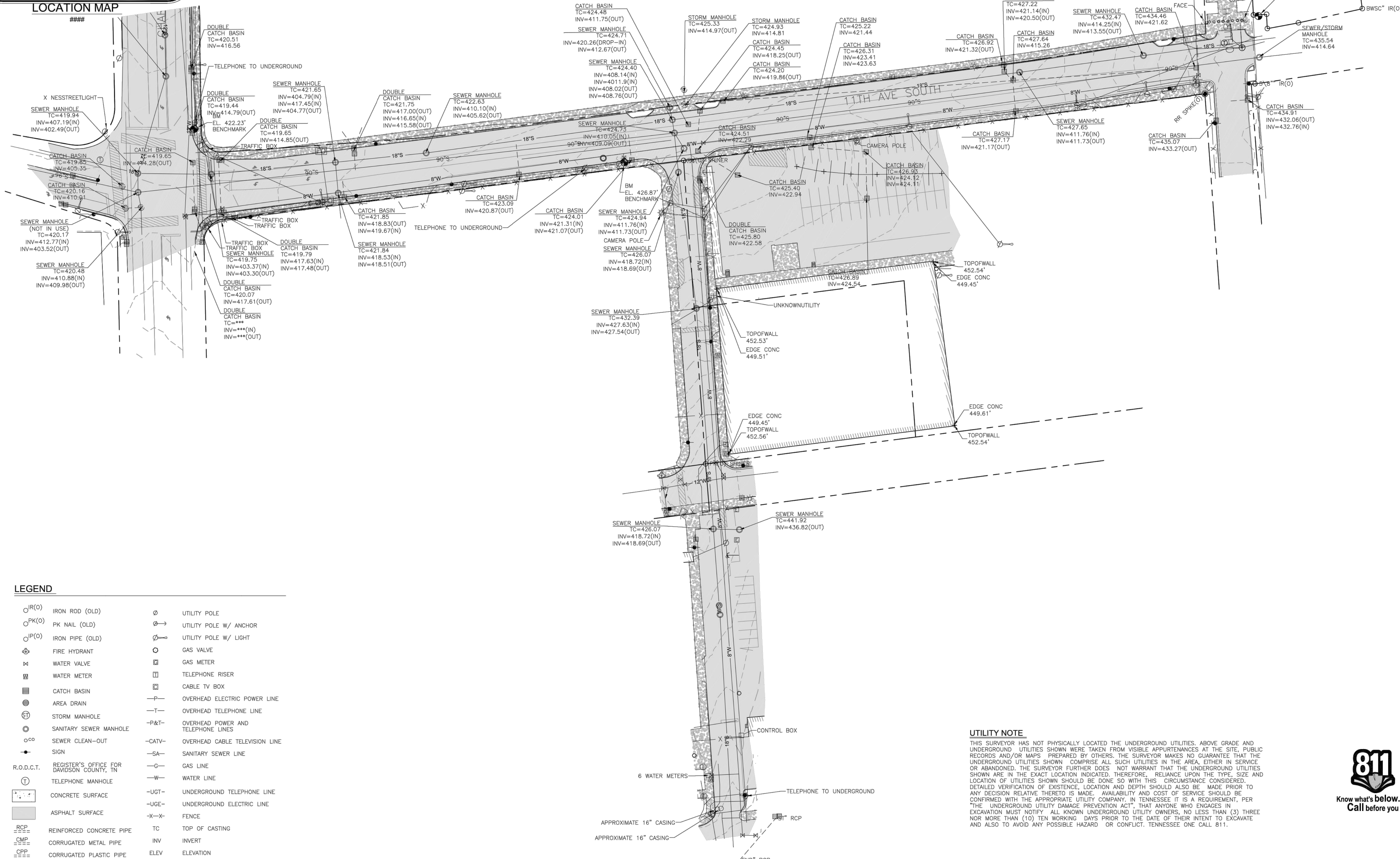




LOCATION MAP



LEGEND

- | | | | |
|------------|---|--------|------------------------------------|
| ○(R) (O) | IRON ROD (OLD) | ⊙ | UTILITY POLE |
| ○PK(O) | PK NAIL (OLD) | ⊙→ | UTILITY POLE W/ ANCHOR |
| ○(P) (O) | IRON PIPE (OLD) | ⊙→ | UTILITY POLE W/ LIGHT |
| ⊙ | FIRE HYDRANT | ○ | GAS VALVE |
| ⊙ | WATER VALVE | ⊙ | GAS METER |
| ⊙ | WATER METER | ⊙ | TELEPHONE RISER |
| ⊙ | CATCH BASIN | ⊙ | CABLE TV BOX |
| ⊙ | AREA DRAIN | —P— | OVERHEAD ELECTRIC POWER LINE |
| ⊙ | STORM MANHOLE | —T— | OVERHEAD TELEPHONE LINE |
| ⊙ | SANITARY SEWER MANHOLE | —P&T— | OVERHEAD POWER AND TELEPHONE LINES |
| ○∞ | SEWER CLEAN-OUT | —CATV— | OVERHEAD CABLE TELEVISION LINE |
| — | SIGN | —SA— | SANITARY SEWER LINE |
| R.O.D.C.T. | REGISTER'S OFFICE FOR DAVIDSON COUNTY, TN | —G— | GAS LINE |
| ⊙ | TELEPHONE MANHOLE | —W— | WATER LINE |
| ⊙ | CONCRETE SURFACE | —LGT— | UNDERGROUND TELEPHONE LINE |
| ⊙ | ASPHALT SURFACE | —JGE— | UNDERGROUND ELECTRIC LINE |
| ⊙ | REINFORCED CONCRETE PIPE | —X—X— | FENCE |
| ⊙ | CORRUGATED METAL PIPE | TC | TOP OF CASTING |
| ⊙ | CORRUGATED PLASTIC PIPE | INV | INVERT |
| | | ELEV | ELEVATION |

UTILITY NOTE

THIS SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. ABOVE GRADE AND UNDERGROUND UTILITIES SHOWN WERE TAKEN FROM VISIBLE APPEARANCES AT THE SITE, PUBLIC RECORDS AND/OR MAPS PREPARED BY OTHERS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. THEREFORE, RELIANCE UPON THE TYPE, SIZE AND LOCATION OF UTILITIES SHOWN SHOULD BE DONE SO WITH THIS CIRCUMSTANCE CONSIDERED. DETAILED VERIFICATION OF EXISTENCE, LOCATION AND DEPTH SHOULD ALSO BE MADE PRIOR TO ANY DECISION RELATIVE THERETO IS MADE. AVAILABILITY AND COST OF SERVICE SHOULD BE CONFIRMED WITH THE APPROPRIATE UTILITY COMPANY. IN TENNESSEE, IT IS A REQUIREMENT, PER THE UNDERGROUND UTILITY DAMAGE PREVENTION ACT, THAT ANYONE WHO ENGAGES IN EXCAVATION MUST NOTIFY ALL KNOWN UNDERGROUND UTILITY OWNERS, NO LESS THAN (3) THREE NOR MORE THAN (10) TEN WORKING DAYS PRIOR TO THE DATE OF THEIR INTENT TO EXCAVATE AND ALSO TO AVOID ANY POSSIBLE HAZARD OR CONFLICT, TENNESSEE ONE CALL 811.



RAGAN SMITH
 LAND PLANNERS • CIVIL ENGINEERS
 LANDSCAPE ARCHITECTS • SURVEYORS
 CHATTANOOGA
 317 WOODLAND STREET
 NASHVILLE, TN 37206
 (615) 259-1111
 www.ragan-smith.com

NASHVILLE ELECTRIC SERVICE
 SUBSTATION RELOCATION
 FOR
 NASHVILLE ELECTRIC SERVICE
 CITY OF NASHVILLE, DAVIDSON COUNTY, TENNESSEE

WK. ORDER 1217
 JOB NO. 18-103
 APPROVED: DBC
 DRAWN: [Signature]
 SCALE: 1"=50'
 DATE: SEPTEMBER 14, 2018

EXISTING CONDITIONS
C1.0

#	DATE	CHANGE DESCRIPTION

NES Nashville Electric Service
 11th Avenue Substation
 11th Avenue N & Hynes Street, Nashville, TN 37203
 1625 BROADWAY
 4TH FLOOR
 NASHVILLE, TN 37203
 PHONE: (615) 386-9690
 FAX: (615) 386-0528

EXISTING CONDITIONS

11/14/2018
 DRAWN BY: LPK CHECKED BY: JDC
 18121
C1.0
 100% CD Checkset

EROSION CONTROL NOTES:

1. EROSION PREVENTION AND SEDIMENT CONTROL MEASURES MUST BE IN PLACE AND FUNCTIONAL BEFORE EARTH MOVING OPERATION BEGINS AND MUST BE CONSTRUCTED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. TEMPORARY MEASURES MAY BE REMOVED AT THE BEGINNING OF THE WORKDAY BUT MUST BE REPLACED AT THE END OF THE WORKDAY.
2. THE FOLLOWING RECORDS SHALL BE MAINTAINED ON OR NEAR SITE: THE DATES WHEN MAJOR GRADING ACTIVITIES OCCUR; THE DATES WHEN CONSTRUCTION ACTIVITIES TEMPORARILY OR PERMANENTLY CEASE ON A PORTION OF THE SITE; THE DATES WHEN STABILIZATION MEASURES ARE INITIATED; INSPECTION RECORDS AND RAINFALL RECORDS.
3. THE CONTRACTOR SHALL MAINTAIN A RAIN GAUGE AND DAILY RAINFALL RECORDS AT THE SITE OR USE A REFERENCE SITE FOR A RECORD OF DAILY AMOUNT OF PRECIPITATION.
4. PRE-CONSTRUCTION VEGETATIVE GROUND COVER SHALL NOT BE DESTROYED, REMOVED OR DISTURBED MORE THAN 10 DAYS PRIOR TO GRADING OR EARTH MOVING UNLESS THE AREA IS SEEDED AND/OR MULCHED OR OTHER TEMPORARY COVER IS INSTALLED.
5. CONSTRUCTION MUST BE SEQUENCED TO MINIMIZE THE EXPOSURE TIME OF GRADED OR DENUDED AREAS.
6. SEDIMENT SHOULD BE REMOVED FROM SEDIMENT TRAPS, SILT FENCES, SEDIMENTATION PONDS AND OTHER SEDIMENT CONTROLS AS NECESSARY AND MUST BE REMOVED WHEN DESIGN CAPACITY HAS BEEN REDUCED BY 50% OR AS DIRECTED BY OWNERS REPRESENTATIVE.
7. THE CONTRACTOR SHALL REMOVE SEDIMENT FROM ALL DRAINAGE STRUCTURES BEFORE ACCEPTANCE BY LOCAL GOVERNING AGENCY OR AS DIRECTED BY THE OWNER'S REPRESENTATIVE.
8. THE CONTRACTOR SHALL REMOVE THE TEMPORARY EROSION AND WATER POLLUTION CONTROL DEVICES ONLY AFTER A SOLID STAND OF GRASS HAS BEEN ESTABLISHED ON GRADED AREAS AND WHEN, IN THE OPINION OF THE OWNER'S REPRESENTATIVE, THEY ARE NO LONGER NEEDED.

DEMOLITION NOTES

1. ALL MATERIALS BEING REMOVED AND NOT RELOCATED UNDER THE NEW CONSTRUCTION, INCLUDING TREES AND SHRUBS, SIGNS, UTILITY STRUCTURES, ETC., SHALL BE FIRST OFFERED TO THE OWNER'S REPRESENTATIVE AND IF NOT ACCEPTED SHALL THEN BE PROPERLY DISPOSED OF BY THE CONTRACTOR.
2. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL CHARTED AND UNCHARTED UTILITIES. TAKE CARE TO PROTECT UTILITIES THAT ARE TO REMAIN. REPAIR ANY DAMAGE ACCORDING TO LOCAL STANDARDS AND AT THE CONTRACTOR'S EXPENSE. COORDINATE ALL CONSTRUCTION WITH THE APPROPRIATE UTILITY COMPANY.
3. THE CONTRACTOR SHALL VERIFY THE LIMITS OF DEMOLITION WITH THE OWNER'S REPRESENTATIVE PRIOR TO COMMENCEMENT OF WORK.
4. IN AREAS WHERE EXISTING PAVEMENT, WALKS, OR CURBS ARE TO BE REMOVED, SAW CUT TO PROVIDE A CLEAN EDGE. COORDINATE EXTENT OF PAVEMENT DEMOLITION WITH THE LIMIT OF NEW IMPROVEMENTS ON THE SITE LAYOUT PLAN & UTILITY INSTALLATION.
5. CONTRACTOR SHALL COORDINATE PHASING OF THE DEMOLITION WITH THE OWNER'S REPRESENTATIVE AND LOCAL GOVERNING AGENCY PRIOR TO BEGINNING WORK. DISRUPTION OF EXISTING UTILITY SERVICES AND TRAFFIC PATTERNS SHALL BE MINIMIZED TO THE EXTENT POSSIBLE AND INITIATED ONLY AFTER APPROVAL BY THE LOCAL GOVERNING AGENCY AND THE UTILITY COMPANIES.
6. CAVITIES LEFT BY STRUCTURE REMOVAL SHALL BE SUITABLY BACKFILLED AND COMPACTED IN ACCORDANCE WITH GEOTECHNICAL ENGINEER.
7. THE CONTRACTOR SHALL USE WATER SPRINKLING AND OTHER SUITABLE METHODS AS NECESSARY TO CONTROL DUST AND DIRT CAUSED BY THE DEMOLITION WORK.
8. THE CONTRACTOR IS RESPONSIBLE FOR ALL DEMOLITION AND REMOVAL NECESSARY TO ACCOMPLISH THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS.
9. THE CONTRACTOR SHALL PRESERVE AND PROTECT SURVEY CONTROL POINTS AND SHALL BE RESPONSIBLE FOR REPLACEMENT OF ANY DISTURBED CONTROL POINTS.
10. EXISTING LIGHT STANDARDS BEING REMOVED SHALL BE FIRST OFFERED TO THE OWNER PRIOR TO DISPOSING OF THEM. COORDINATE LIGHTING DEMOLITION AND LAYOUT WITH THE ELECTRICAL DRAWINGS.
11. NO UTILITY OR STORM SEWER LINES SHALL BE DEMOLISHED UNTIL THE NEW LINES HAVE BEEN INSTALLED AND ARE PLACED INTO OPERATION.
12. THE CONTRACTOR SHALL INCORPORATE INTO HIS WORK ANY ISOLATION VALVES OR TEMPORARY PLUGS REQUIRED TO CONSTRUCT NEW UTILITY LINES AND DEMOLISH EXISTING UTILITY LINES.
13. WHERE WATER LINE AND SEWER LINE ABANDONMENT IS PLANNED, THE CONTRACTOR MAY ABANDON WATER LINES AND SEWER LINES IN PLACE WHERE THEY OCCUR AT LEAST 24" (TO TOP OF PIPE) BELOW FINAL SUBGRADE ELEVATIONS AND OUTSIDE THE BUILDING FOOT PRINT. ALL UTILITY LINES BEING ABANDONED IN PLACE SHALL HAVE ALL ENDS PERMANENTLY CLOSED USING A CONCRETE PLUG.
14. WHERE EXISTING IRRIGATION LINES LIE WITHIN THE AREA AFFECTED BY THE PROPOSED CONSTRUCTION, THE CONTRACTOR SHALL REWORK THE EXISTING IRRIGATION SYSTEMS IN ACCORDANCE WITH DIRECTIVES NOTED ON THE LANDSCAPE PLAN. SERVICE SHALL BE MAINTAINED DURING CONSTRUCTION TO THE LANDSCAPED AREAS CURRENTLY IRRIGATED.

GENERAL NOTES

1. THE PROJECT SITE IS SHOWN ON JURISDICTION, TAX MAP 93, AS PARCEL 123 & 124.
2. BASE INFORMATION WAS TAKEN FROM A SURVEY PREPARED BY RAGAN SMITH DATED 09-14-2018. S&ME, INC. AND ANY OF THEIR CONSULTANTS SHALL NOT BE HELD RESPONSIBLE FOR THE ACCURACY AND/OR COMPLETENESS OF THAT INFORMATION SHOWN HEREON OR ANY ERRORS OR OMISSIONS RESULTING FROM SUCH.
3. THE SITE LAYOUT IS BASED ON REFERENCE POINTS AS NOTED.
4. THE CONTRACTOR SHALL CHECK ALL EXISTING CONDITIONS, (i.e. INVERTS, UTILITY ROUTINGS, UTILITY CROSSINGS, AND DIMENSIONS) IN THE FIELD PRIOR TO COMMENCEMENT OF WORK. REPORT ANY DISCREPANCIES TO THE ENGINEER.
5. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES. TAKE CARE TO PROTECT UTILITIES THAT ARE TO REMAIN. REPAIR ANY DAMAGE ACCORDING TO LOCAL STANDARDS AND AT THE CONTRACTOR'S EXPENSE. COORDINATE ALL CONSTRUCTION WITH THE APPROPRIATE UTILITY COMPANY. THE CONTRACTOR SHALL CALL NATIONAL ONE CALL (811) 72 HOURS PRIOR TO PROCEEDING WITH ANY EXCAVATION.
6. THE CONTRACTOR SHALL CONFORM TO ALL LOCAL CODES AND RECEIVE APPROVAL WHERE NECESSARY BEFORE CONSTRUCTION.
7. EXISTING PAVEMENT OF PUBLIC ROADWAYS SHALL BE PATCHED IN ACCORDANCE WITH LOCAL AGENCY STANDARDS WHEREVER UTILITY INSTALLATION REQUIRES REMOVAL OF THE EXISTING PAVEMENT. COORDINATE PAVEMENT TRENCHING LOCATIONS WITH SITE CIVIL, PLUMBING AND ELECTRICAL PLANS.
8. PROVIDE A SMOOTH TRANSITION BETWEEN EXISTING PAVEMENT AND NEW PAVEMENT. SLIGHT FIELD ADJUSTMENT OF FINAL GRADES MAY BE NECESSARY.
9. DIMENSIONS ARE TO FACE OF CURB AND/OR EXTERIOR FACE OF BUILDING UNLESS OTHERWISE NOTED.
10. CONCRETE FOR CURBS AND SIDEWALKS SHALL BE 3500 PSI CONCRETE.
11. ANY WORK UNACCEPTABLE TO THE OWNER'S REPRESENTATIVE OR TO THE LOCAL GOVERNING AUTHORITY SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT NO ADDITIONAL EXPENSE TO THE OWNER.
12. ACCESSIBLE RAMPS SHALL HAVE A MAXIMUM SLOPE OF 1:12. GRADES WITHIN ACCESSIBLE SPACES SHALL BE MAXIMUM 2% IN ALL DIRECTIONS.
13. THE PROPOSED BUILDING SHALL BE LAID OUT UTILIZING THE EXISTING STRUCTURE AS A CONTROL POINT AND THE ARCHITECTURAL DRAWINGS. DIMENSIONS SHOWN TO THE PROPOSED BUILDING ARE CALCULATED TO THE FACE OF EXTERIOR WALL. SEE ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.
14. CURBS SHALL BE PARALLEL TO THE CENTERLINE OF DRIVES. THE CURB SHALL BE PLACED ONLY AFTER HAVING ALL BREAK POINTS (PC & PT OF CURVES) LOCATED AT THE FACE OF CURB OR AT A CONSISTENT OFFSET BY A REGISTERED LAND SURVEYOR.
15. THE CONTRACTOR SHALL COMPLY WITH ALL PERTINENT PROVISIONS OF THE MANUAL OF ACCIDENT PREVENTION AND CONSTRUCTION ISSUED BY AGC OF AMERICA, INC. AND THE SAFETY AND HEALTH REGULATIONS OF CONSTRUCTION ISSUED BY THE U.S. DEPARTMENT OF LABOR.
16. THE CONTRACTOR SHALL PAVE IN THE DIRECTION OF TRAFFIC.
17. THE CONTRACTOR SHALL COLD PLANE IN THE DIRECTION OF TRAFFIC.
18. THE CONTRACTOR WILL BE REQUIRED TO ADJUST GRADES OF INTERSECTING STREETS, ALLEYS, PUBLIC ENTRANCES AND PRIVATE DRIVES AS DIRECTED BY THE ENGINEER.
19. ALL ROADWAY AND SIDEWALK CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS AND SPECIFICATIONS OF LOCAL GOVERNING AGENCY.
20. ALL CONSTRUCTION MATERIALS AND INSTALLATION SHALL CONFORM TO LOCAL GOVERNING AGENCY AND STATE DOT REGULATIONS AND SPECIFICATIONS.
21. ALL CURBING WILL BE REQUIRED TO ADJUST TO THE GRADES OF INTERSECTING STREETS, ALLEYS, PUBLIC ENTRANCES, AND PRIVATE DRIVES AS DIRECTED BY THE ENGINEER.

