rated hosts who are committed to providing great stays for guests.

I am a feng shui practitioner who specializes in residential and fashion feng shui. I work with clients looking to bring beauty, consciousness and harmony to their living space, personal style and lives. I am passionate about helping people live in harmony with their true natur...[Read more](#)

Lindsley supports the Living Wage Pledge
People who clean this host's listing are paid a living wage. [Learn more](#)

Languages: Signed Language

Response rate: 100%

Response time: within a few hours

Contact host

Always communicate through Airbnb · To protect your payment, never transfer money or communicate outside of the Airbnb website or app. [Learn more](#)

The neighborhood

Lindsley's home is located in Nashville, Tennessee, United States.

Some of Nashville's most desirable homes are in Green Hills. It also has its fair share of exciting destinations for a night out. The Bluebird Cafe has a national reputation as the place to be heard in Nashville if you're a songwriter! There are great restaurants, coffee shops, juice bars and more, all close by! Nashville's best shopping can be found in this area too. The Green Hills Mall is Nashville's Upscale mall and The Hill Center is an outdoor shopping center with Whole Foods grocery as well as upscale boutiques. Or get in nature and enjoy my favorite place to be, Radnor Lake State Park. It's less than 8 miles to Nashville's most popular natural area and park. Enjoy trails around the lake or hike up into the hills for a more scenic route. You're bound to see an owl, turkey or deer!

Lindsley's Guidebook [Things to do in Nashville](#)

Nearby landmarks

The Parthenon	3.3 mi
Centennial Park	3.4 mi
Belle Meade Plantation	4.0 mi
Frist Art Museum	4.7 mi
Adventure Science Center	4.8 mi

Exact location information is provided after a booking is confirmed.

Policies

House Rules

Not suitable for children and infants

No smoking

No pets

No parties or events

Check-in time is 1PM - 6PM

Check out by 10AM

[Read all rules](#) ▾

Cancellations

Moderate - Free cancellation for 48 hours

After that, cancel up to 5 days before check-in and get a full refund, minus the service fee.

[Read more about the policy](#) ▾

Explore other options in and around Nashville

Rental Unit Record

3709 Hilldale Dr, Nashville, TN 37215, USA

Active

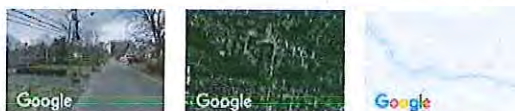
Identified

Compliant

PRINT

Airbnb - 20300880

Airbnb - 17317879



Identified Address

3709 Hilldale Dr, Nashville, TN 37215, USA

Identified Unit Number

None

Identified Latitude, Longitude

36.111550, -86.828681

Parcel Number

11709002800

Owner Name

RICHEY, LINDSLEY

Owner Address

3709 Hilldale Dr
Nashville, TN 37215, US

Registration / Permit Number

504138

Timeline of Activity

View the series of events and documentation pertaining to this property

Matched Details

Analyst

QZ4P

Explanation

The property has been successfully identified after finding the full name of the owner on facebook, and then finding her address and matching property on the tax records. the property was identified on google maps since the property's characteristics.

Listing Photos



same furniture and space on backyard.

Matching 3rd Party Sources



same person, facebook profile verifying her name.



- Zip Code Match
- City Name Match

Owner Name Match

Listing Details

Listing URL	- https://www.airbnb.com/rooms/17317879
Listing Status	● Active
Host Compliance Listing ID	- air17317879
Listing Title	- Peaceful Mid-Century Retreat in Greenhills.
Property type	- House
Room type	- Entire home/apt
Listing Info Last Captured	- Oct 26, 2018
Screenshot Last Captured	- Oct 28, 2018
Price	- \$298/night
Cleaning Fee	- \$100

Information Provided on Listing

Contact Name	- Lindsley
Latitude, Longitude	- 36.111356, -86.829258
Minimum Stay (# of Nights)	- 2
Max Sleeping Capacity (# of People)	- 6
Max Number of People per Bedroom	- 2
Number of Reviews	- 26
Last Documented Stay	- 10/2018

Listing Screenshot History

View Latest Listing Screenshot

August (3)

September (5)

October (6)

- 1 Documented Stay
October, 2018
- 4 Documented Stays
September, 2018
- First Warning - No STR Permit: Delivered
September 12th, 2018
- First Warning - No STR Permit: Sent
September 5th, 2018
- 2 Documented Stays
August, 2018
- 1 Documented Stay
July, 2018
- Listing air17317879 Reposted
June 30th, 2018
- ✗ Listing air17317879 Removed
June 30th, 2018
- Listing air17317879 Reposted
June 24th, 2018
- 2 Documented Stays
June, 2018
- Listing air20300880 Reposted
June 22nd, 2018
- ✗ Listing air17317879 Removed
June 22nd, 2018
- ✗ Listing air20300880 Removed
June 22nd, 2018
- 4 Documented Stays
May, 2018
- 1 Documented Stay
April, 2018
- Airbnb Letter: Delivered
April 9th, 2018
- Airbnb Letter: Sent
April 3rd, 2018
- 3 Documented Stays
March, 2018
- Listing air17317879 Reposted
March 4th, 2018
- Listing air20300880 Reposted
March 4th, 2018
- ✗ Listing air17317879 Removed
March 2nd, 2018
- ✗ Listing air20300880 Removed
March 2nd, 2018
- 1 Documented Stay
February, 2018
- Listing air20300880 Reposted
February 5th, 2018
- ✗ Listing air20300880 Removed
January 31st, 2018
- First Warning - No Tax Reg: Delivered
January 7th, 2018

- 📅 1 Documented Stay
January, 2018
- 🚩 First Warning - No Tax Reg: Sent 📅
December 29th, 2017
- 📅 2 Documented Stays
November, 2017
- 📅 2 Documented Stays
October, 2017
- 📅 3 Documented Stays
September, 2017
- ✓ Listing air20300880 Identified
September 5th, 2017
- ✳ Listing air20300880 First Crawled
August 26th, 2017
- Listing air20300880 Reposted
August 26th, 2017
- ✓ Listing air17317879 Identified
August 22nd, 2017
- 📅 1 Documented Stay
August, 2017
- ✗ Listing air20300880 Removed
August 19th, 2017
- Listing air20300880 First Activity
August 18th, 2017
- ✳ Listing air17317879 First Crawled
August 12th, 2017
- Listing air17317879 First Activity
August 9th, 2017

Gregg S. Lambert
3707 Hilldale Drive
Nashville, TN 37215
214-244-9195
GREGGL60@yahoo.com

Metropolitan Government of Nashville and Davidson County
Metro Office Building – 3rd Floor
800 Second Ave, South
Nashville, TN 37210

RE: Appeal Case Number 2018-705
3709 Hilldale Dr

Mam or Sir:

I oppose my neighbor's request to obtain a short-term rental permit. This permit will be a detriment to the neighborhood in terms of traffic, noise, exposure, and decrease in property value.

I appreciate your appropriate management of this situation.

Sincerely,

Gregg S. Lambert

Gregg S. Lambert