SITE GRADING & EROSION CONTROL NOTES

1. THE DISTURBED AREA FOR THIS PROJECT IS APPROXIMATELY 1.60 ACRES.
2. THE SUBJECT PROPERTY DOES NOT LIE WITHIN A SPECIAL FLOOD HAZARD ZONE ACCORDING TO COMMUNITY PANEL NO. 47037C02414 OF THE F.E.M.A. FLOOD INSURANCE RATE MAPS FOR DAVIDSON COUNTY, TENNESSEE, WITH AN EFFECTIVE DATE OF 04-05-2017.
3. CONSTRUCT SILT BARRIERS BEFORE BEGINNING GRADING OPERATIONS.
4. MULCH AND SEED ALL DISTURBED AREAS AS SOON AS POSSIBLE AFTER FINAL GRADING IS COMPLETED, UNLESS OTHERWISE INDICATED. CONTRACTOR SHALL TAKE WHATEVER MEANS NECESSARY TO ESTABLISH PERMANENT SOIL STABILIZATION.
5. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES. TAKE CARE TO PROTECT UTILITIES THAT ARE TO REMAIN. REPAIR ANY DAMAGE ACCORDING TO LOCAL STANDARDS AND AT THE CONTRACTOR'S EXPENSE. COORDINATE ALL CONSTRUCTION WITH THE APPROPRIATE UTILITY COMPANY.
6. PROVIDE TEMPORARY CONSTRUCTION ACCESSSES AT THE POINT(S) WHERE CONSTRUCTION VEHICLES EXIT THE CONSTRUCTION AREA. MAINTAIN PUBLIC ROADWAYS FREE OF TRACKED MUD AND DIRT.
7. THE CONTRACTOR SHALL COORDINATE THE EXACT LOCATION OF THE STORM DRAIN CONNECTIONS AT THE BUILDING WITH THE PLUMBING PLANS.
8. THE CONTRACTOR SHALL CHECK ALL EXISTING GRADES AND DIMENSIONS IN THE FIELD PRIOR TO BEGINNING WORK AND REPORT ANY DISCREPANCIES TO THE ENGINEER.
9. THE CONTRACTOR SHALL ADJUST THE CASTINGS OF ALL NEW AND EXISTING STRUCTURES TO MATCH PROPOSED FINISH GRADES.
10. THE CONTRACTOR SHALL COMPLY WITH ALL PERTINENT PROVISIONS OF THE MANUAL OF ACCIDENT PREVENTION AND CONSTRUCTION ISSUED BY AGC OF AMERICA, INC. AND THE SAFETY AND HEALTH REGULATIONS OF CONSTRUCTION ISSUED BY THE U.S. DEPARTMENT OF LABOR.
11. PROPOSED CONTOUR LINES AND SPOT ELEVATIONS ARE THE RESULT OF AN ENGINEERED GRADING DESIGN AND REFLECT A PLANNED INTENT WITH REGARD TO DRAINAGE AND MOVEMENT OF MATERIALS. SHOULD THE CONTRACTOR HAVE ANY QUESTION OF THE INTENT OR ANY PROBLEM WITH THE CONTINUITY OF GRADES, THE ENGINEER SHALL BE CONTACTED IMMEDIATELY.
12. ALL CUT AND FILL SLOPES SHALL BE 3 HORIZONTAL TO 1 VERTICAL OR FLATTER UNLESS OTHERWISE INDICATED ON THE PLANS.
13. ALL PIPES UNDER EXISTING PAVED AREAS SHALL BE BACKFILLED TO THE TOP OF SUBGRADE WITH CRUSHED STONE.
14. MINIMUM GRADE ON ASPHALT OR CONCRETE PAVING SHALL BE 1.0%. THE MAXIMUM GRADES WITHIN ACCESSIBLE SPACES SHALL BE 2% IN ANY DIRECTION.
15. CONTRACTOR SHALL CONFORM TO ALL APPLICABLE CODES AND OBTAIN APPROVAL AS NECESSARY BEFORE BEGINNING CONSTRUCTION.
16. ALL EARTHWORK, INCLUDING THE EXCAVATED SUBGRADE AND EACH LAYER OF FILL, SHALL BE MONITORED AND APPROVED BY A QUALIFIED GEOTECHNICAL ENGINEER, OR HIS REPRESENTATIVE.
17. IF ANY SPRINGS OR UNDERGROUND STREAMS ARE EXPOSED DURING CONSTRUCTION PERMANENT FRENCH DRAINS MAY BE REQUIRED. THE DRAINS SHALL BE SPECIFIED AND LOCATED DURING CONSTRUCTION AS REQUIRED BY THE CONDITIONS WHICH ARE ENCOUNTERED, AND SHALL BE APPROVED BY THE ENGINEER.
18. THIS GRADING & DRAINAGE PLAN IS NOT A DETERMINATION OR GUARANTEE OF THE SUITABILITY OF THE SUBSURFACE CONDITIONS FOR THE WORK INDICATED. A GEOTECHNICAL SOILS REPORT HAS BEEN PREPARED AND IS AVAILABLE FROM THE OWNER. DETERMINATION OF THE SUBSURFACE CONDITIONS FOR THE WORK INDICATED IS SOLELY THE RESPONSIBILITY OF THE CONTRACTOR.
19. THE CONTRACTOR SHALL TAKE SPECIAL CARE TO COMPACT FILL SUFFICIENTLY AROUND AND OVER ALL PIPES, STRUCTURES, VALVE STEMS, ETC., INSIDE THE PROPOSED PAVED AREAS TO AVOID SETTLEMENT. ANY SETTLEMENT DURING THE WARRANTY PERIOD SHALL BE RESTORED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
20. IN NO CASE SHALL SLOPE, HEIGHT, SLOPE INCLINATION, OR EXCAVATION DEPTH, INCLUDING TRENCH CONSTRUCTION, EXCEED THOSE SPECIFIED IN LOCAL, STATE AND FEDERAL REGULATIONS, SPECIFICALLY THE CURRENT OSHA HEALTH AND SAFETY STANDARDS FOR EXCAVATIONS (29 CFR PART 1926) SHALL BE FOLLOWED.
21. DO NOT DISTURB VEGETATION OR REMOVE TREES EXCEPT WHEN NECESSARY FOR GRADING PURPOSES.
22. STRIP TOPSOIL FROM ALL CUT AND FILL AREAS AND STOCKPILE UPON COMPLETION OF GENERAL GRADING OVER ALL DISTURBED AREAS, TO A MINIMUM DEPTH OF 6". CONTRACTOR SHALL SUPPLY ADDITIONAL TOP SOIL IF INSUFFICIENT QUANTITIES EXIST ON SITE.
23. TOP OF GRATE ELEVATIONS AND LOCATION OF COORDINATES FOR DRAINAGE STRUCTURES SHALL BE AS SHOWN ON THE DETAIL, UNLESS NOTED OTHERWISE. THE GRATES SHALL SLOPE LONGITUDINALLY WITH THE PAVEMENT GRADES.
24. ALL DRAINAGE CONSTRUCTION MATERIALS AND INSTALLATION SHALL CONFORM TO THE REQUIREMENTS AND SPECIFICATIONS OF THE LOCAL GOVERNING AGENCY.
25. POSITIVE DRAINAGE SHALL BE ESTABLISHED AS THE FIRST ORDER OF WORK AND SHALL BE MAINTAINED AT ALL TIMES DURING AND AFTER CONSTRUCTION. SOIL SOFTENED BY PERCHED WATER IN FOUNDATION AND PAVEMENT AREAS MUST BE UNDERCUT AND REPLACED WITH SUITABLE FILL MATERIALS APPROVED BY THE GEOTECHNICAL ENGINEER. GROUNDWATER INFILTRATION INTO EXCAVATIONS SHOULD BE EXPECTED, AND THE WATER SHALL BE REMOVED USING GRAVITY DRAINAGE OR PUMPING.
26. REINFORCED CONCRETE STORM DRAINAGE PIPE SHALL BE CLASS III, WALL "B". HDPE SHALL BE CORRUGATED, SMOOTH WALL N-12 PIPE WITH SOIL TIGHT JOINTS.
27. FILL SLOPES 3:1 AND GREATER SHALL BE PLACED AND COMPACTED 5' BEYOND PROPOSED LIMITS AND THEN EXCAVATED BACK TO THE PROPOSED LOCATION.
28. THE CONTRACTOR SHALL PROVIDE AN ASBUILT SURVEY STAMPED BY A LICENSED SURVEYOR IN THE STATE OF TENNESSEE OF ALL PUBLIC STORM SYSTEMS, ONSITE DETENTION PONDS, AND WATER QUALITY MEASURES VERIFYING COMPLIANCE WITH DESIGN DOCUMENTS.
29. THE CONTRACTOR SHALL NOTIFY THE ENGINEER 72 HOURS PRIOR TO INSTALLATION OF THE WATER QUALITY DEVICES.
30. ALL FILL MATERIAL SHALL BE APPROVED BY THE GEOTECHNICAL ENGINEER PRIOR TO PLACEMENT. THIS MATERIAL SHALL BE PLACED IN LIFTS DIRECTED BY THE GEOTECHNICAL ENGINEER AND COMPACTED AS SPECIFIED BY THE GEOTECHNICAL ENGINEER.
31. SEDIMENT REMOVED FROM SEDIMENT CONTROL STRUCTURES IS TO BE PLACED AT A SITE APPROVED BY THE ENGINEER. IT SHALL BE TREATED IN A MANNER SO THAT THE AREA AROUND THE DISPOSAL SITE WILL NOT BE CONTAMINATED OR DAMAGED BY THE SEDIMENT IN THE RUN-OFF. COST FOR THIS TREATMENT IS TO BE INCLUDED IN PRICE BID FOR EARTHWORK. THE CONTRACTOR SHALL OBTAIN THE DISPOSAL SITE AS PART OF THIS WORK.
32. STOCKPILED TOPSOIL OR FILL MATERIAL IS TO BE TREATED SO THE SEDIMENT RUN-OFF WILL NOT CONTAMINATE SURROUNDING AREAS OR ENTER NEARBY STREAMS.
33. ANY SITE USED FOR DISPOSAL AND/OR STOCKPILE OF ANY MATERIAL SHALL BE PROPERLY PERMITTED FOR SUCH ACTIVITY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO SEE THAT ALL REQUIRED PERMITS ARE SECURED FOR EACH PROPERTY UTILIZED. A COPY OF THE APPROVED PERMIT MUST BE PROVIDED TO THE INSPECTOR PRIOR TO COMMENCEMENT OF WORK ON ANY PROPERTY. FAILURE TO DO SO MAY RESULT IN THE CONTRACTOR REMOVING ANY ILLEGALLY PLACED MATERIAL AT HIS OWN EXPENSE.
34. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO WASTE EXCESS EARTH MATERIAL OFF SITE AT NO ADDITIONAL COST TO THE OWNER. THE CONTRACTOR SHALL FIRST OFFER THE EXCESS MATERIAL TO THE OWNER. IF NOT ACCEPTED BY THE OWNER, THE CONTRACTOR SHALL DISPOSE OF EARTH MATERIAL OFF SITE. IT SHALL ALSO BE THE CONTRACTOR'S RESPONSIBILITY TO IMPORT SUITABLE MATERIAL (AT NO ADDITIONAL COST TO THE OWNER) FOR EARTHWORK OPERATIONS IF SUFFICIENT AMOUNTS OF EARTH MATERIAL ARE NOT AVAILABLE ON SITE.

SITE UTILITY NOTES

1. THE PROJECT SITE IS SHOWN ON JURISDICTION, TAX MAP 93, AS PARCEL 123 & 124.
2. ALL WATER LINES, SEWER LINES, AND APPURTENANCES SHALL BE OF MATERIALS AND CONSTRUCTION THAT CONFORM TO THE LOCAL AGENCY STANDARDS AND SPECIFICATIONS.
3. THE CONTRACTOR SHALL MAINTAIN 10 FEET HORIZONTAL SEPARATION BETWEEN SANITARY SEWER LINES AND WATER LINES. WHERE THESE CRITERIA CANNOT BE MET, THE CONTRACTOR SHALL MAINTAIN 18" VERTICAL SEPARATION BETWEEN WATER AND SEWER LINES.
4. THE CONTRACTOR SHALL FIELD VERIFY THE EXACT HORIZONTAL AND VERTICAL LOCATION OF EXISTING MANHOLES OR SANITARY SEWER LINES AT THE POINT OF CONNECTION PRIOR TO THE COMMENCEMENT OF ORDERING OF MATERIALS, CONSTRUCTION OR REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE SEQUENCING OF CONSTRUCTION FOR ALL UTILITY LINES SO THAT WATER LINES DO NOT CONFLICT WITH SANITARY SEWERS, SANITARY SEWER SERVICES, STORM SEWERS, OR ANY OTHER UTILITY OR STRUCTURE, EXISTING OR PROPOSED.
6. THE LOCATION OF EXISTING UTILITIES SHOWN ON THESE PLANS ARE APPROXIMATE ONLY. THE CONTRACTOR SHALL NOTIFY EACH INDIVIDUAL UTILITY OWNER OF HIS PLAN OF OPERATION IN THE AREA OF THE UTILITIES. PRIOR TO COMMENCING WORK, THE CONTRACTOR SHALL CONTACT THE UTILITY OWNERS AND REQUEST THEM TO PROPERLY LOCATE THEIR RESPECTIVE UTILITY ON THE GROUND. THIS NOTIFICATION SHALL BE GIVEN AT LEAST THREE (3) BUSINESS DAYS PRIOR TO COMMENCEMENT OF OPERATIONS AROUND THE UTILITY.
7. BEFORE CONNECTIONS ARE MADE INTO EXISTING UTILITIES, THE NEW LINES ARE TO BE FLUSHED AND TESTED BY THE CONTRACTOR IN ACCORDANCE WITH THE LOCAL WATER AND SEWER DEPARTMENT SPECIFICATIONS.
8. ALL TRENCHES CUT IN EXISTING ROADS OR DRIVES SHALL UTILIZE A CLEAN SAW CUT AND SHALL BE BACKFILLED (100%) TO FINAL SUBGRADE WITH #57 STONE. REPAIR ROADS PER LOCAL AGENCY REQUIREMENTS.
9. REPAIR ALL DAMAGE TO EXISTING FEATURES (i.e. DRIVES, ROADS, YARDS, LANDSCAPING, ETC...) TO PRE-CONSTRUCTION CONDITION.
10. THE CONTRACTOR SHALL PROVIDE ALL HORIZONTAL AND VERTICAL BENDS TO ATTAIN THE ALIGNMENT INDICATED ON THE PLANS. PROVIDE VERTICAL BENDS WHERE NECESSARY TO ALLOW WATER LINES TO PASS UNDER OR OVER OTHER UTILITY LINES. (ALL BENDS AND BRACES SHOULD NOT BE ACTUALLY SHOWN), PROVIDE BRACING AND/OR RODDING AT ALL BENDS AND TEES AS REQUIRED BY WATER DEPARTMENT.
11. COORDINATE THE EXACT LOCATION OF ALL UTILITIES ENTERING THE BUILDING WITH THE PLUMBING PLANS.
12. THE CONTRACTOR SHALL VERIFY REQUIRED PIPE LENGTHS. EXISTING PIPE MATERIAL AND SIZES AS SHOWN ON PLANS.
13. REPAIR EXISTING PAVEMENT, CURBS, WALKS, LANDSCAPING, ETC. THAT ARE DAMAGED BY CONSTRUCTION ACTIVITIES TO A LIKE NEW CONDITION AT NO ADDITIONAL COST TO THE OWNER.
14. THE PROPOSED ELECTRIC LINE CONSTRUCTION AND INSTALLATION SHALL BE COORDINATED WITH THE LOCAL ELECTRIC COMPANY BY THE CONTRACTOR.
15. WHERE DRAINAGE OR UTILITY LINES OCCUR IN PROPOSED FILL AREAS, THE FILL MATERIAL IS TO BE PLACED AND COMPACTED TO 95% STANDARD/MODIFIED PROCTOR OF MAXIMUM DRY DENSITY ACCORDING TO ASTM D698 PRIOR TO INSTALLATION OF DRAINAGE OR UTILITY LINES. FILL IS TO BE INSPECTED BY A PROFESSIONAL GEOTECHNICAL ENGINEER TESTING FIRM EMPLOYED BY THE OWNER. RESULTS OF THE TEST SHALL BE FURNISHED TO THE OWNER'S REPRESENTATIVE. CONTRACTOR TO PAY FOR ANY RETESTING.
16. EXISTING CASTINGS LOCATED IN FILL/CUT AREAS SHALL BE ADJUSTED TO ENSURE THAT THE TOP OF CASTING IS FLUSH WITH THE FINISHED GRADE.
17. THE CONTRACTOR WILL PROVIDE ALL NECESSARY PROTECTIVE MEASURES TO SAFEGUARD EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION OF THIS PROJECT. IN THE EVENT THAT SPECIAL EQUIPMENT IS REQUIRED TO WORK OVER AND AROUND THE UTILITIES, THE CONTRACTOR WILL BE REQUIRED TO FURNISH SUCH EQUIPMENT AT NO ADDITIONAL COST TO THE OWNER.
18. PRIOR TO SUBMITTING HIS BID, THE CONTRACTOR WILL BE SOLELY RESPONSIBLE FOR CONTACTING OWNERS OF ALL AFFECTED UTILITIES IN ORDER TO DETERMINE THE EXTENT TO WHICH UTILITY RELOCATIONS AND/OR ADJUSTMENTS WILL HAVE UPON THE SCHEDULE OF WORK FOR THE PROJECT. WHILE SOME WORK MAY BE REQUIRED 'AROUND' UTILITY FACILITIES THAT WILL REMAIN IN PLACE, OTHER UTILITY FACILITIES MAY NEED TO BE ADJUSTED CONCURRENTLY WITH THE CONTRACTOR'S OPERATIONS.
19. CONTRACTOR SHALL MARK THE LOCATION OF ALL NEW PVC LINES WITH #8 WIRE.

#	DATE	CHANGE DESCRIPTION



11th Avenue Substation
11th Avenue N & Hynes Street, Nashville, TN 37203
for
NES Nashville Electric Service

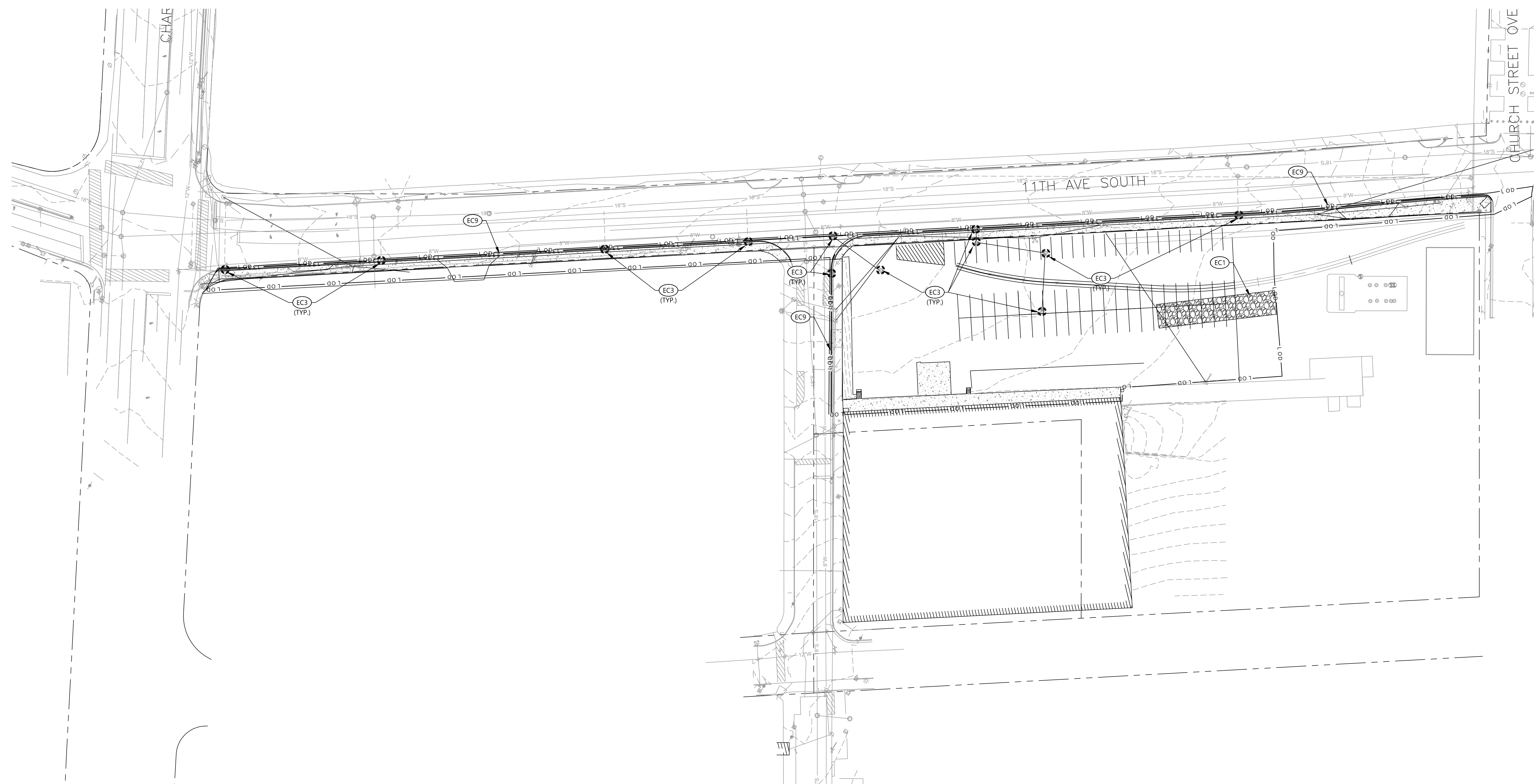


1625 BROADWAY
4TH FLOOR
NASHVILLE, TN 37203
PHONE: (615) 386-9690
FAX: (615) 386-0528

DRAWING TITLE:

NOTES

PROGRESS DRAWING NOT FOR CONSTRUCTION	11/14/2018	
	DRAWN BY: LPK	CHECKED BY: JDC
	18121	
	C2.0	
100% CD Checkset		



SITE DESCRIPTION AND NOTES:

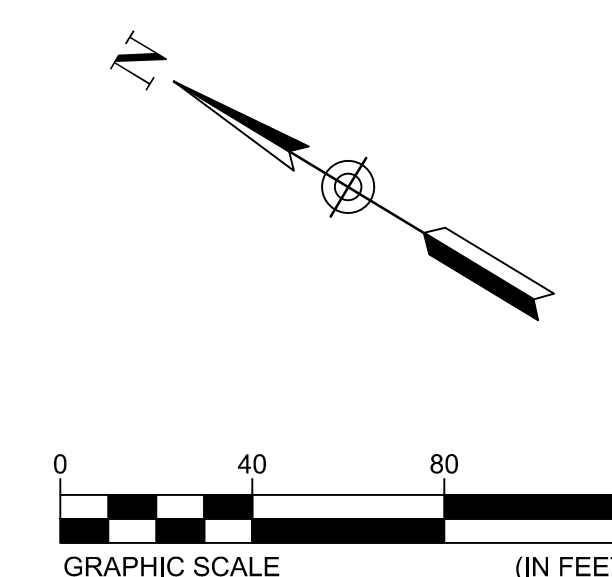
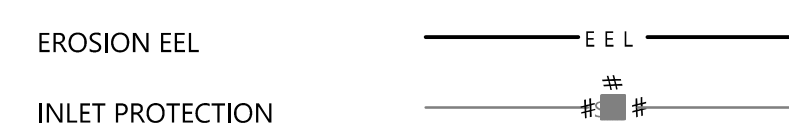
THE SITE IS LOCATED ON TAX MAP 93, PARCEL 123 & 124 IN NASHVILLE, DAVIDSON COUNTY, TENNESSEE. CONSTRUCTION ACTIVITY ON THIS SITE WILL CONSIST OF DISTURBING APPROXIMATELY 1.60± ACRES TO CONSTRUCT PROPOSED NES SUBSTATION AND ACCOMPANYING FEATURES.

1. APPROXIMATE CONSTRUCTION TIME TABLE:
 BEGIN CONSTRUCTION - 1 JULY 2019
 COMPLETE CONSTRUCTION - 1 MAY 2021
2. CONSTRUCTION SEQUENCE:
 A. ATTEND WATER QUALITY DIVISION PRE-CONSTRUCTION MEETING.
 B. INSTALL CONSTRUCTION ENTRANCE, SILT FENCE, AND INLET PROTECTION.
 C. CONTACT WATER QUALITY DIVISION - EROSION CONTROL INSPECTOR FOR INSPECTION OF EROSION CONTROL DEVICES TO OBTAIN GRADING PERMIT.
 D. CONSTRUCT REMAINING SITE ACCORDING TO APPROVED PLANS, INCLUDING ALL ADDITIONAL EROSION CONTROL DEVICES.
 E. UPON PERMANENT SITE STABILIZATION SEED AND STRAW.
 F. REMOVE ALL OTHER EROSION TEMPORARY CONTROL DEVICES PRIOR TO AS-BUILT APPROVALS.
3. TOTAL PROJECT AREA = 347,609 SF (7.98± AC.)
 DISTURBED AREA = 69,582 S.F. (1.60± AC.)

NOTE:
 1. SEE SHEET C2.0 & C3.1 FOR EROSION CONTROL NOTES

EROSION CONTROL KEYNOTES		
CODE	DESCRIPTION	DET #/SHT #
EC1	TEMPORARY CONSTRUCTION ENTRANCE	1 / C3.1
EC3	INLET PROTECTION	2 / C3.1
EC9	EROSION EEL	3 / C3.1

PROPOSED FEATURES LEGEND



#	DATE	CHANGE DESCRIPTION

NES Nashville Electric Service
 11th Avenue Substation
 11th Avenue N & Hynes Street, Nashville, TN 37203

1625 BROADWAY
 4TH FLOOR
 NASHVILLE, TN 37203
 PHONE: (615) 386-9690
 FAX: (615) 386-0528

EROSION CONTROL PLAN

PROGRESS DRAWING NOT FOR CONSTRUCTION	11/14/2018	
	DRAWN BY: LPK	CHECKED BY: JDC
	18121	
	C3.0	
100% CD Checkset		

SCHEDULE OF INSPECTIONS AND MAINTENANCE NOTES

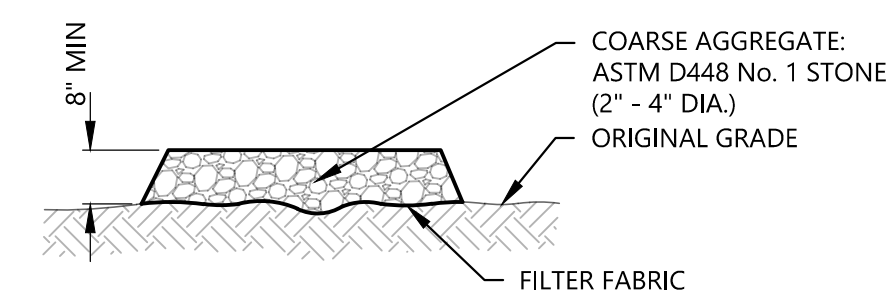
- INSPECTIONS DESCRIBED IN PARAGRAPHS 2, 3 AND 4 BELOW, SHALL BE PERFORMED AT LEAST TWICE EVERY CALENDAR WEEK. INSPECTIONS SHALL BE PERFORMED AT LEAST 72 HOURS APART. WHERE SITES OR PORTIONS(S) OF CONSTRUCTION SITES HAVE BEEN TEMPORARILY STABILIZED, OR RUNOFF IS UNLIKELY DUE TO WINTER CONDITIONS (E.G., SITE COVERED WITH SNOW OR ICE) OR DUE TO EXTREME DROUGHT, SUCH INSPECTION ONLY HAS TO BE CONDUCTED ONCE PER MONTH UNTIL THAWING OR PRECIPITATION RESULTS IN RUNOFF OR CONSTRUCTION ACTIVITY RESUMES. INSPECTION REQUIREMENTS DO NOT APPLY TO DEFERRABLE AREAS THAT HAVE BEEN FINALLY STABILIZED. WRITTEN NOTIFICATION OF THE INTENT TO CHANGE THE INSPECTION FREQUENCY AND THE JUSTIFICATION FOR SUCH REQUEST MUST BE SUBMITTED TO THE LOCAL ENVIRONMENTAL FIELD OFFICE, OR THE DIVISION'S NASHVILLE CENTRAL OFFICE FOR PROJECTS OF THE TENNESSEE DEPARTMENT OF TRANSPORTATION (TDOT) AND THE TENNESSEE VALLEY AUTHORITY (TVA). SHOULD TDEC DISCOVER THAT MONTHLY INSPECTIONS OF THE SITE ARE NOT APPROPRIATE DUE TO INSUFFICIENT STABILIZATION MEASURES OR OTHERWISE, TWICE WEEKLY INSPECTIONS SHALL RESUME. TDEC MAY INSPECT THE SITE TO CONFIRM OR DENY THE NOTIFICATION TO CONDUCT MONTHLY INSPECTIONS.
- QUALIFIED PERSONNEL (PROVIDED BY THE PERMITTEE OR COOPERATIVELY BY MULTIPLE PERMITTEES) SHALL INSPECT DISTURBED AREAS OF THE CONSTRUCTION SITE THAT HAVE NOT BEEN FINALLY STABILIZED, AREAS USED FOR STORAGE OF MATERIALS THAT ARE EXPOSED TO PRECIPITATION, STRUCTURAL CONTROL MEASURES, LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE, AND EACH OUTFALL.
- DISTURBED AREAS AND AREAS USED FOR STORAGE OF MATERIALS THAT ARE EXPOSED TO PRECIPITATION SHALL BE INSPECTED FOR EVIDENCE OF, OR THE POTENTIAL FOR, POLLUTANTS ENTERING THE SITE'S DRAINAGE SYSTEM. EROSION PREVENTION AND SEDIMENT CONTROL MEASURES SHALL BE OBSERVED TO ENSURE THAT THEY ARE OPERATING CORRECTLY.
- OUTFALL POINTS (WHERE DISCHARGES LEAVE THE SITE AND/OR ENTER WATERS OF THE STATE) SHALL BE INSPECTED TO DETERMINE WHETHER EROSION PREVENTION AND SEDIMENT CONTROL MEASURES ARE EFFECTIVE IN PREVENTING SIGNIFICANT IMPACTS TO RECEIVING WATERS. WHERE DISCHARGE LOCATIONS ARE INACCESSIBLE, NEARBY DOWNSTREAM LOCATIONS SHALL BE INSPECTED. LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE SHALL BE INSPECTED FOR EVIDENCE OF OFFSITE SEDIMENT TRACKING.
- BASED ON THE RESULTS OF THE INSPECTION, ANY INADEQUATE CONTROL MEASURES OR CONTROL MEASURES IN DISREPAIR SHALL BE REPLACED OR MODIFIED, OR REPAIRED AS NECESSARY, BEFORE THE NEXT RAIN EVENT, BUT IN NO CASE MORE THAN 7 DAYS AFTER THE NEED IS IDENTIFIED.
- BASED ON THE RESULTS OF THE INSPECTION, THE SITE DESCRIPTION AND POLLUTION PREVENTION MEASURES IDENTIFIED IN THIS SWPPP SHALL BE REVISED AS APPROPRIATE, BUT IN NO CASE LATER THAN 7 DAYS FOLLOWING THE INSPECTION. SUCH MODIFICATIONS SHALL PROVIDE FOR TIMELY IMPLEMENTATION OF ANY CHANGES TO THE SWPPP, BUT IN NO CASE LATER THAN 14 DAYS FOLLOWING THE INSPECTION.
- ALL INSPECTIONS SHALL BE DOCUMENTED ON THE CONSTRUCTION STORMWATER INSPECTION CERTIFICATION FORM PROVIDED IN APPENDIX D OF THE SWPPP REPORT FOR ALL CONSTRUCTION SITES. INSPECTION DOCUMENTATION WILL BE MAINTAINED ON SITE AND MADE AVAILABLE TO TDEC UPON REQUEST. INSPECTION REPORTS MUST BE SUBMITTED TO TDEC WITHIN 10 DAYS OF THE REQUEST. IF TDEC REQUESTS THE CONSTRUCTION STORMWATER INSPECTION CERTIFICATION FORM TO BE SUBMITTED, THE SUBMITTED FORM MUST CONTAIN THE PRINTED NAME AND SIGNATURE OF THE TRAINED CERTIFIED INSPECTOR AND THE PERSON WHO MEETS THE SIGNATORY REQUIREMENTS OF SECTION 7.7.2 OF THE NPDES GENERAL PERMIT.
- TRAINED CERTIFIED INSPECTORS SHALL COMPLETE INSPECTION DOCUMENTATION TO THE BEST OF THEIR ABILITY. FALSIFYING INSPECTION RECORDS OR OTHER DOCUMENTATION OR FAILURE TO COMPLETE INSPECTION DOCUMENTATION SHALL RESULT IN A VIOLATION OF THIS PERMIT AND ANY OTHER APPLICABLE ACTS OR RULES.
- SUBSEQUENT OPERATOR(S) (PRIMARY PERMITTEE(S) WHO HAVE OBTAINED COVERAGE UNDER THE NPDES GENERAL PERMIT SHOULD CONDUCT TWICE WEEKLY INSPECTIONS, UNLESS THEIR PORTION(S) OF THE SITE HAS BEEN TEMPORARILY STABILIZED, OR RUNOFF IS UNLIKELY DUE TO WINTER CONDITIONS OR DUE TO EXTREME DROUGHT AS STATED IN PARAGRAPH A) ABOVE. THE PRIMARY PERMITTEE (SUCH AS A DEVELOPER) IS NO LONGER REQUIRED TO CONDUCT INSPECTIONS OF PORTIONS OF THE SITE THAT ARE COVERED BY A SUBSEQUENT PRIMARY PERMITTEE (SUCH AS A HOME BUILDER).

NOTE:

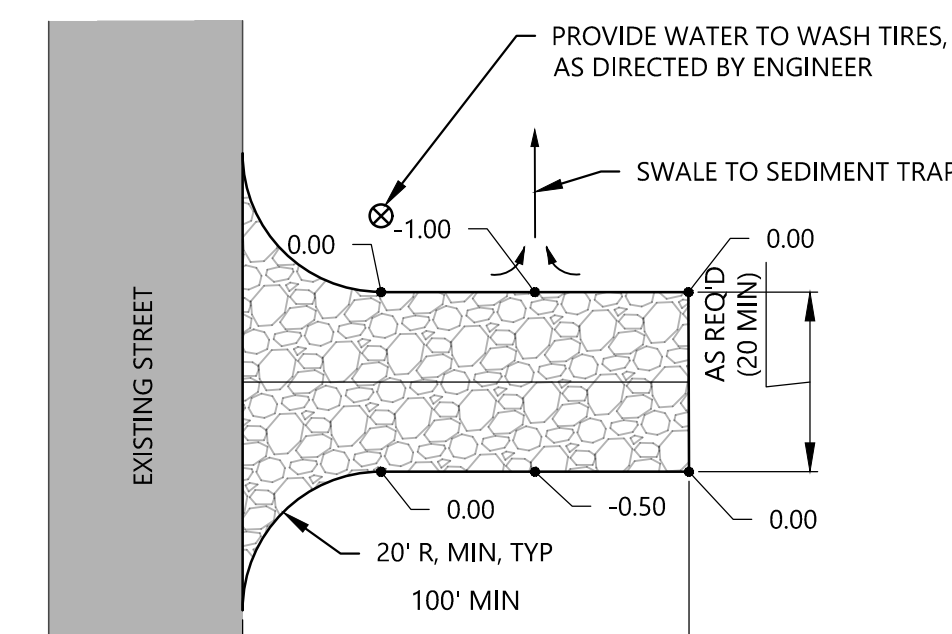
CONTRACTOR SHALL INSTALL A 4'X4' WEATHER PROOF SIGN (6' HEIGHT) AT THE MAIN CONSTRUCTION ENTRANCE. THE SIGN SHALL HAVE THE FOLLOWING INFORMATION:

- A COPY OF THE NOTICE OF COVERAGE WITH THE NPDES PERMIT NUMBER (FURNISHED BY ENGINEER).
- THE NAME AND TELEPHONE NUMBER OF A LOCAL CONTACT PERSON (FURNISHED BY CONSTRUCTION MANAGER).
- DESCRIPTION OF PROJECT (FURNISHED BY CONSTRUCTION MANAGER).

4



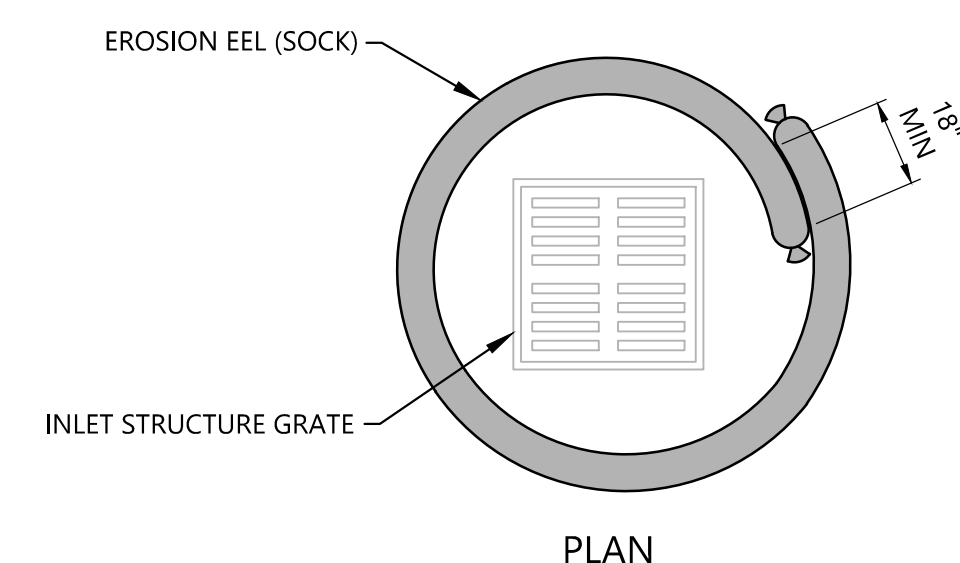
SECTION



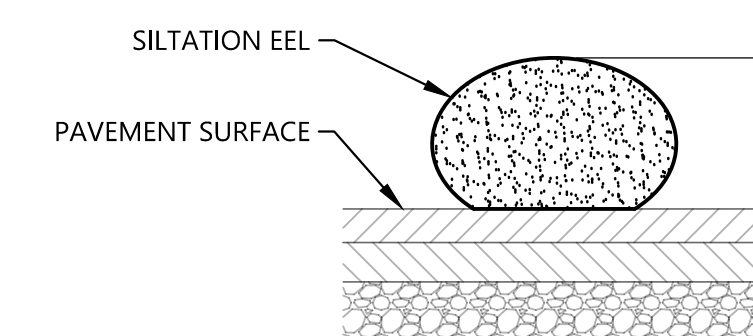
PLAN VIEW

1 TEMPORARY CONSTRUCTION ENTRANCE (TCP-03)
NO SCALE

5



PLAN

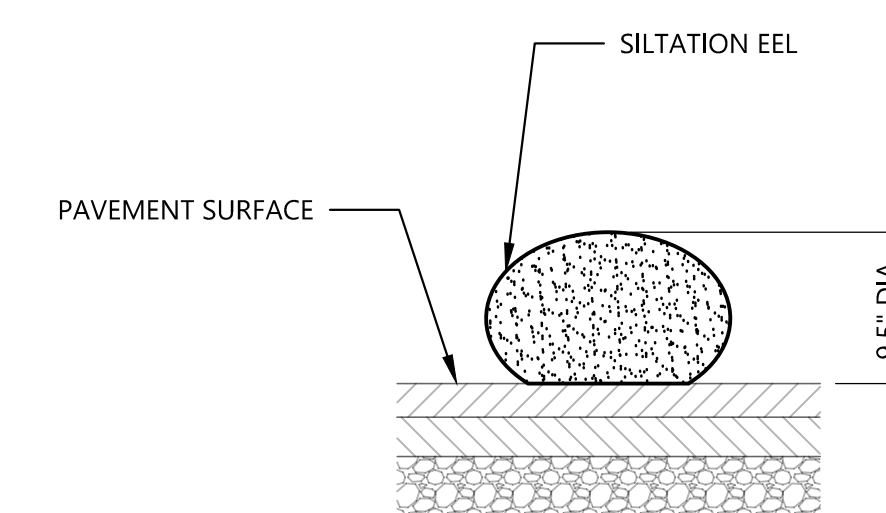


SECTION

NOTE:
THIS DEVICE SHALL BE USED IN AREAS WHERE EXISTING PAVEMENT PREVENTS THE USE OF SILT FENCE. STABILIZE THE SILTATION EEL WITH SANDBAGS AS NEEDED.

2 TEMPORARY SILTATION EEL INLET PROTECTION
NO SCALE

6



SECTION

NOTE:
THIS DEVICE SHALL BE USED IN AREAS WHERE EXISTING PAVEMENT PREVENTS THE USE OF SILT FENCE. STABILIZE THE SILTATION EEL BY PLACING SANDBAGS SPACED NO MORE THAN 8' APART ON TOP OF THE EEL.

3 TEMPORARY SILTATION EEL
NO SCALE

#	DATE	CHANGE DESCRIPTION

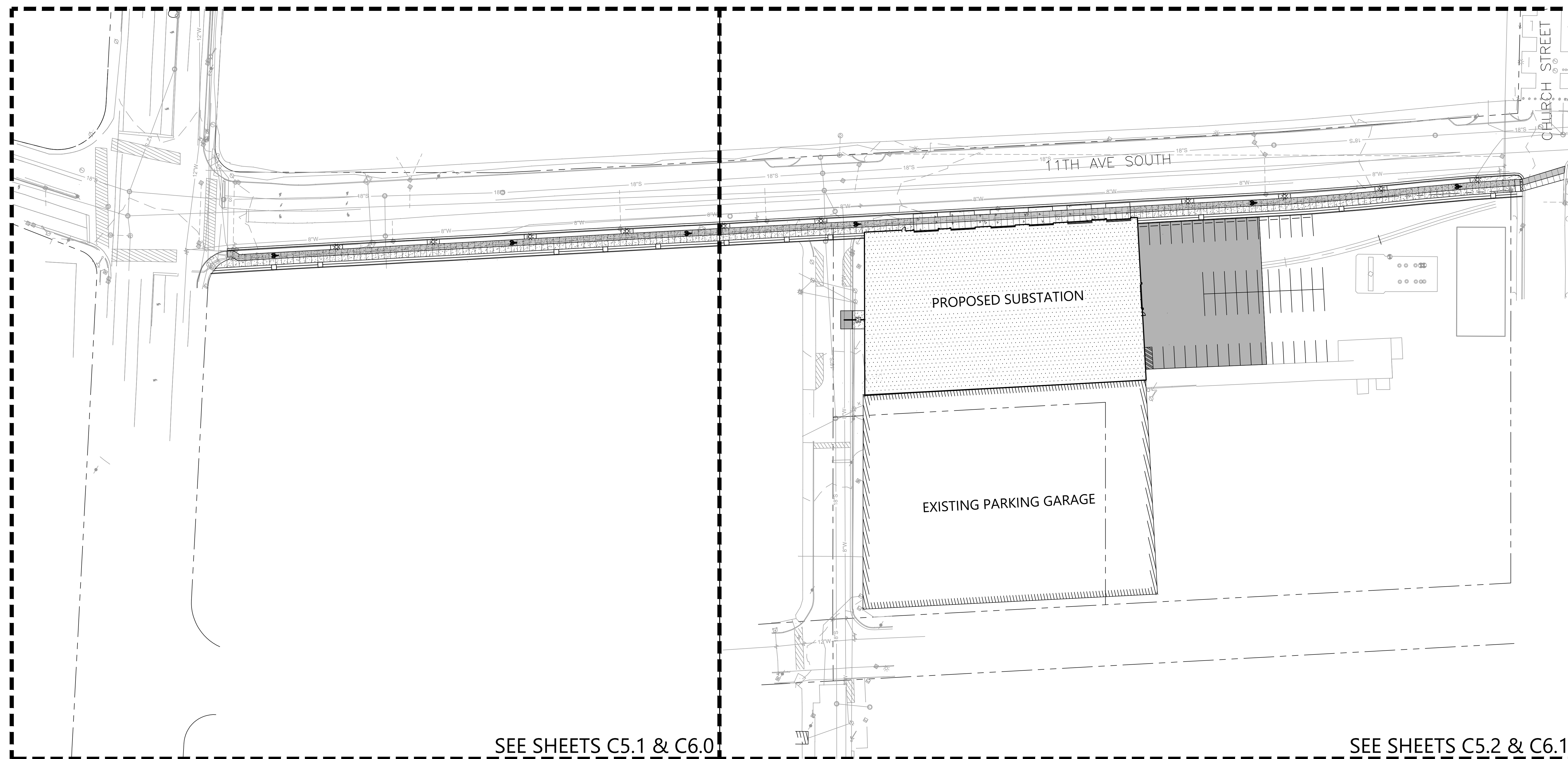
11th Avenue Substation
11th Avenue N & Hynes Street, Nashville, TN 37203
for
NES Nashville Electric Service

1625 BROADWAY
4TH FLOOR
NASHVILLE, TN 37203
PHONE: (615) 386-9690
FAX: (615) 386-0528

MOODY-NOLAN

DRAWING TITLE:
EROSION CONTROL PLANS

PROGRESS DRAWING NOT FOR CONSTRUCTION	11/14/2018
	DRAWN BY: LPK CHECKED BY: JDC
	18121
	C3.1
100% CD Checkset	



SEE SHEETS C5.1 & C6.0

SEE SHEETS C5.2 & C6.1

SITE DATA

COUNCIL DISTRICT: 19
 COUNCIL MEMBER: FREDDIE O'CONNELL
 PARCEL ID: 123 & 124
 SITE ADDRESS: 11TH AVE. N.
 NASHVILLE, TENNESSEE, 37246
 7.98 AC. (347,609 FT²)
 EXISTING ZONING: DTC
 PROPOSED USE: ELECTRICAL SUBSTATION

PROPOSED MAX. BUILDING HEIGHT: 1 STORIES

IMPERVIOUS SURFACE AREA
 BUILDINGS: 0.71 AC. (31,000 FT²)
 DRIVES/SIDEWALKS: 0.34 AC. (14,905 FT²)
 TOTAL PROPOSED IMPERVIOUS AREA: 1.05 AC. (45,905 FT²)

OWNER: METRO GOV'T NE POWER BOARD
 ADDRESS: 1214 CHURCH ST.
 NASHVILLE, TENNESSEE, 37246
 (615) 747 3795
 CONTACT NAME: DANIEL JOHNSON
 CONTACT E-MAIL ADDRESS: djohnson@nespower.com

PROJECT REPRESENTATIVE: S&ME
 ADDRESS: 1935 21ST AVE. S.
 NASHVILLE, TENNESSEE, 37212
 (615) 383-4144
 CONTACT NAME: JEFFERY D. CONAR
 CONTACT E-MAIL ADDRESS: jconar@smeinc.com

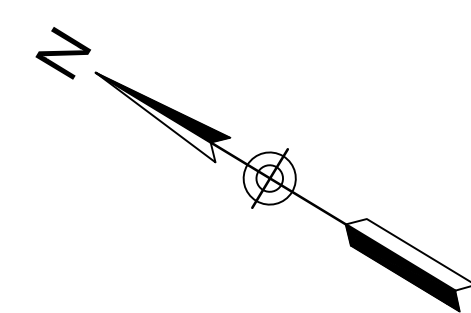
FEMA PANEL:
 THE SUBJECT PROPERTY DOES NOT LIE WITHIN A SPECIAL FLOOD HAZARD ZONE
 ACCORDING TO COMMUNITY PANEL NO. 47057C024TH, 04-05-2017, COMMUNITY NAME:
 METROPOLITAN GOVERNMENT OF NASHVILLE.

NOTES

- SEE SHEET C2.0 FOR GENERAL NOTES.

PROPOSED FEATURES LEGEND

BUILDING	
CONCRETE PAVEMENT	
COLORED CONCRETE PAVEMENT	
CONCRETE SIDEWALK	
COLORED CONCRETE SIDEWALK	
HEAVY DUTY PAVEMENT	
LIGHT DUTY PAVEMENT	
TACTILE WARNING	
PAINTED STRIPE	
CONCRETE CURB	
CENTERLINE	



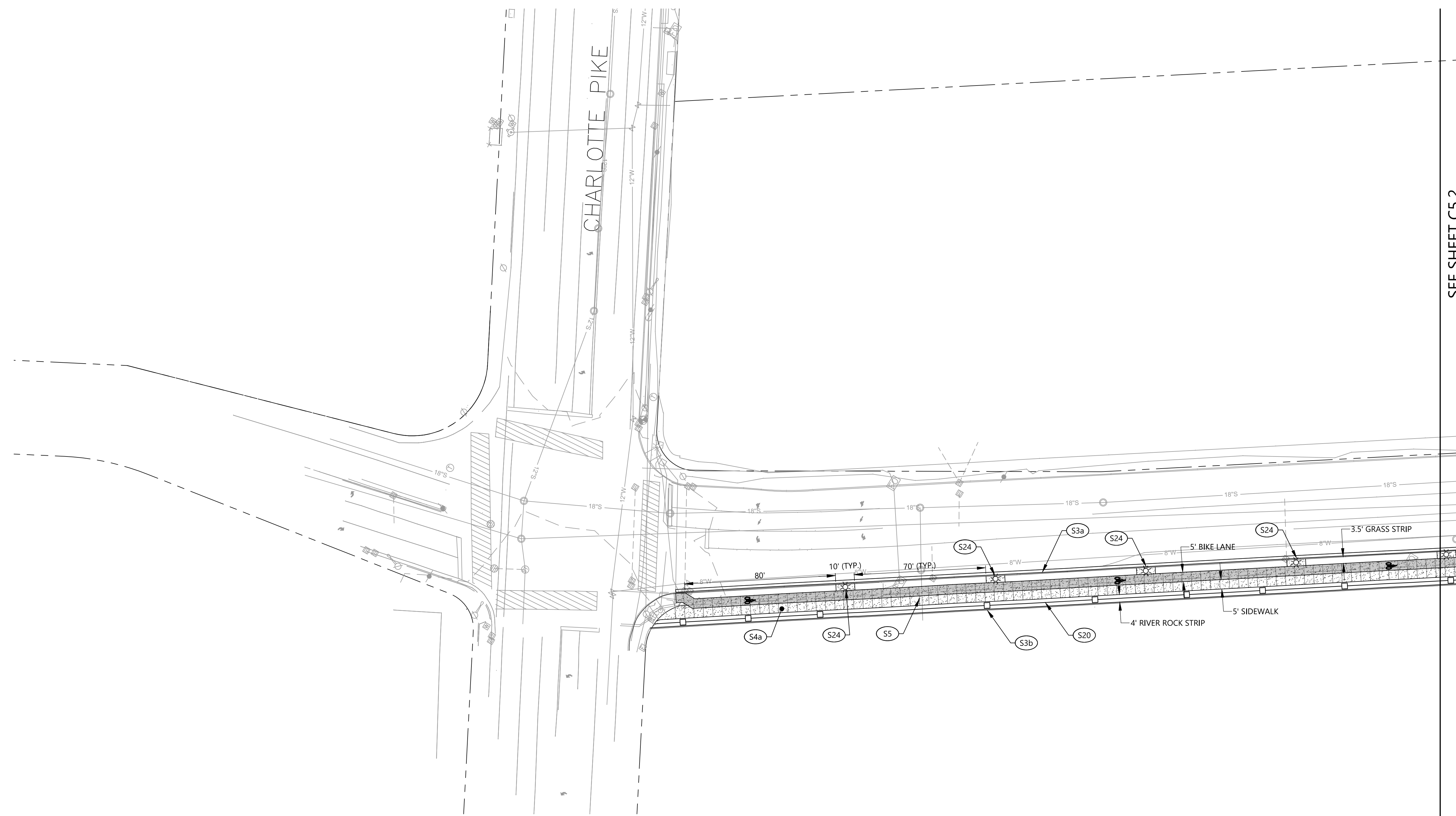
#	DATE	CHANGE DESCRIPTION

NES Nashville Electric Service
 11th Avenue Substation
 11th Avenue N & Hynes Street, Nashville, TN 37203

MOODY-NOLAN
 1625 BROADWAY
 4TH FLOOR
 NASHVILLE, TN 37203
 PHONE: (615) 386-9690
 FAX: (615) 386-0528

OVERALL SITE LAYOUT PLAN

PROGRESS DRAWING NOT FOR CONSTRUCTION	11/14/2018
	DRAWN BY: LPK CHECKED BY: JDC
	18121
	C5.0
100% CD Checkset	

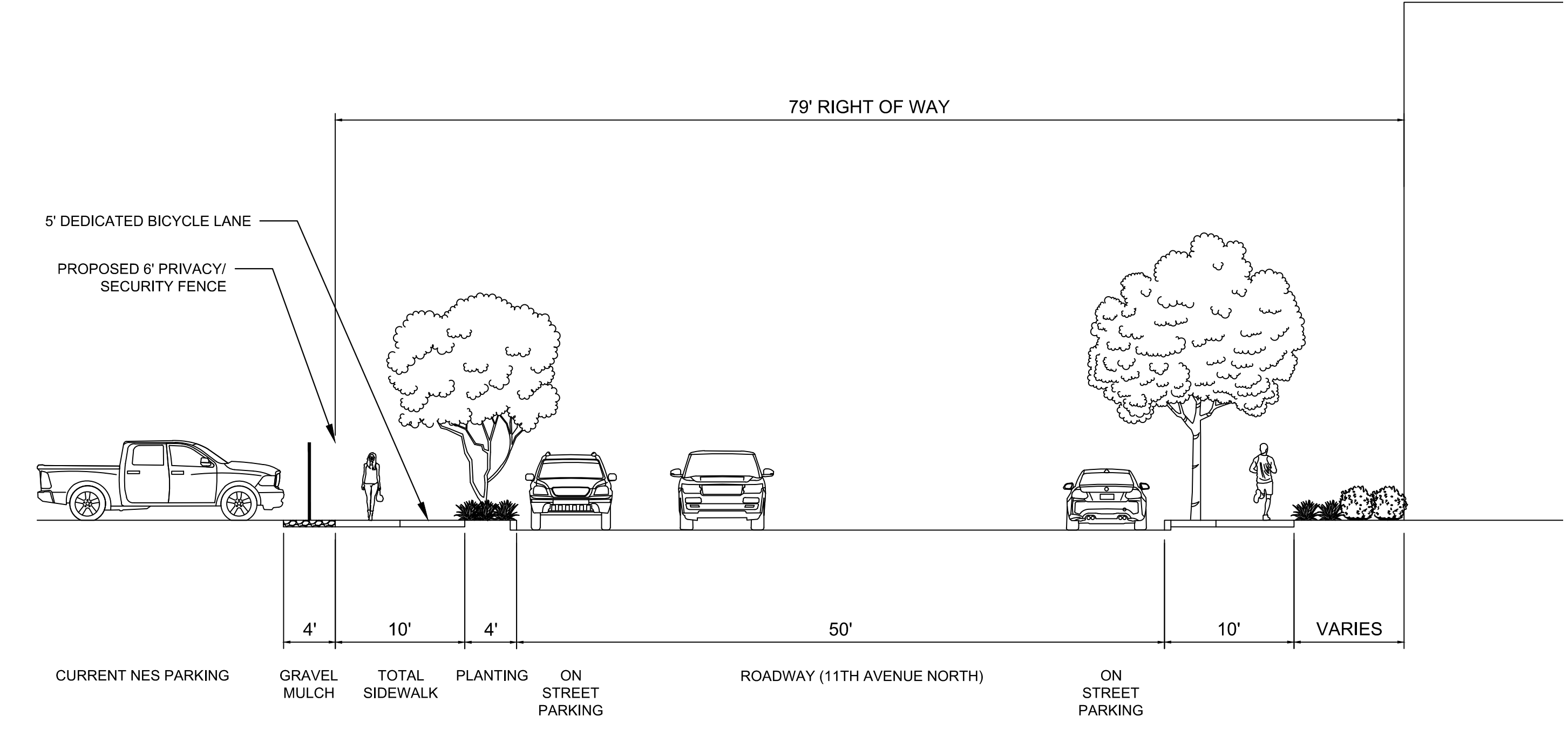
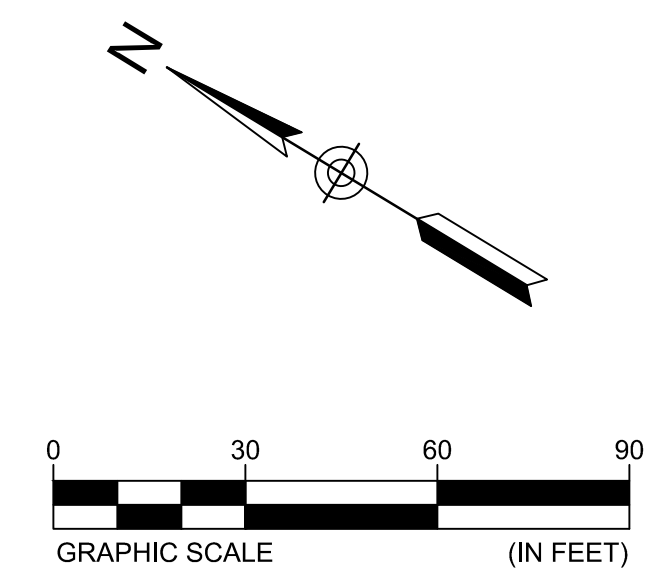


SEE SHEET C5.2

SITE LAYOUT KEYNOTES		
CODE	DESCRIPTION	DET #/SHT #
S1b	ASPHALT PAVEMENT - HEAVY DUTY	3 / C7.0
S2	CONCRETE PAVEMENT	4 / C7.0
S3a	CONCRETE CURB & GUTTER	1 / C7.0
S3b	CONCRETE RIBBON CURB	2 / C7.0
S4a	CONCRETE SIDEWALK	5 / C7.0
S5	SIDEWALK JOINTS	2 / C7.1
S8a	ACCESSIBLE RAMP	7 / C7.0
S9	TACTILE WARNING SURFACE	
S10	CONCRETE WHEELSTOP	4 / C7.1
S17	DRIVEWAY RAMP	6 / C7.0
S19	PEDESTRIAN CROSSWALK (MATCH EXISTING GULCH)	
S20	SECURITY FENCE	11 / C7.0
S24	STREET LIGHT (SEE ELECTRICAL)	

PROPOSED FEATURES LEGEND	
BUILDING	[Pattern]
CONCRETE PAVEMENT	[Pattern]
COLORED CONCRETE PAVEMENT	[Pattern]
CONCRETE SIDEWALK	[Pattern]
COLORED CONCRETE SIDEWALK	[Pattern]
HEAVY DUTY PAVEMENT	[Pattern]
TACTILE WARNING	[Pattern]
PAINTED STRIPE	[Pattern]
CONCRETE CURB	[Pattern]
CENTERLINE	[Pattern]

NOTES
 1. SEE SHEET C2.0 FOR GENERAL NOTES.



STREETSCAPE SECTION
 N.T.S.

#	DATE	CHANGE DESCRIPTION

NES Nashville Electric Service
 11th Avenue Substation
 11th Avenue N & Hynes Street, Nashville, TN 37203

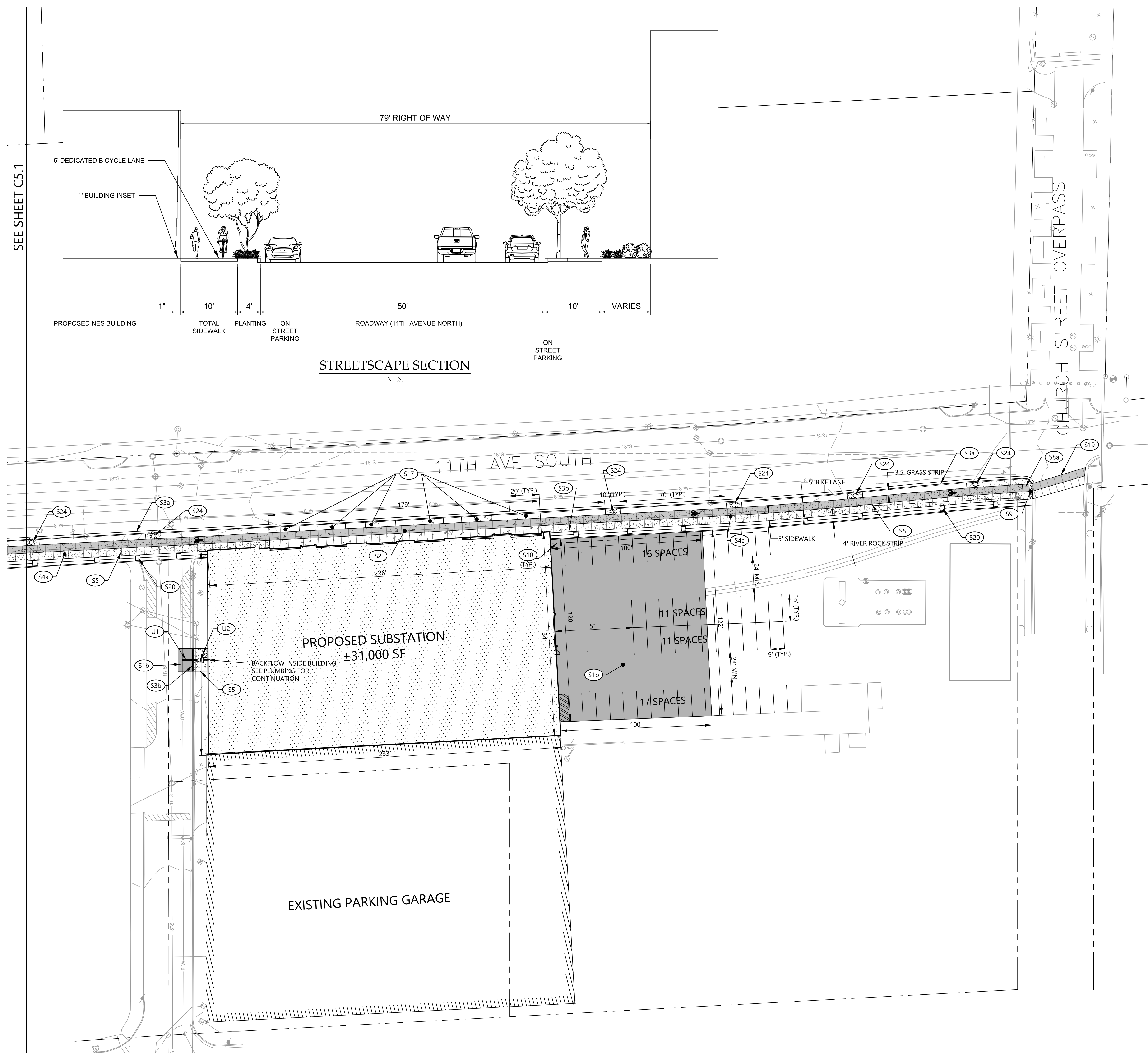
1625 BROADWAY
 4TH FLOOR
 NASHVILLE, TN 37203
 PHONE: (615) 386-9690
 FAX: (615) 386-0528

MOODY-NOLAN

SITE LAYOUT PLAN

11/14/2018
 DRAWN BY: LPK CHECKED BY: JDC
 18121
C5.1
 100% CD Checkset

PROGRESS DRAWING NOT FOR CONSTRUCTION



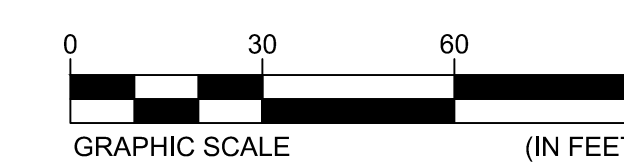
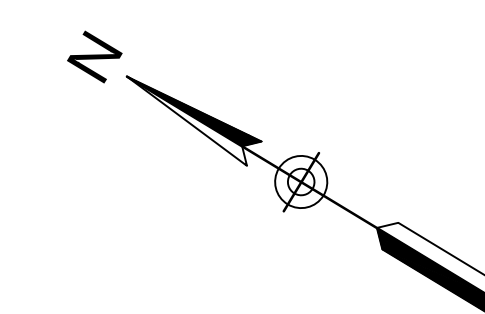
SITE LAYOUT KEYNOTES		
CODE	DESCRIPTION	DET #/SHT #
S1b	ASPHALT PAVEMENT - HEAVY DUTY	3 / C7.0
S2	CONCRETE PAVEMENT	4 / C7.0
S3a	CONCRETE CURB & GUTTER	1 / C7.0
S3b	CONCRETE RIBBON CURB	2 / C7.0
S4a	CONCRETE SIDEWALK	5 / C7.0
S5	SIDEWALK JOINTS	2 / C7.1
S6a	ACCESSIBLE RAMP	7 / C7.0
S9	TACTILE WARNING SURFACE	
S10	CONCRETE WHEELSTOP	4 / C7.1
S17	DRIVEWAY RAMP	6 / C7.0
S19	PEDESTRIAN CROSSWALK (MATCH EXISTING GULCH)	
S20	SECURITY FENCE	11 / C7.0
S24	STREET LIGHT (SEE ELECTRICAL)	

UTILITY KEYNOTES		
CODE	DESCRIPTION	DET #/SHT #
U1	1" PVC IRRIGATION SERVICE	
U2	1" IRRIGATION METER	9 / C7.0

PROPOSED FEATURES LEGEND	
BUILDING	[Pattern]
CONCRETE PAVEMENT	[Pattern]
COLORED CONCRETE PAVEMENT	[Pattern]
CONCRETE SIDEWALK	[Pattern]
COLORED CONCRETE SIDEWALK	[Pattern]
HEAVY DUTY PAVEMENT	[Pattern]
TACTILE WARNING	[Pattern]
PAINTED STRIPE	[Pattern]
CONCRETE CURB	[Pattern]
CENTERLINE	[Pattern]

NOTES

- 1. SEE SHEET C2.0 FOR GENERAL NOTES.



#	DATE	CHANGE DESCRIPTION

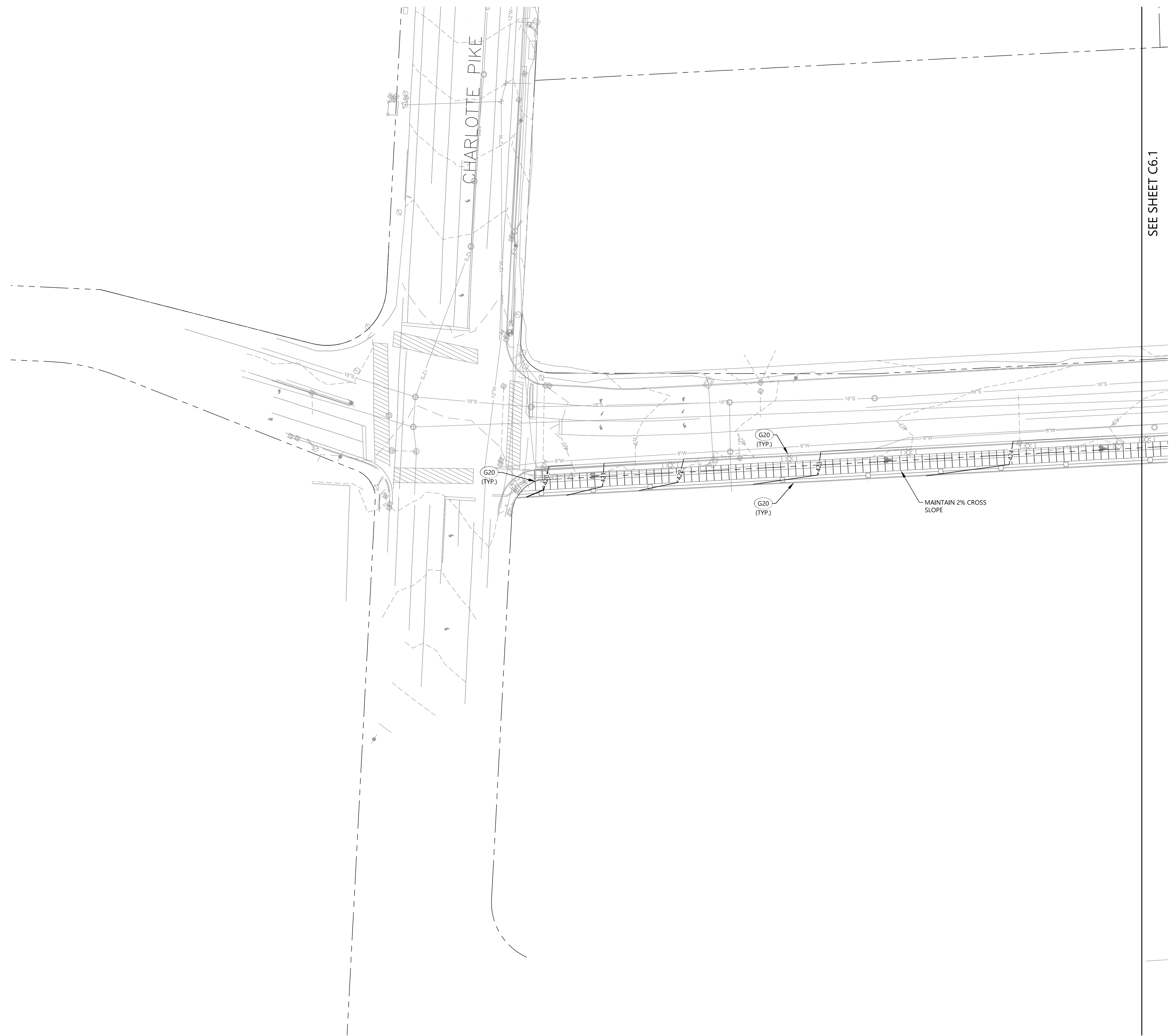
11th Avenue Substation
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1625 BROADWAY
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 PHONE: (615) 386-9690
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MOODY-NOLAN

SITE LAYOUT & UTILITY PLAN

PROGRESS DRAWING NOT FOR CONSTRUCTION	11/14/2018
	DRAWN BY: LPK CHECKED BY: JDC
	18121
	C5.2
	100% CD Checkset



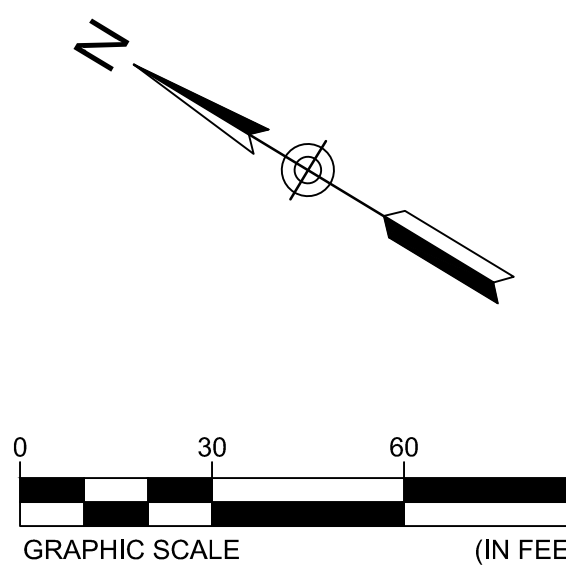
GRADING & DRAINAGE KEYNOTES		
CODE	DESCRIPTION	DET #/SHT #
G19	CURB INLET	8/C7.0
G3	PRE-CAST MANHOLE	1/C7.1
G10	WATER QUALITY STRUCTURE	5/C7.1
G13	TRENCH DRAIN	1/C7.0
G16	WEIR STRUCTURE	3/C7.1
G20	MATCH EXISTING GRADE	

PROPOSED FEATURES LEGEND

- STORM PIPE & INLET S T
- SPOT ELEVATION + 91.8
- PROPOSED CONTOUR 90
- DRAINAGE STRUCTURE C3

NOTES

1. SEE SHEET C2.0 FOR DEMOLITION NOTES.



#	DATE	CHANGE DESCRIPTION

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 4TH FLOOR
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PHONE: (615) 386-9690
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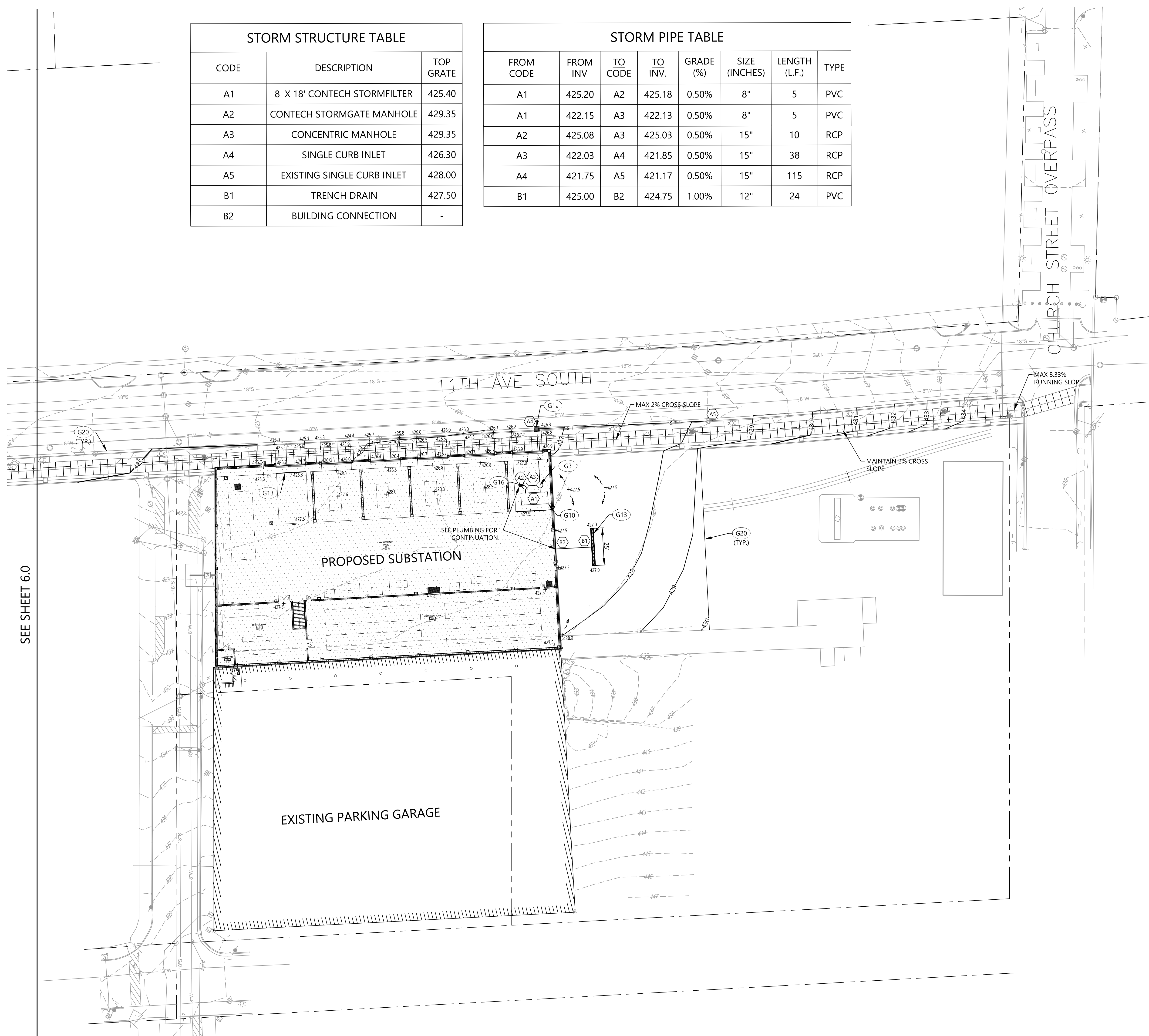
GRADING & DRAINAGE PLAN

PROGRESS DRAWING NOT FOR CONSTRUCTION	11/14/2018
	DRAWN BY: LPK CHECKED BY: JDC
	18121
	C6.0
100% CD Checkset	

STORM STRUCTURE TABLE		
CODE	DESCRIPTION	TOP GRATE
A1	8' X 18' CONTECH STORMFILTER	425.40
A2	CONTECH STORMGATE MANHOLE	429.35
A3	CONCENTRIC MANHOLE	429.35
A4	SINGLE CURB INLET	426.30
A5	EXISTING SINGLE CURB INLET	428.00
B1	TRENCH DRAIN	427.50
B2	BUILDING CONNECTION	-

STORM PIPE TABLE							
FROM CODE	FROM INV.	TO CODE	TO INV.	GRADE (%)	SIZE (INCHES)	LENGTH (L.F.)	TYPE
A1	425.20	A2	425.18	0.50%	8"	5	PVC
A1	422.15	A3	422.13	0.50%	8"	5	PVC
A2	425.08	A3	425.03	0.50%	15"	10	RCP
A3	422.03	A4	421.85	0.50%	15"	38	RCP
A4	421.75	A5	421.17	0.50%	15"	115	RCP
B1	425.00	B2	424.75	1.00%	12"	24	PVC

GRADING & DRAINAGE KEYNOTES		
CODE	DESCRIPTION	DET #/SHT #
G1a	CURB INLET	8/C7.0
G3	PRE-CAST MANHOLE	1/C7.1
G10	WATER QUALITY STRUCTURE	5/C7.1
G13	TRENCH DRAIN	1/C7.0
G16	WEIR STRUCTURE	3/C7.1
G20	MATCH EXISTING GRADE	



SEE SHEET 6.0

PROPOSED FEATURES LEGEND

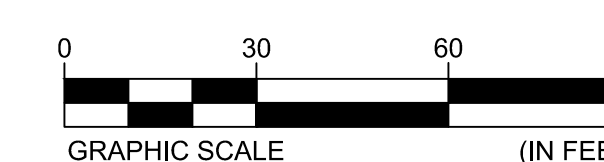
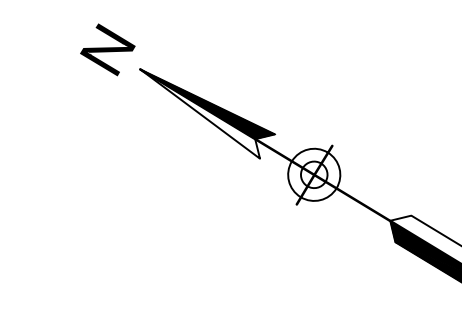
- STORM PIPE & INLET ——— S T ———
- SPOT ELEVATION + 91.8
- PROPOSED CONTOUR ——— 90 ———
- DRAINAGE STRUCTURE (G3)

NOTES

1. SEE SHEET C2.0 FOR DEMOLITION NOTES.



Know what's below.
Call before you dig.



#	DATE	CHANGE DESCRIPTION

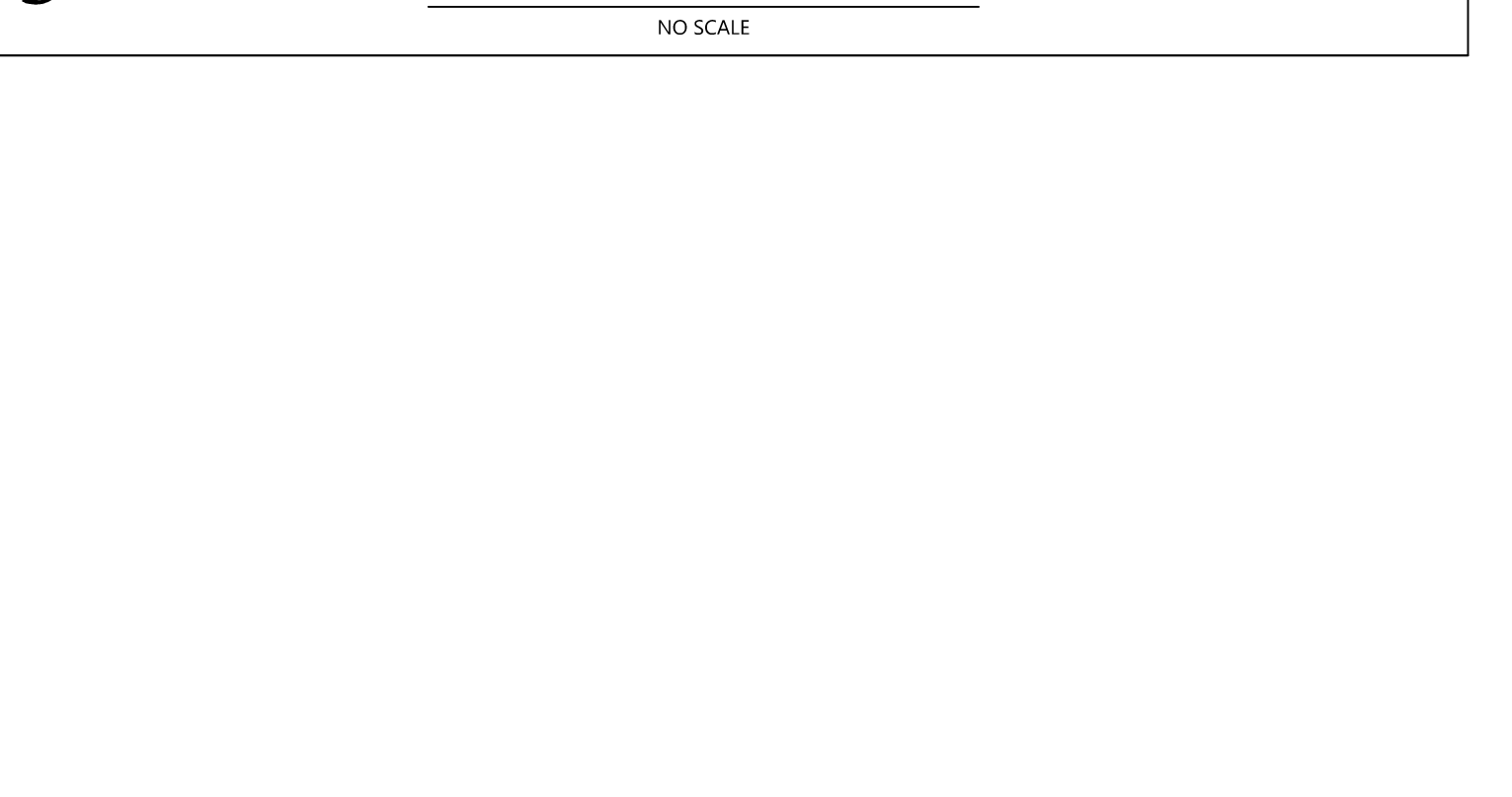
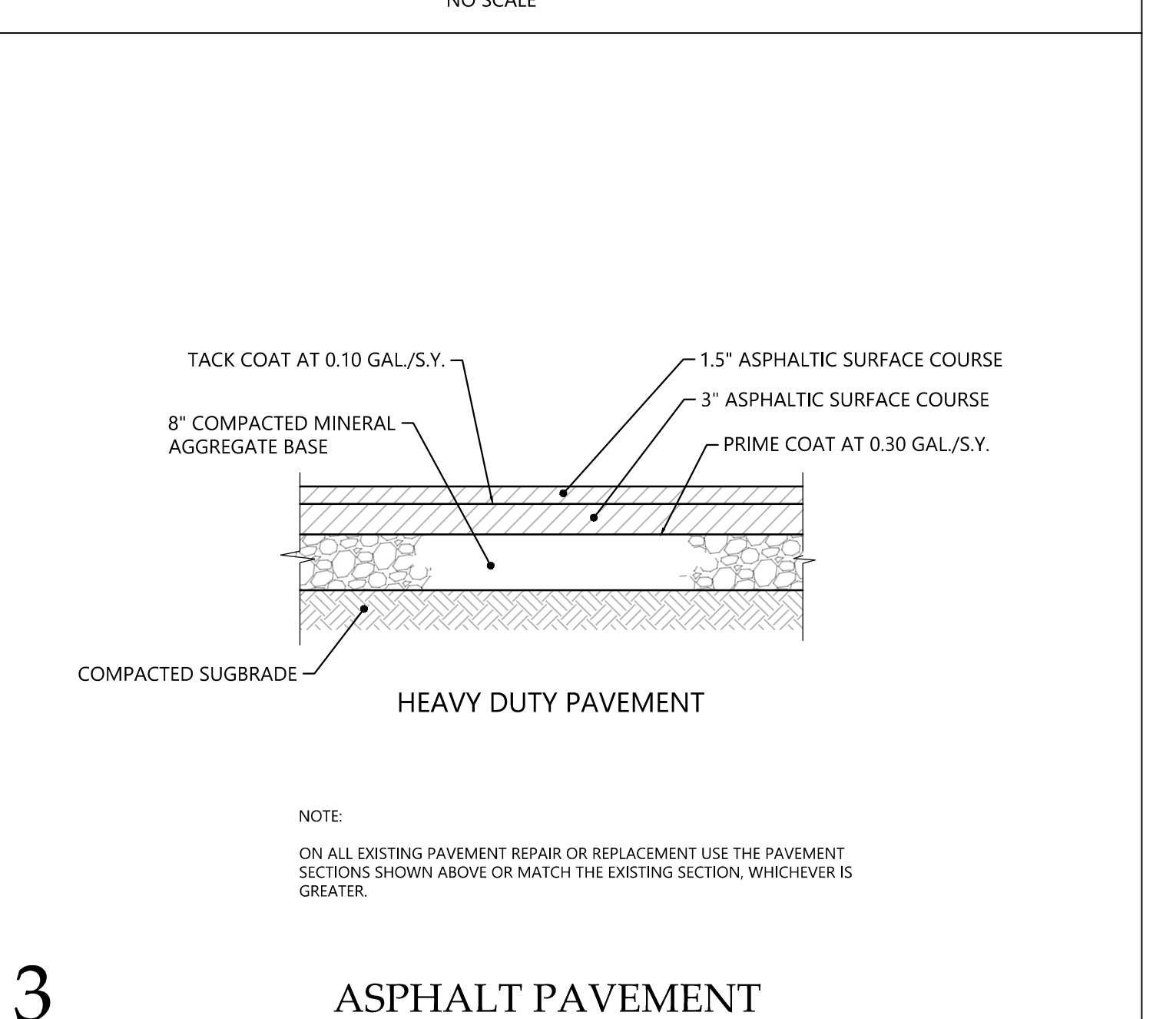
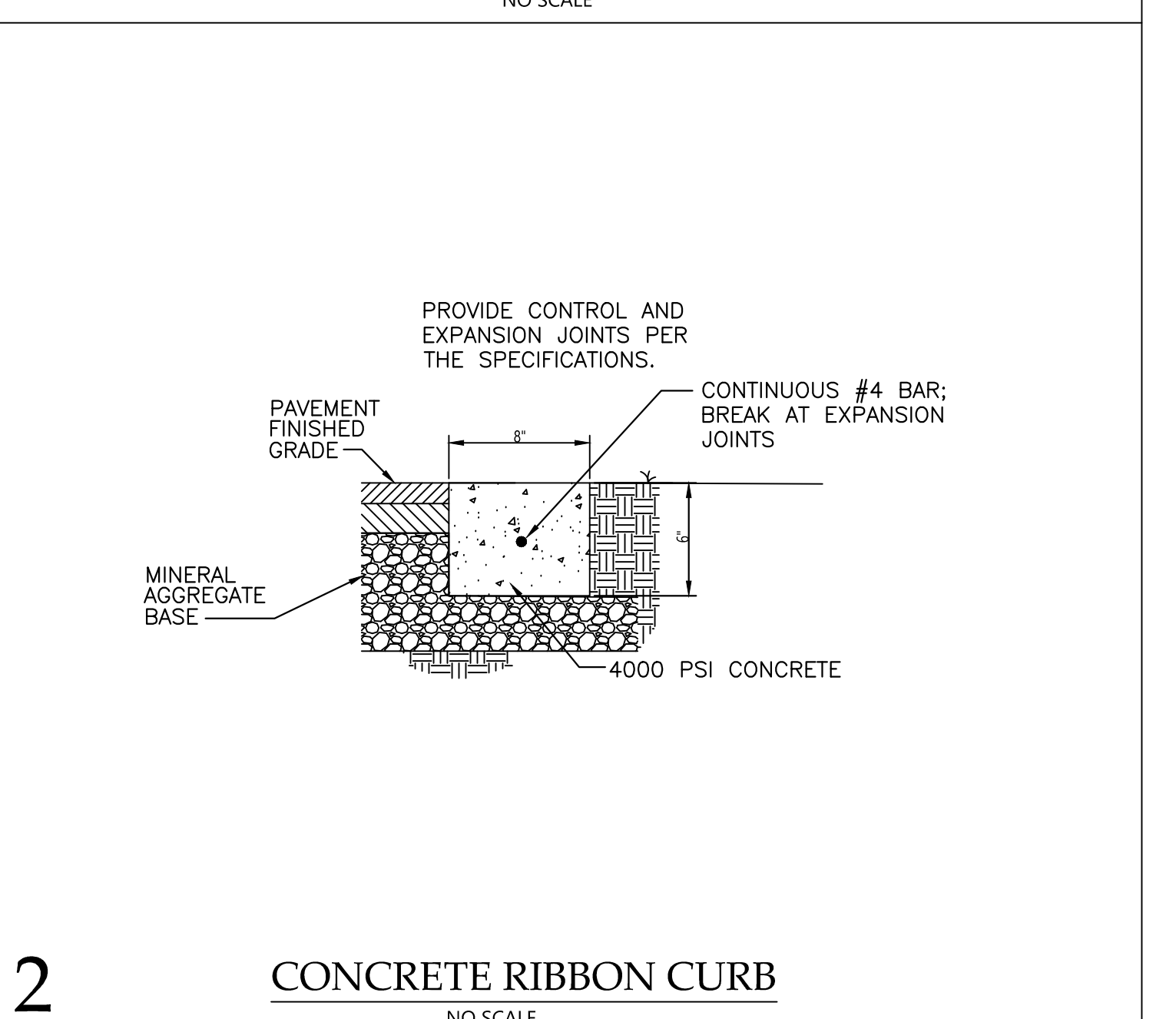
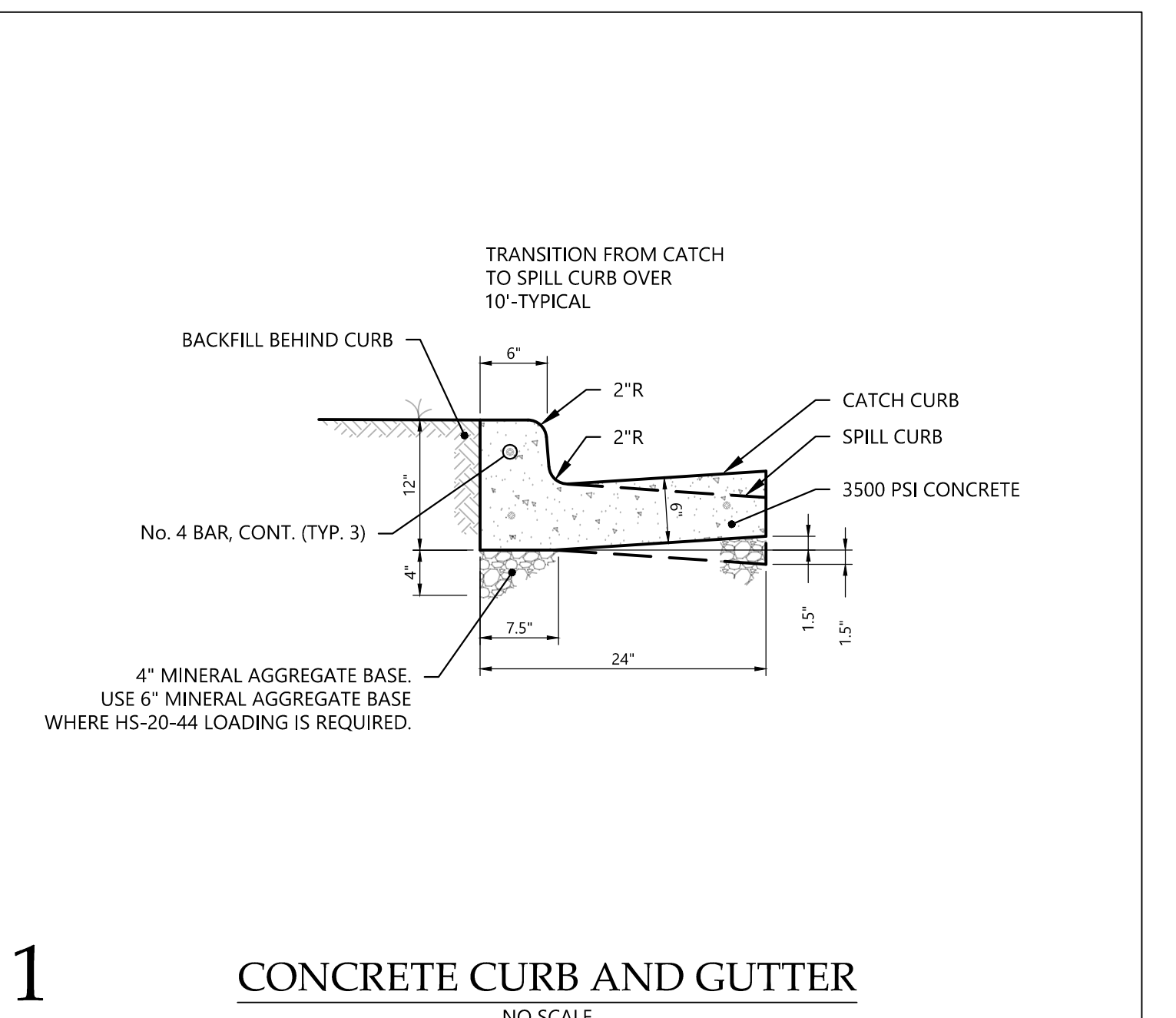
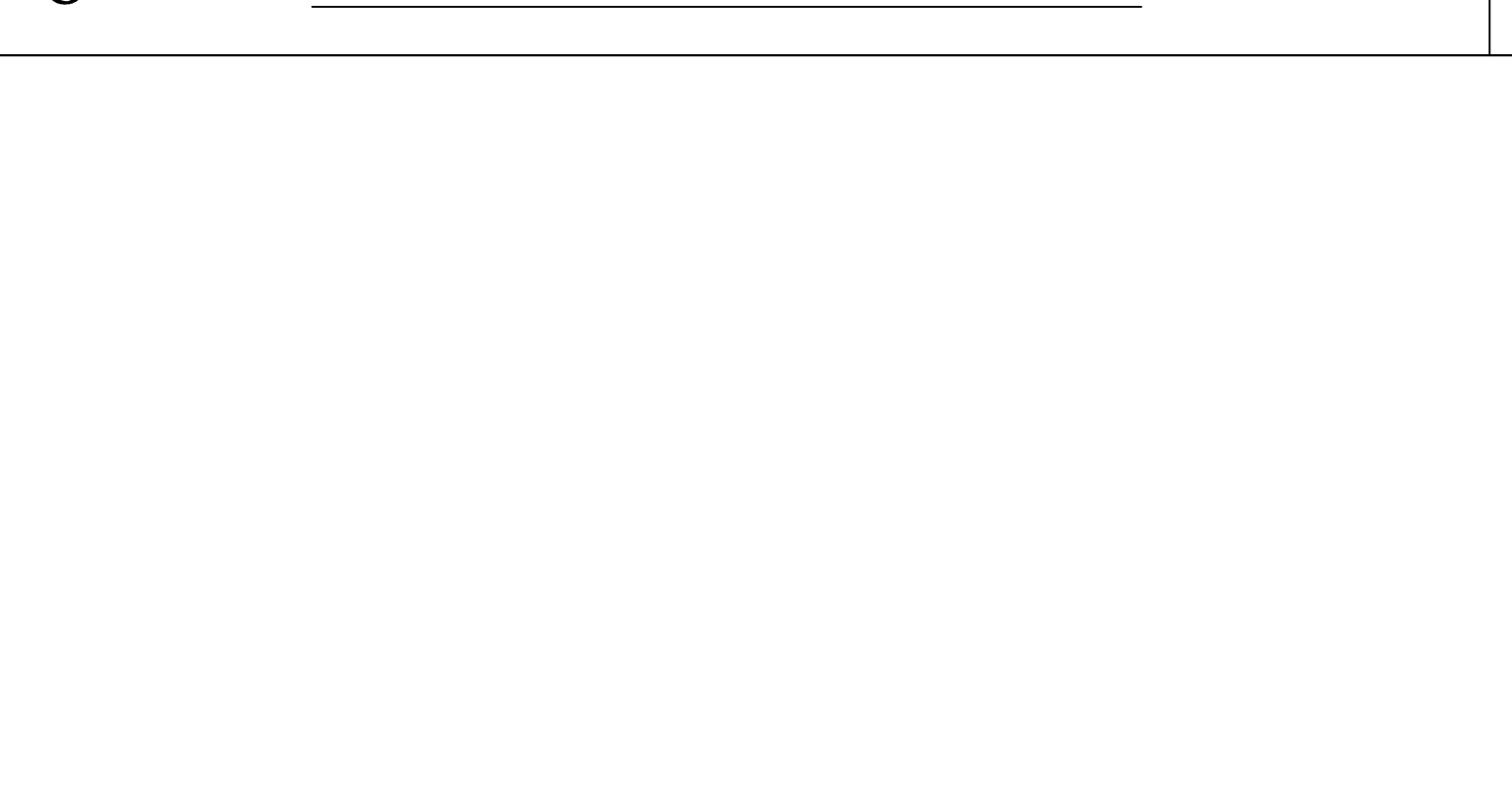
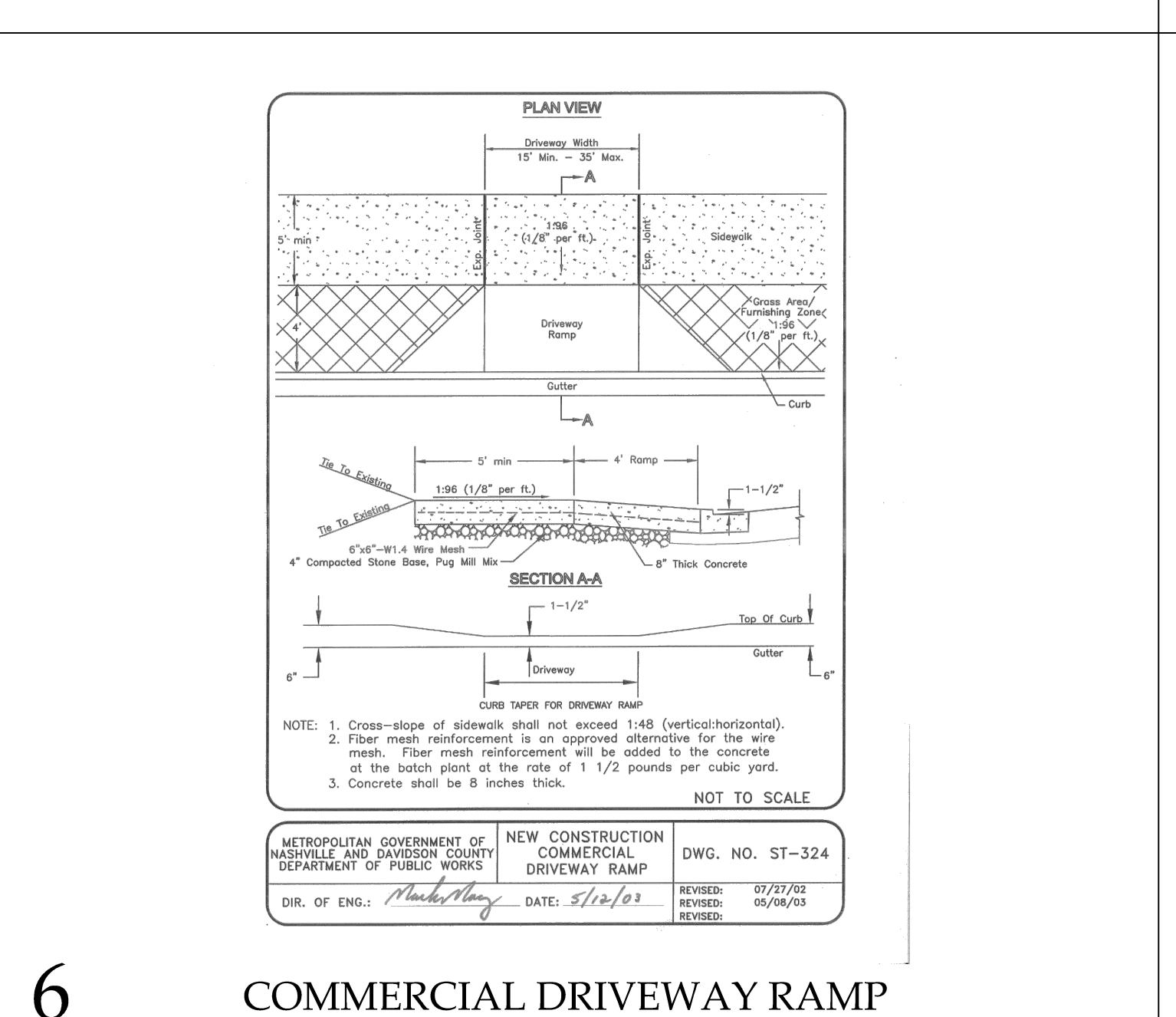
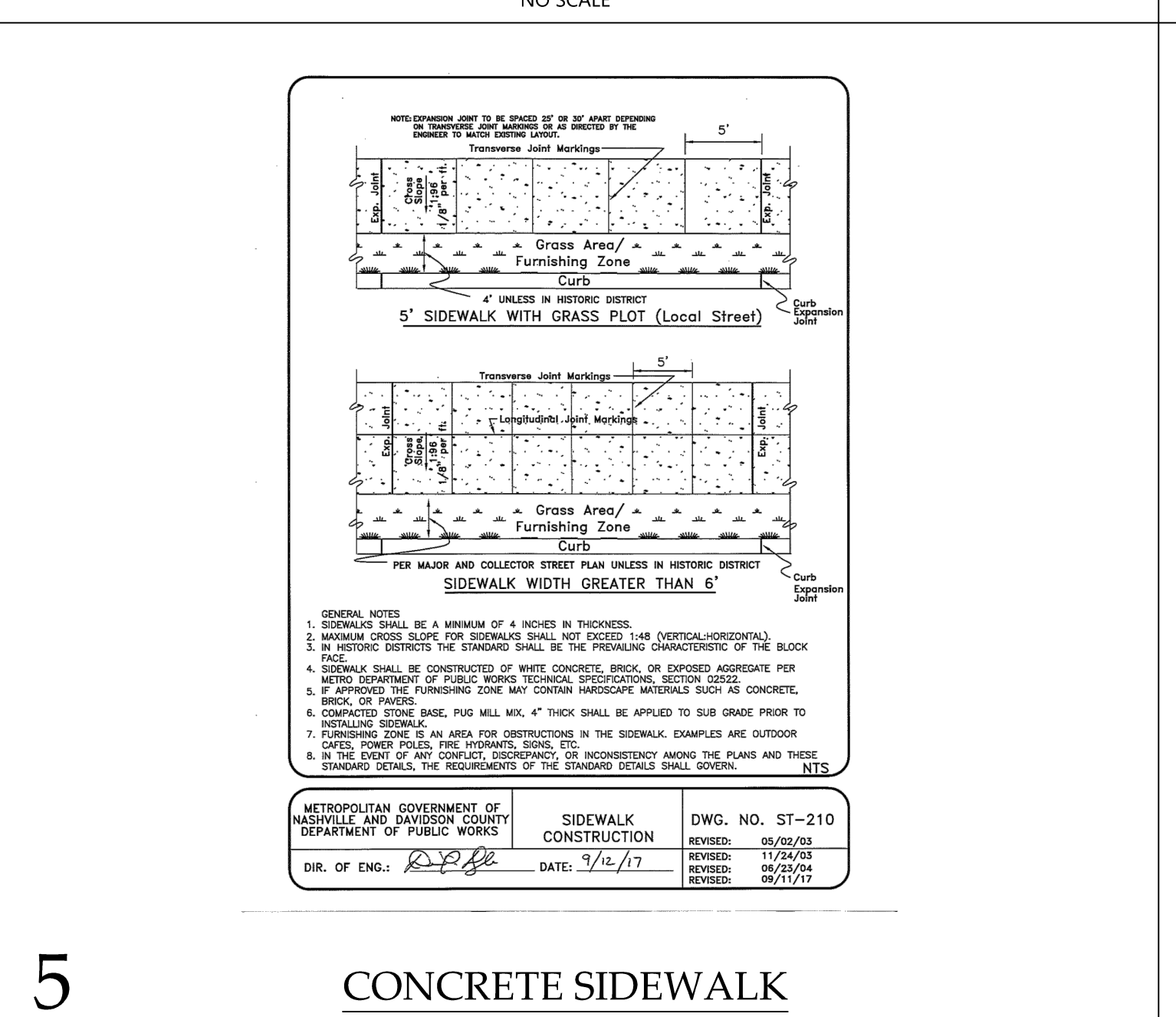
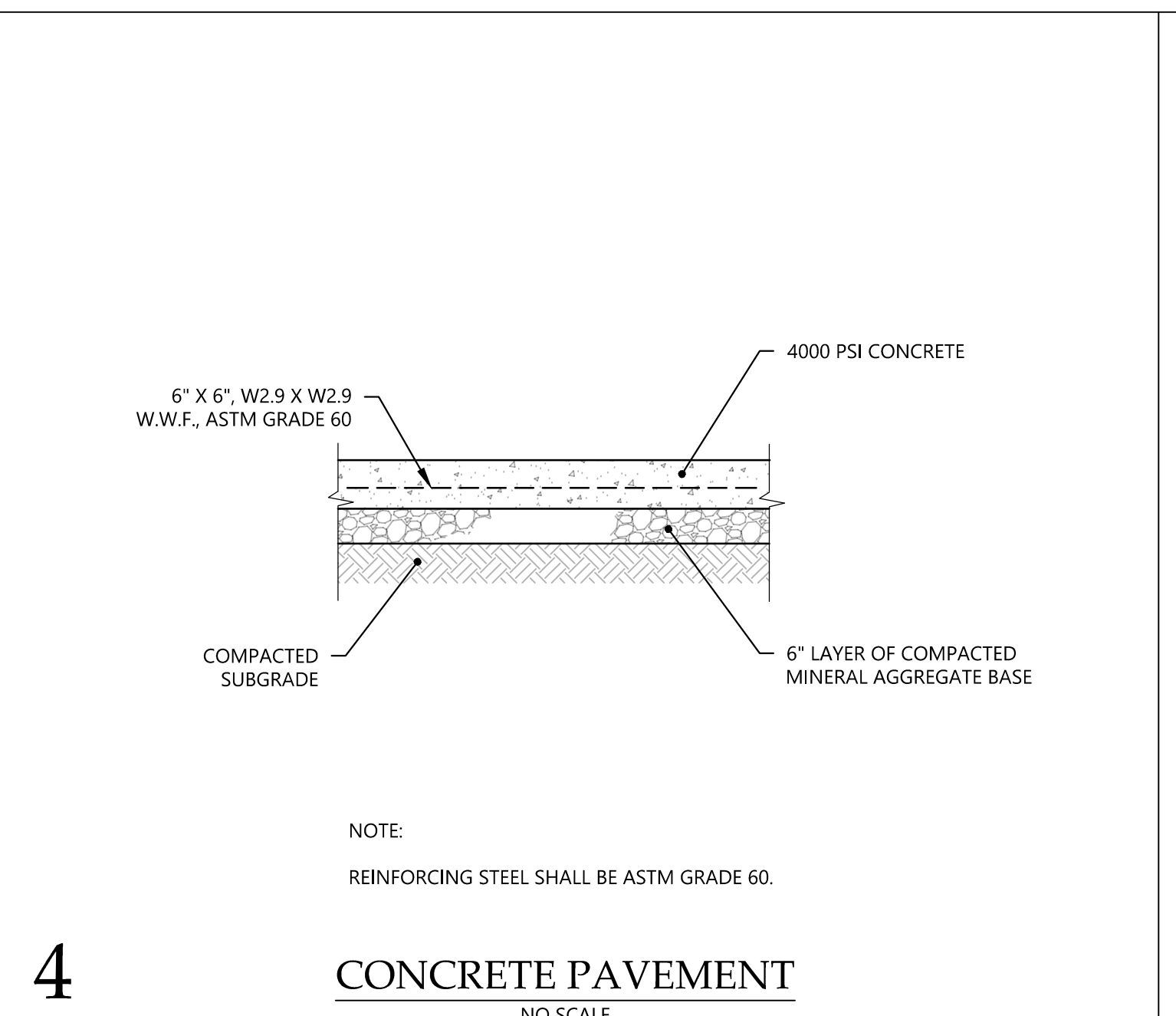
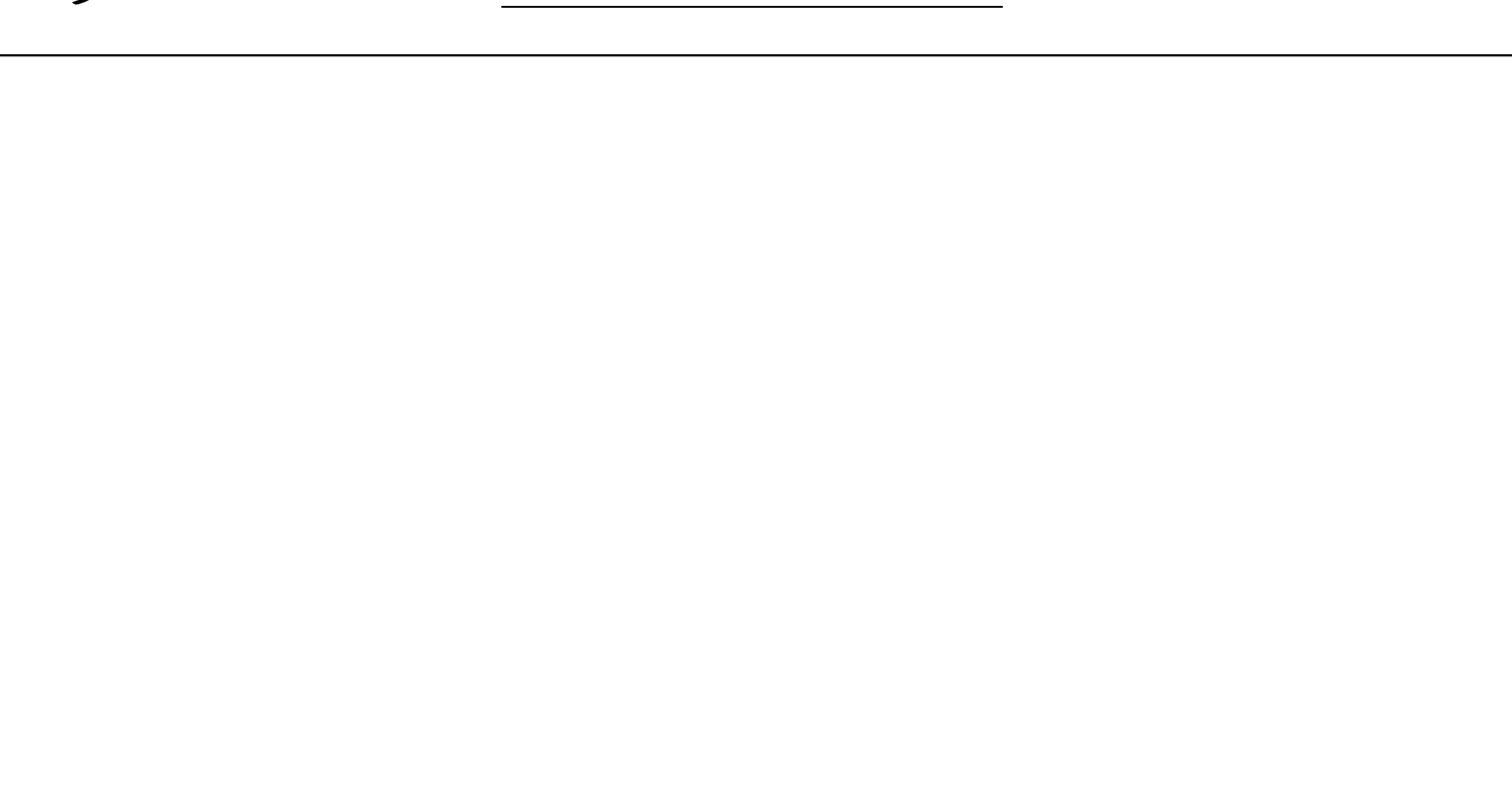
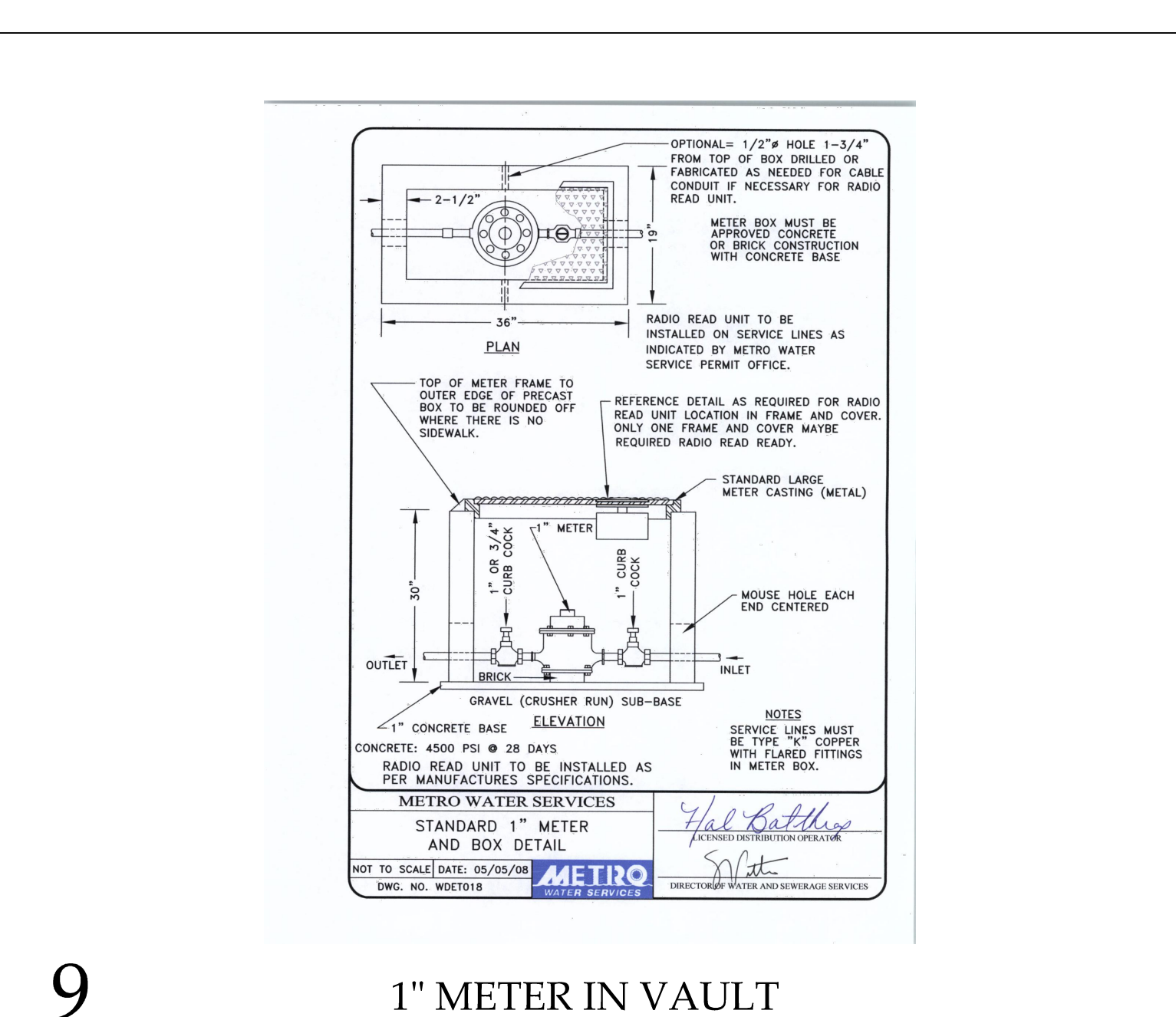
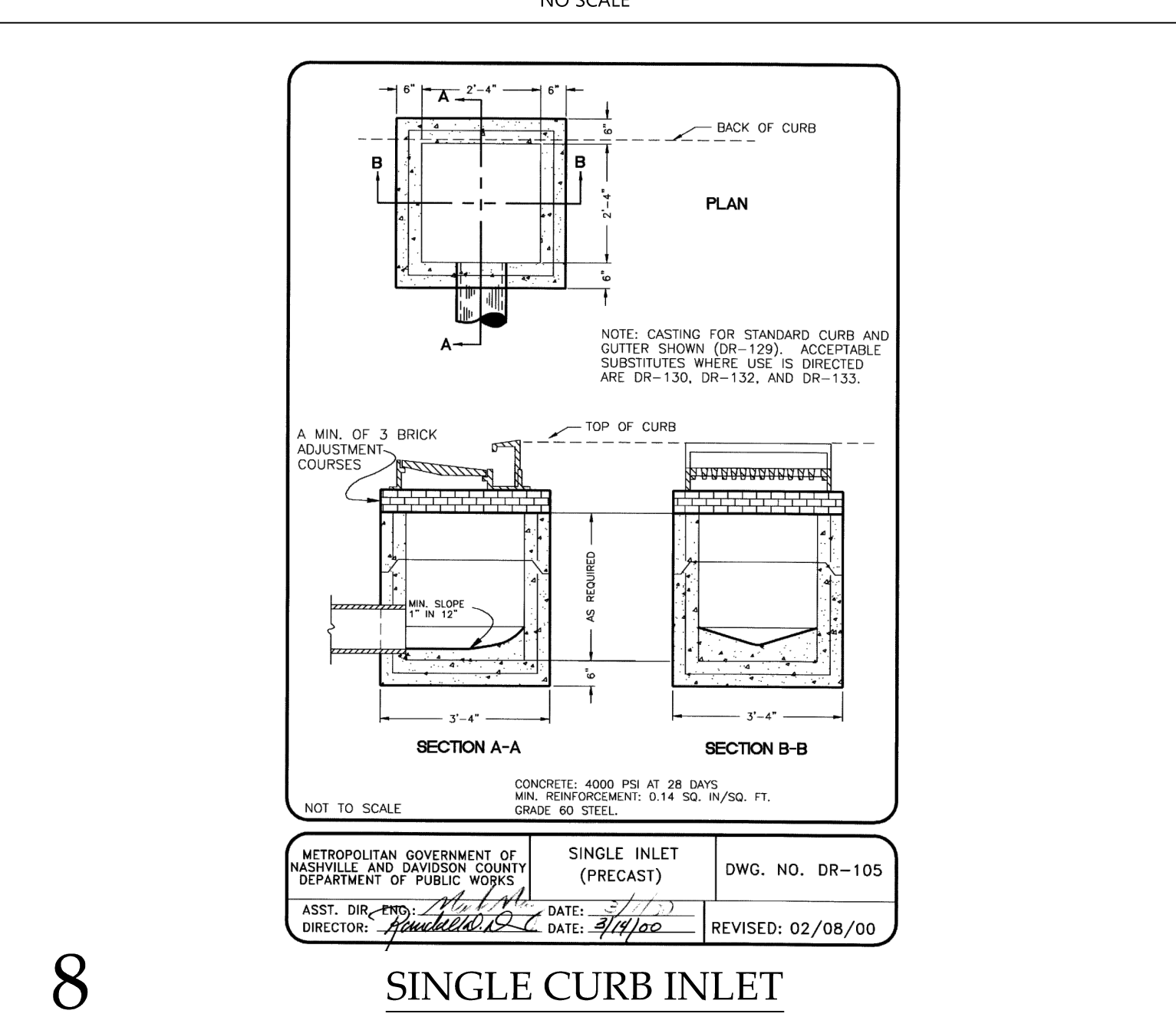
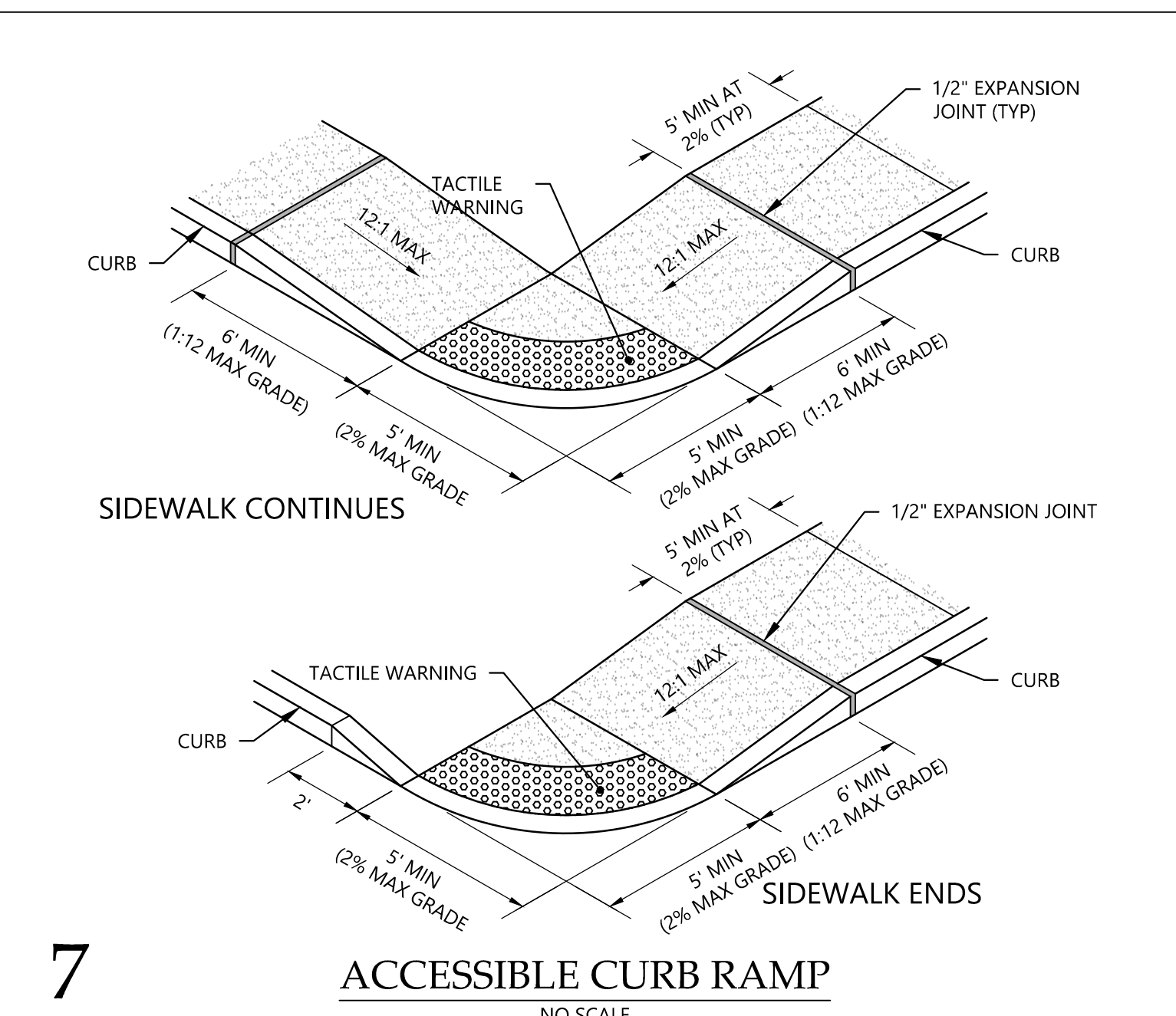
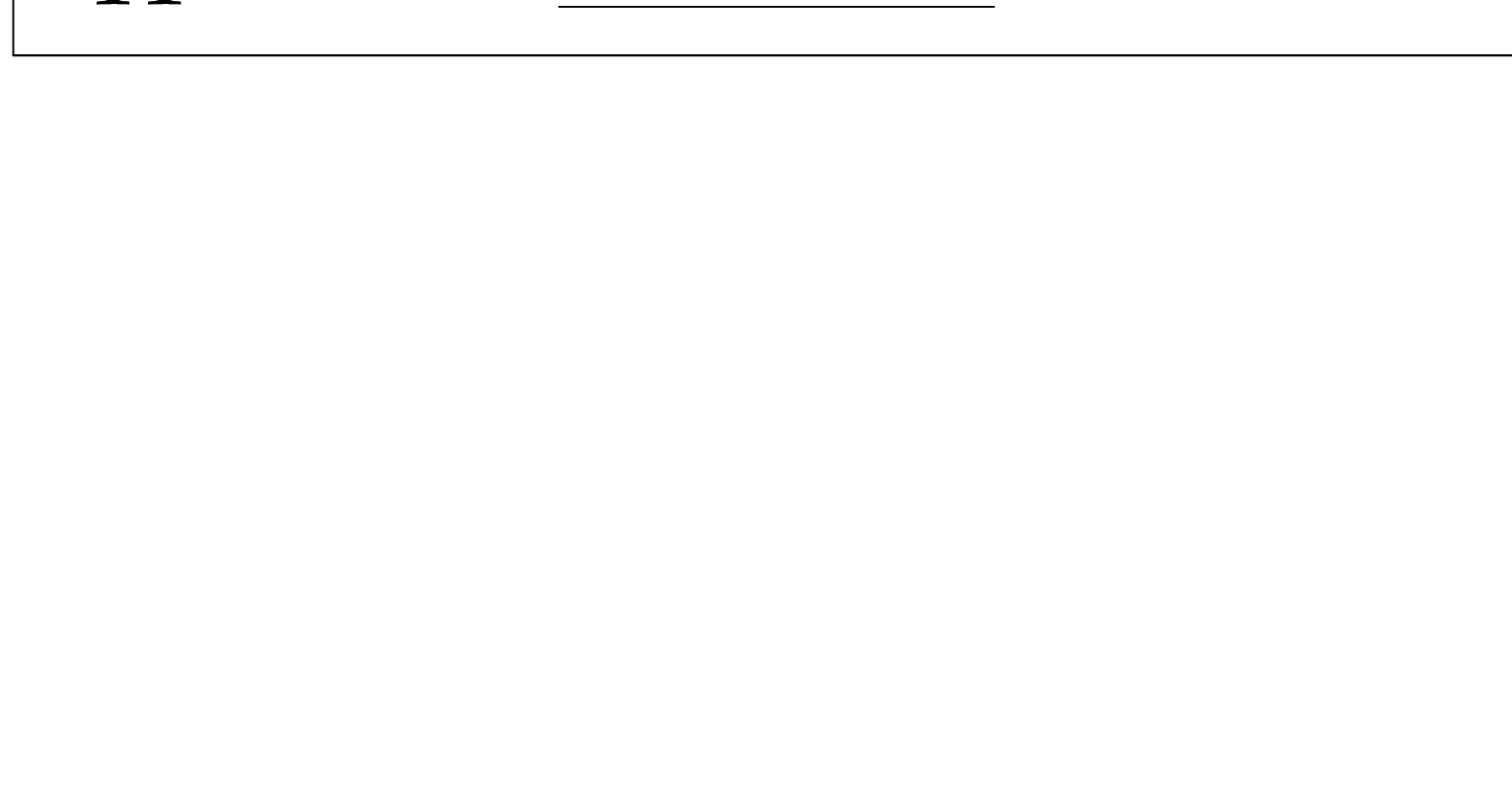
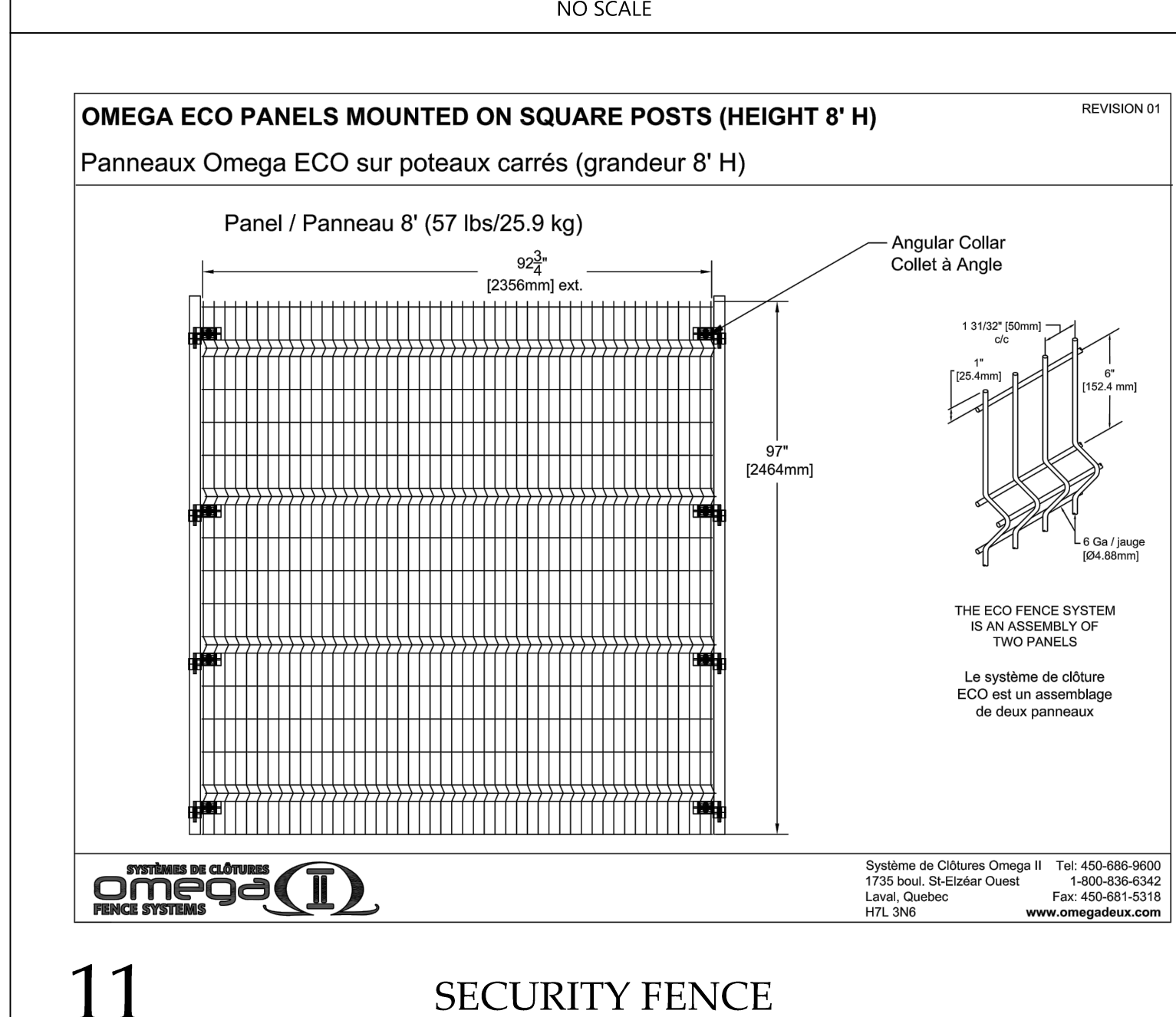
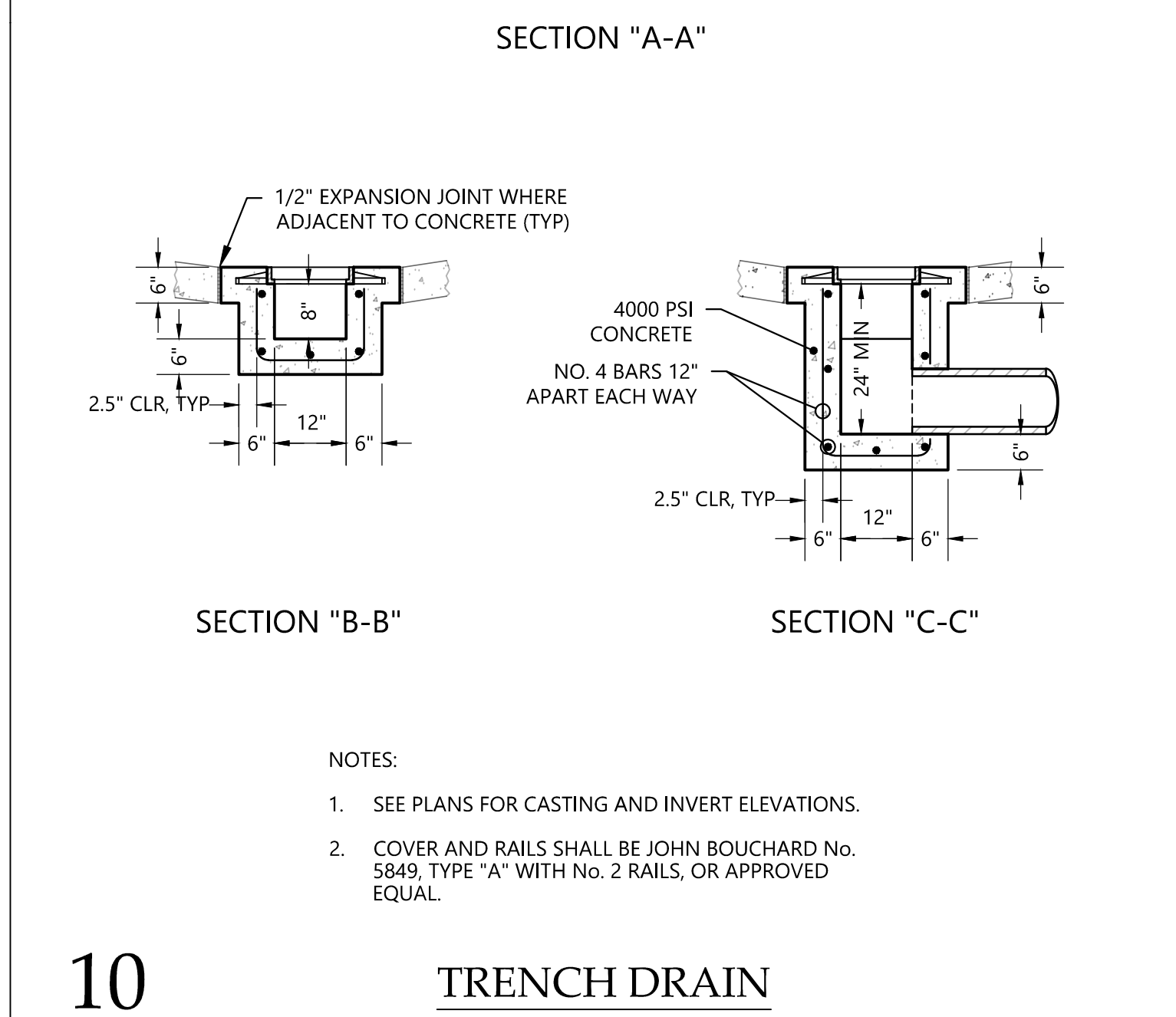
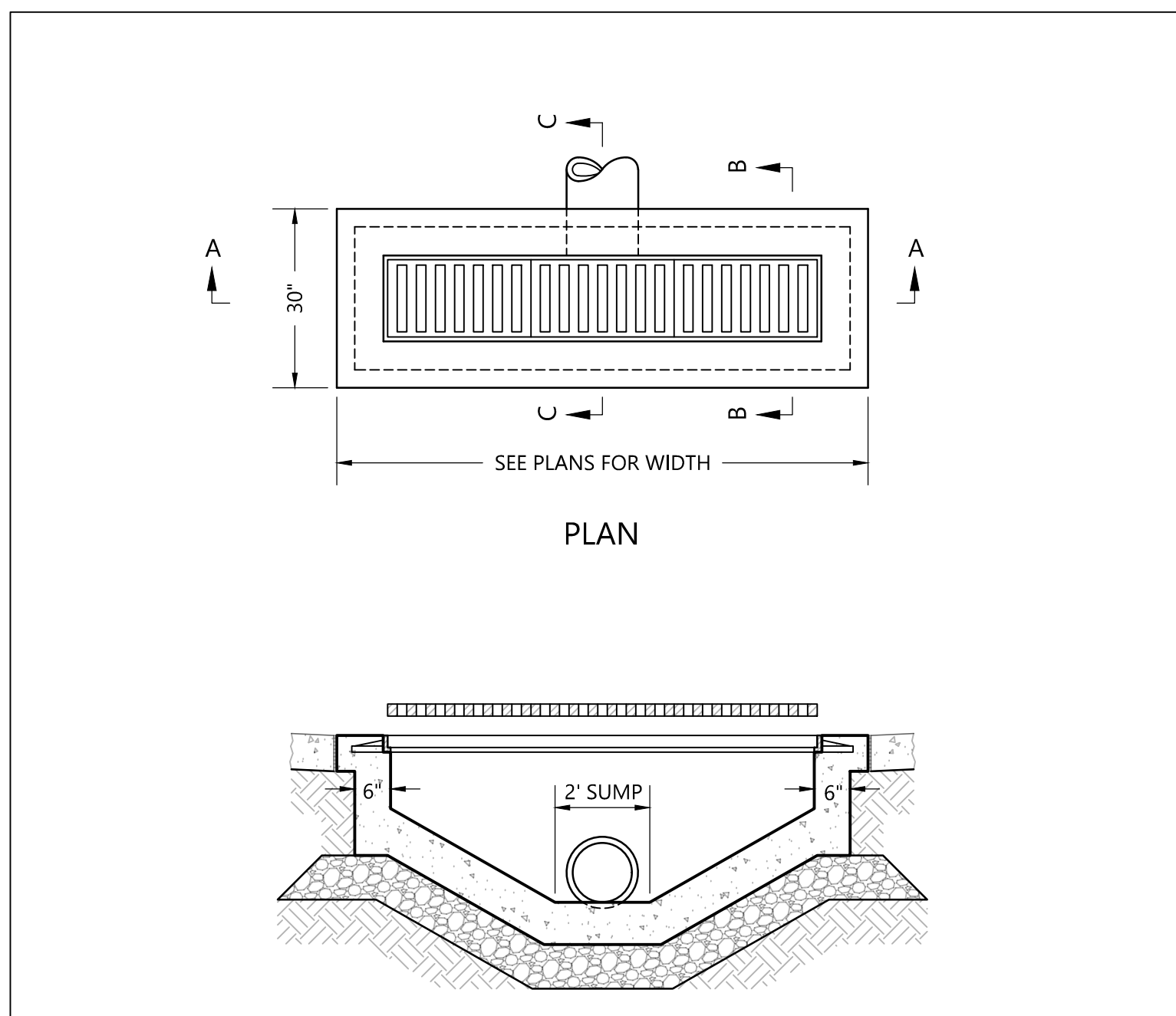
11th Avenue Substation
11th Avenue N & Hynes Street, Nashville, TN 37203
for
NES Nashville Electric Service

1625 BROADWAY
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NASHVILLE, TN 37203
PHONE: (615) 386-9690
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MOODY-NOLAN

GRADING & DRAINAGE PLAN

PROGRESS DRAWING NOT FOR CONSTRUCTION	11/14/2018
	DRAWN BY: LPK CHECKED BY: JDC
	18121
	C6.1
100% CD Checkset	



#	DATE	CHANGE DESCRIPTION

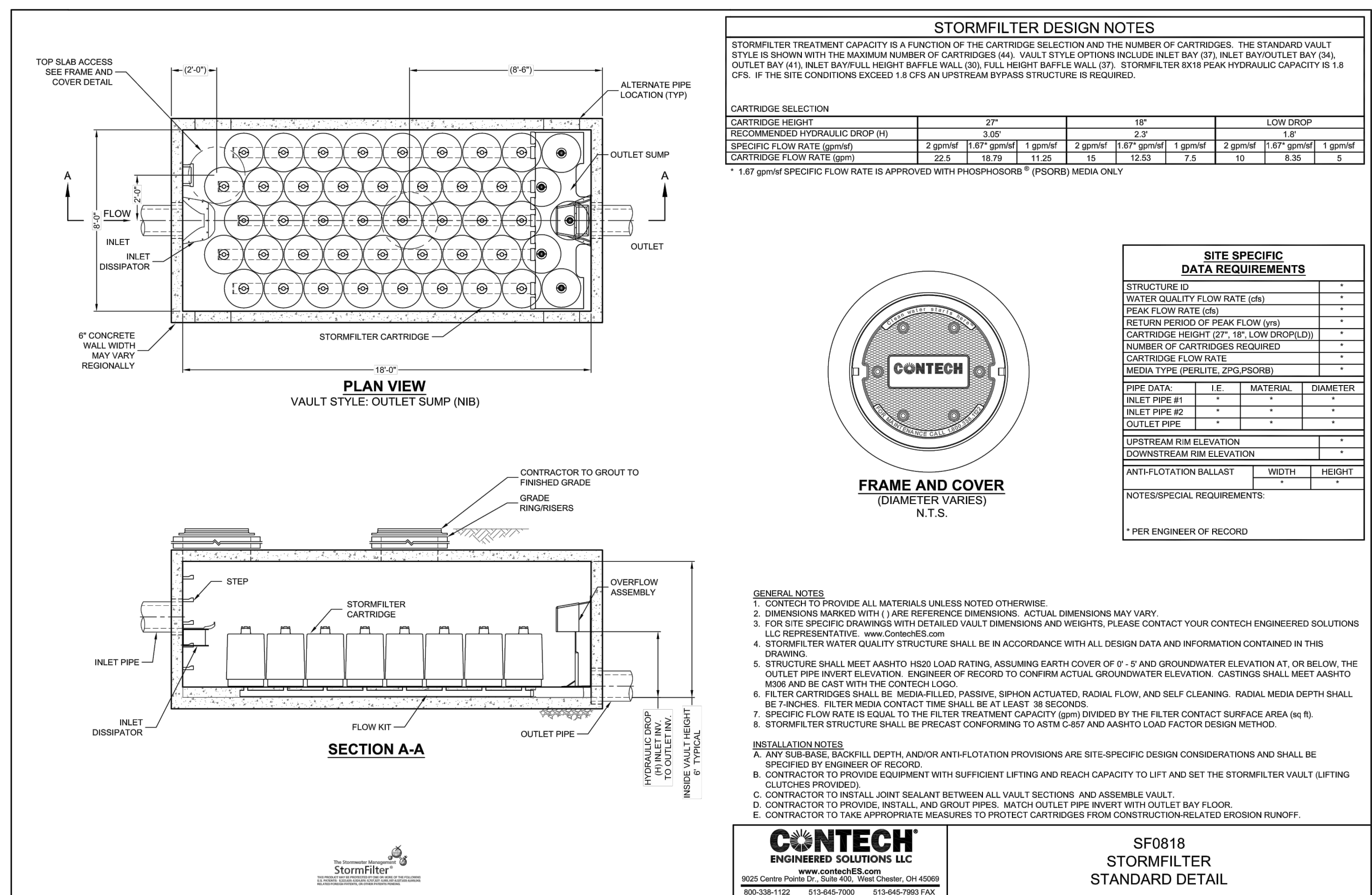
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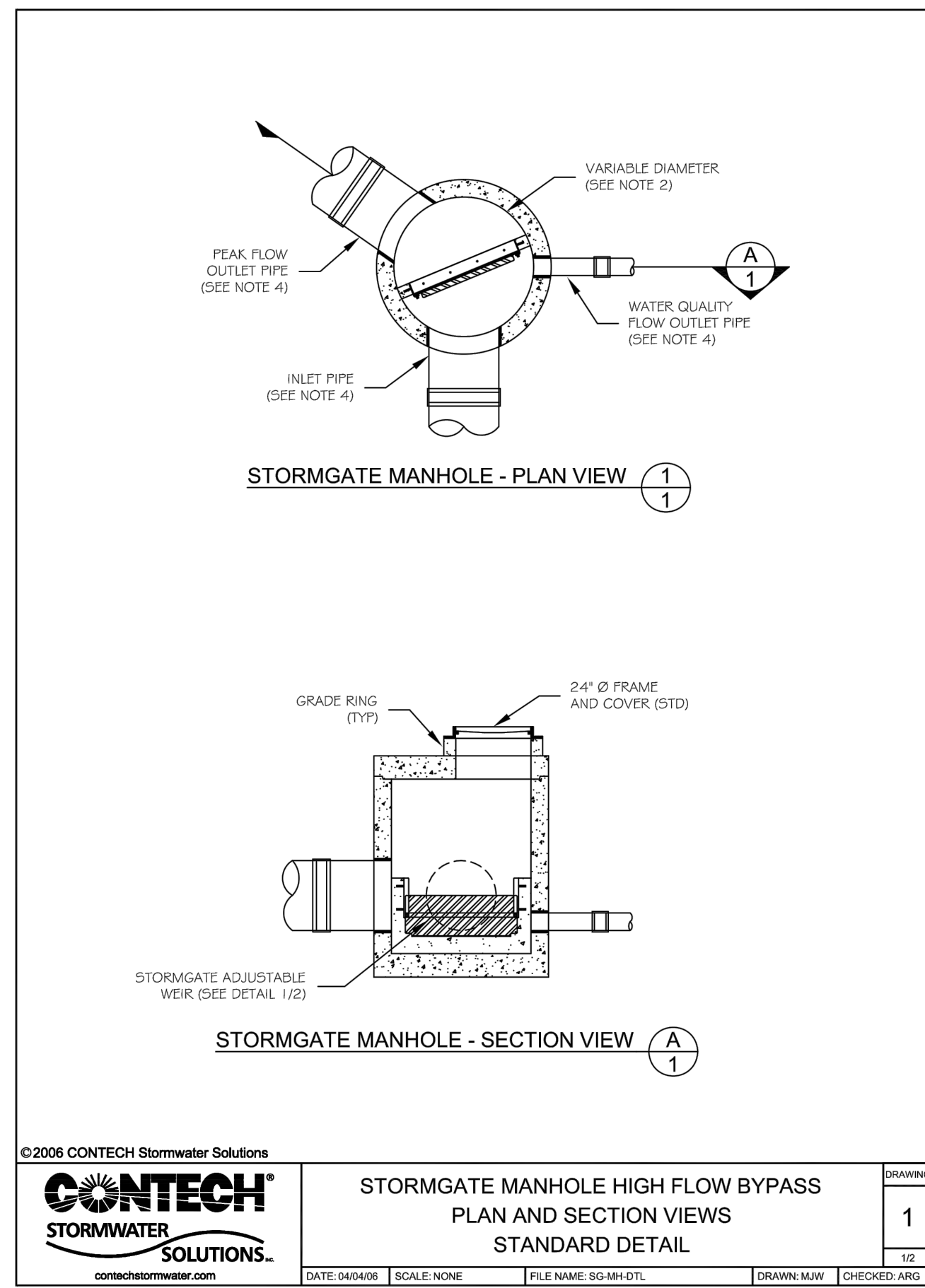
MOODY-NOLAN

DRAWING TITLE: **DETAILS**

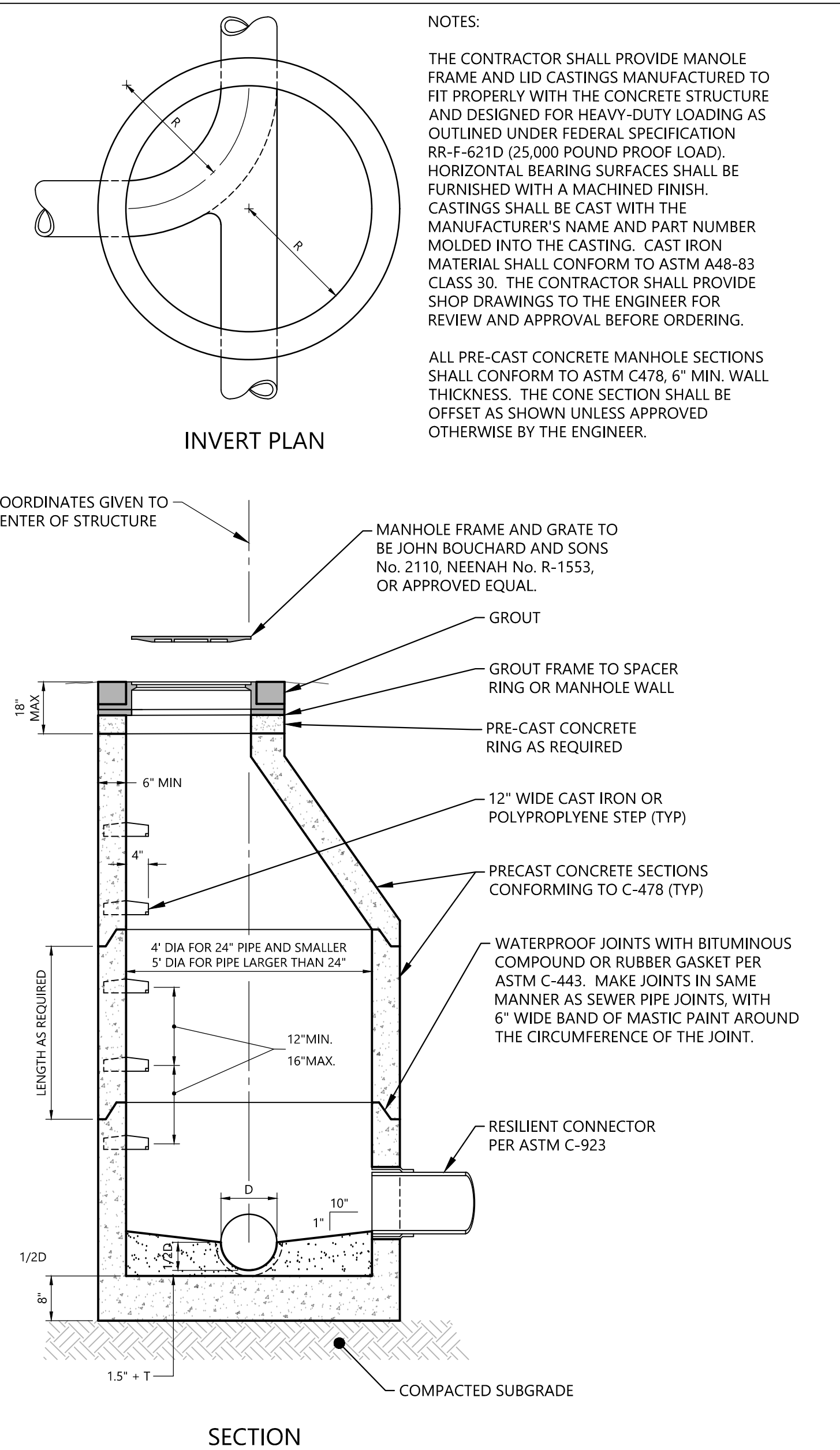
11/14/2018
DRAWN BY: LPK
CHECKED BY: JDC
18121
C7.0
100% CD Checklist



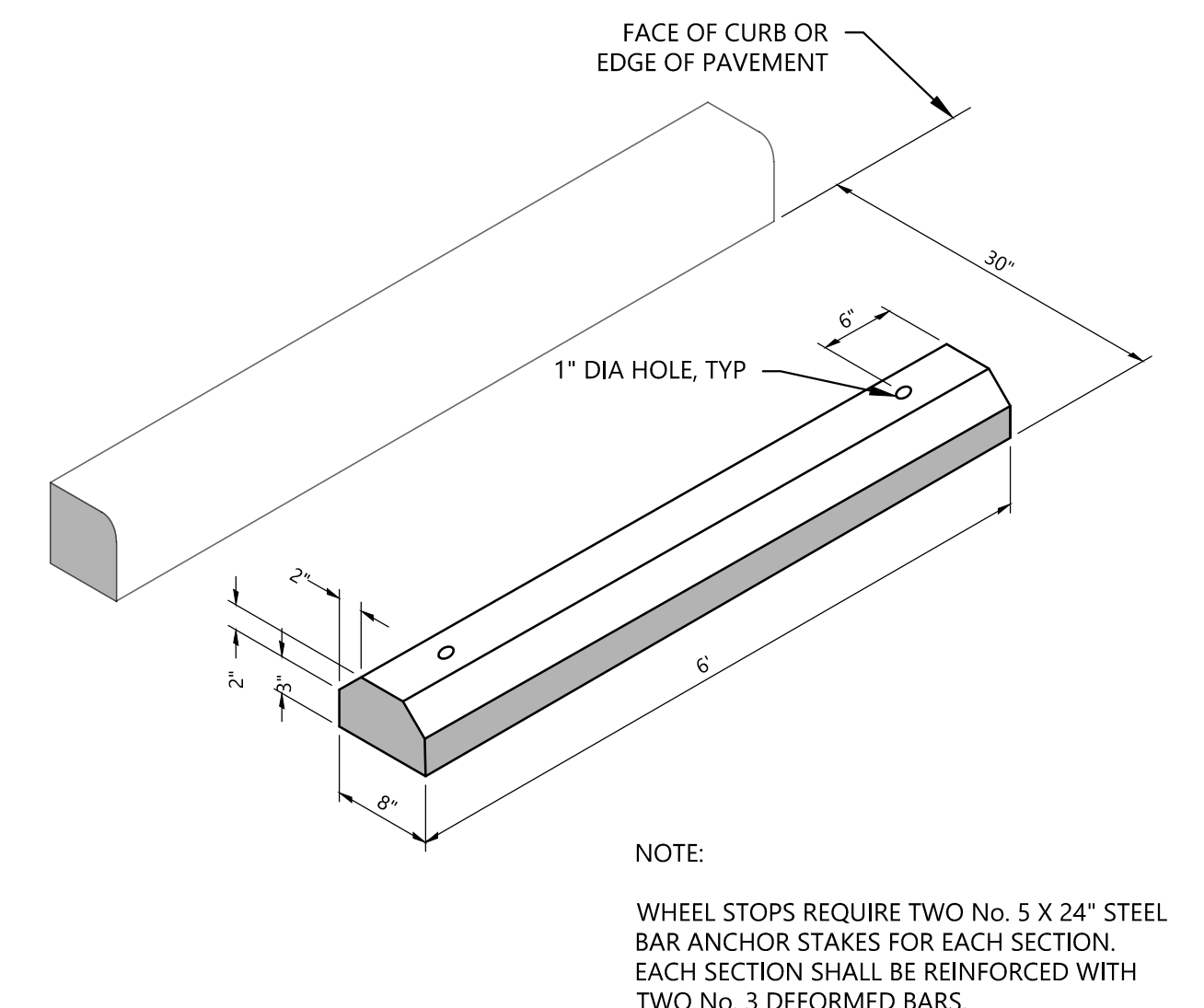
5 WATER QUALITY UNIT
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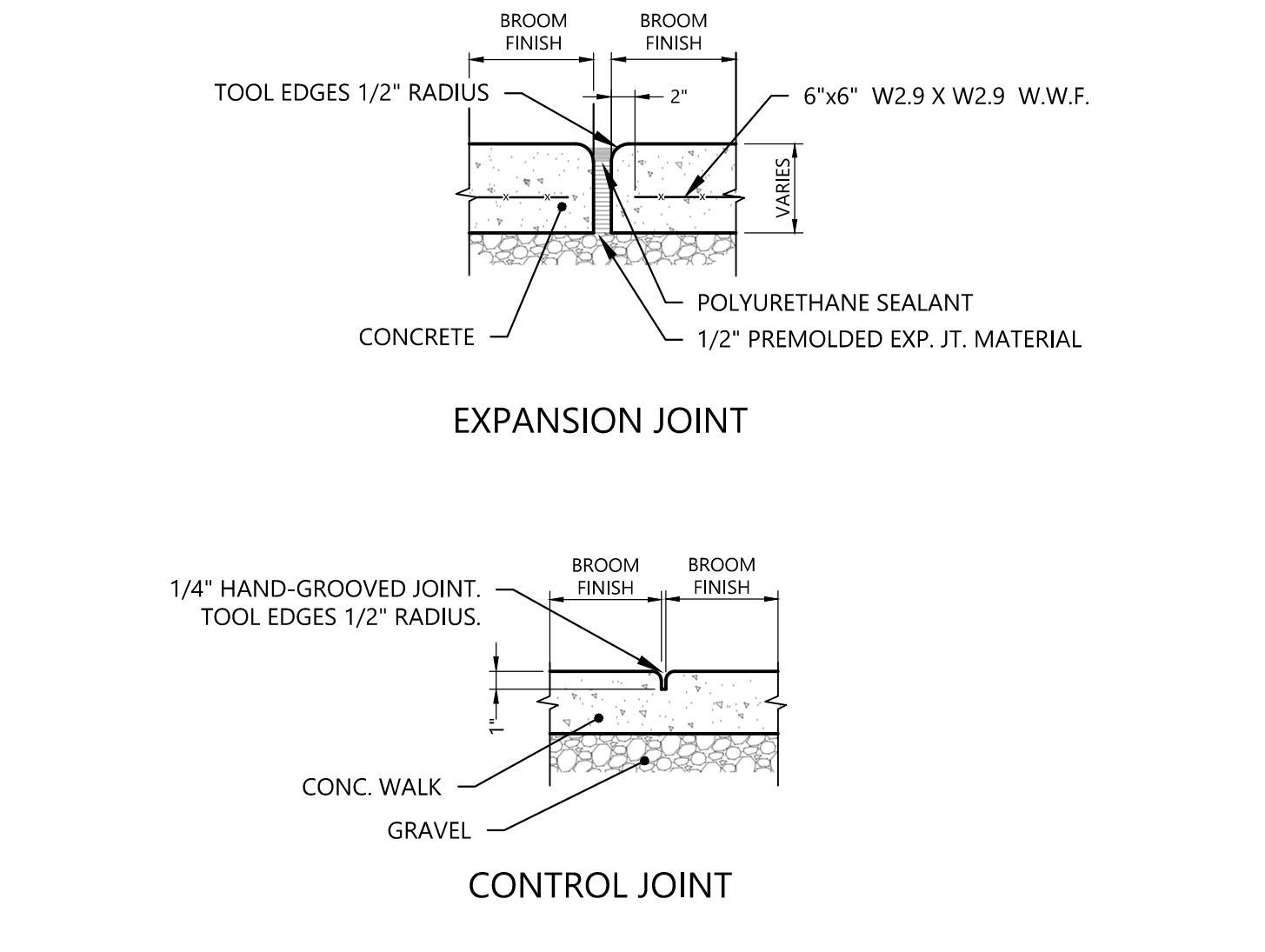
3 WEIR STRUCTURE
NO SCALE



1 PRE-CAST MANHOLE
NO SCALE



4 PRECAST CONCRETE WHEELSTOP
NO SCALE



2 SIDEWALK JOINTS
NO SCALE



7



6

#	DATE	CHANGE DESCRIPTION

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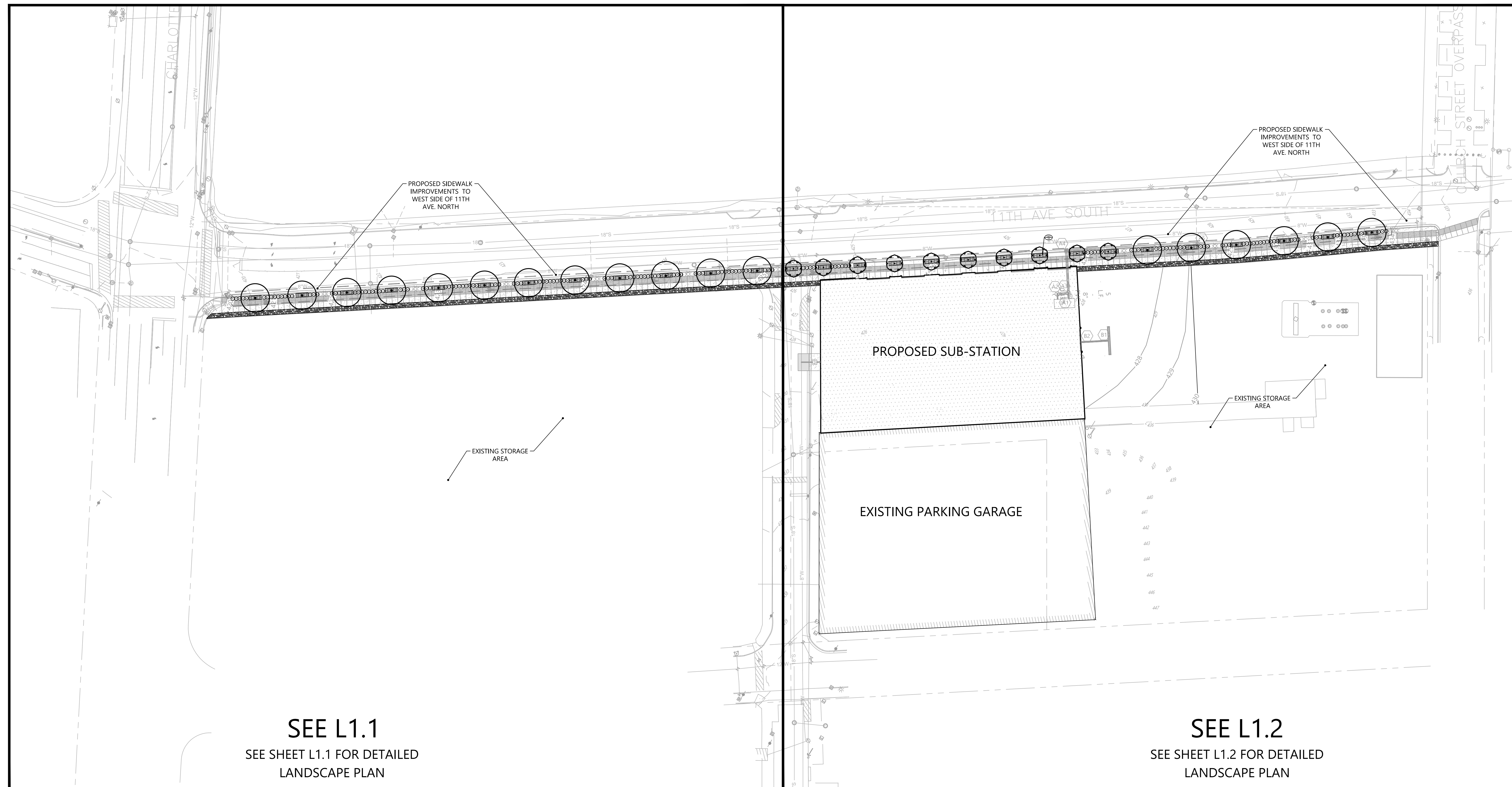
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DRAWING TITLE: **DETAILS**

11/14/2018
 DRAWN BY: LPK CHECKED BY: JDC
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C7.1
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PROGRESS DRAWING NOT FOR CONSTRUCTION



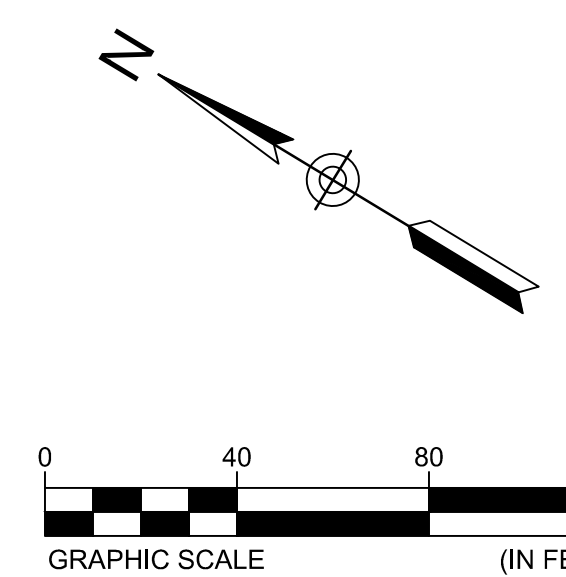
LANDSCAPE DATA

OVERALL SITE ACERAGE: 7.98
 PARCEL ID: 123 & 124
 ZONING: DTC
 RECORDED DOCUMENTS: DEED BOOK DEED BOOK # PAGE DEED PAGE #
 LAND USE: XXXXXXXXXXXXXXX

SITE TREE DENSITY CALCULATIONS

ACREAGE:	7.98
BUILDING ACREAGE:	1.67
ADJUSTED ACREAGE:	6.31
TREE DENSITY UNITS REQUIRED: (14 TDU/Ac. x 6.31)	88.34
TREE DENSITY UNITS PROVIDED:	
EXISTING TREE CREDITS:	N/A
PROPOSED TREES: (SEE CHART BELOW)	N/A
TOTAL TREE DENSITY UNITS PROVIDED:	N/A*
PROPOSED TREES:	
2" 31 x 0.5 =	15.5
3" 02 x 0.6 =	1.2
TOTAL	16.7

* NOTE: PROJECT TO BE EXEMPT FROM TDU REQUIREMENTS DO TO INFRASTRUCTURE NEEDS



#	DATE	CHANGE DESCRIPTION

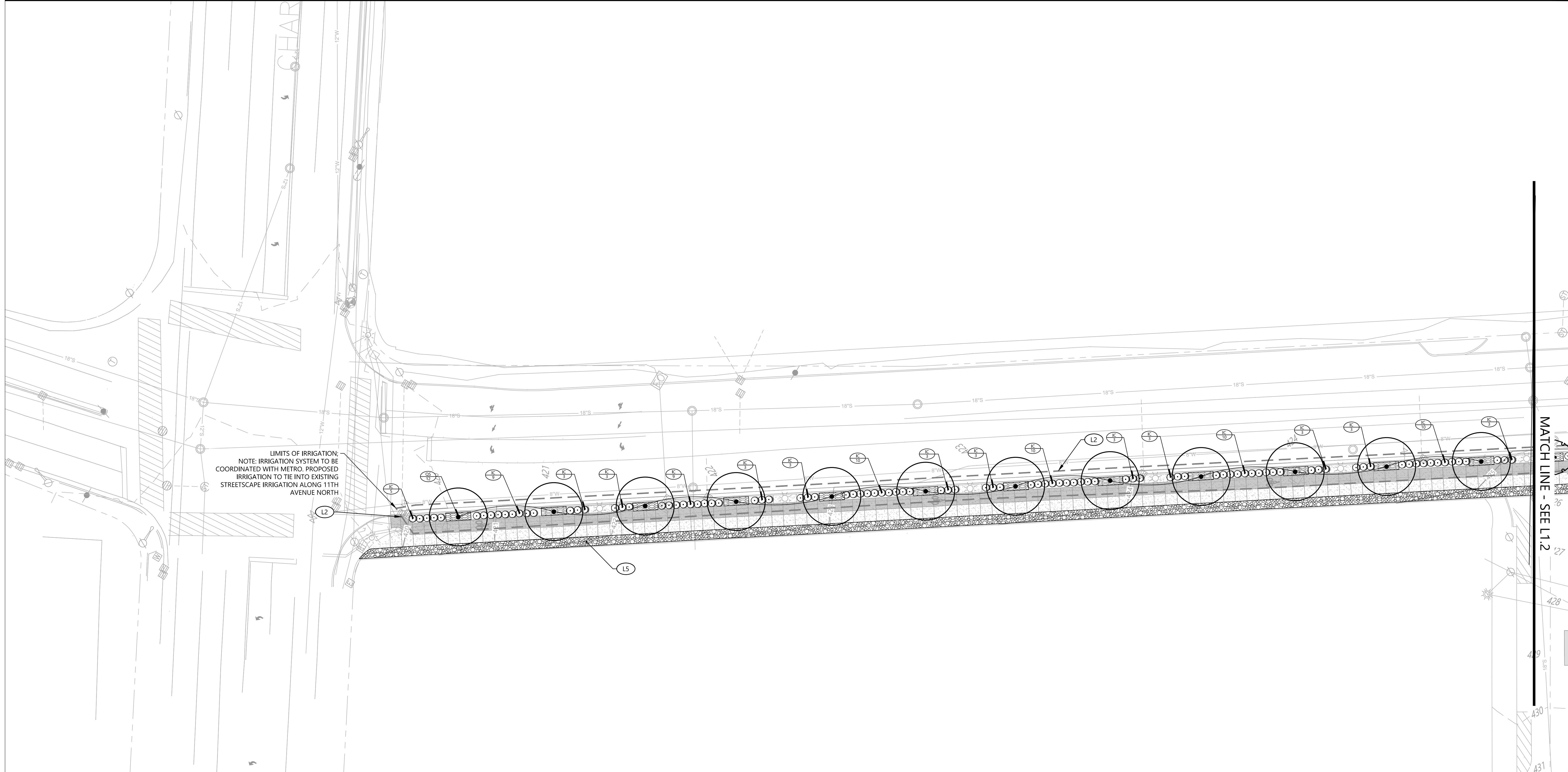
NES Nashville Electric Service

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OVERALL LANDSCAPE PLAN

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	18121
	L1.0
100% CD Checkset	



PLANT SCHEDULE L1.1

TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE	REMARKS	
QS	12	Quercus shumardii	Shumard Red Oak	B & B	2" Cal	10-12'		
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	CONT	CALIPER	HEIGHT	SPACING	REMARKS
IC	96	Ilex x meserveae 'China Girl'™	China Girl Holly	#3 Cont.		15-18"	36" o.c.	Plant 1 male (China Boy) for every 9 female (China Girl) shrubs; space males evenly throughout
GROUND COVERS	QTY	BOTANICAL NAME	COMMON NAME	CONT	CALIPER	HEIGHT	SPACING	REMARKS
LMU	312	Liriodendron muscari 'Big Blue'	Big Blue Lilyturf	Pints			15" o.c.	

LANDSCAPE KEYNOTES		
CODE	DESCRIPTION	DET #/SHT #
L2	IRRIGATION LIMITS	
L5	AREA TO BE 4"-6" RIVER ROCK	

#	DATE	CHANGE DESCRIPTION

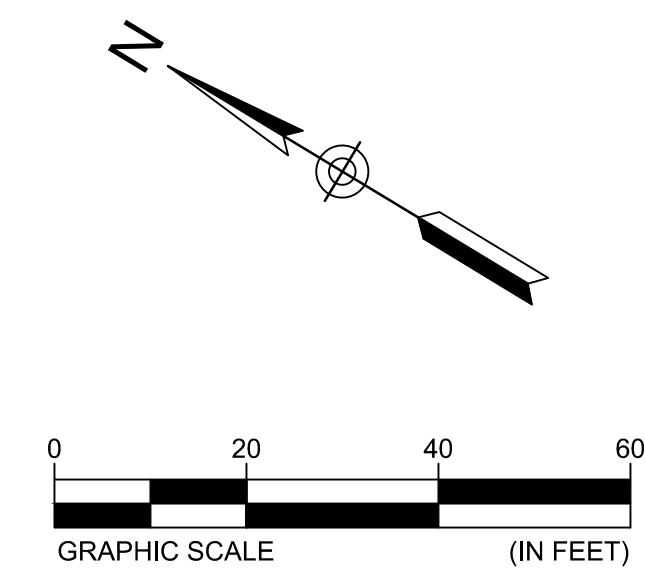
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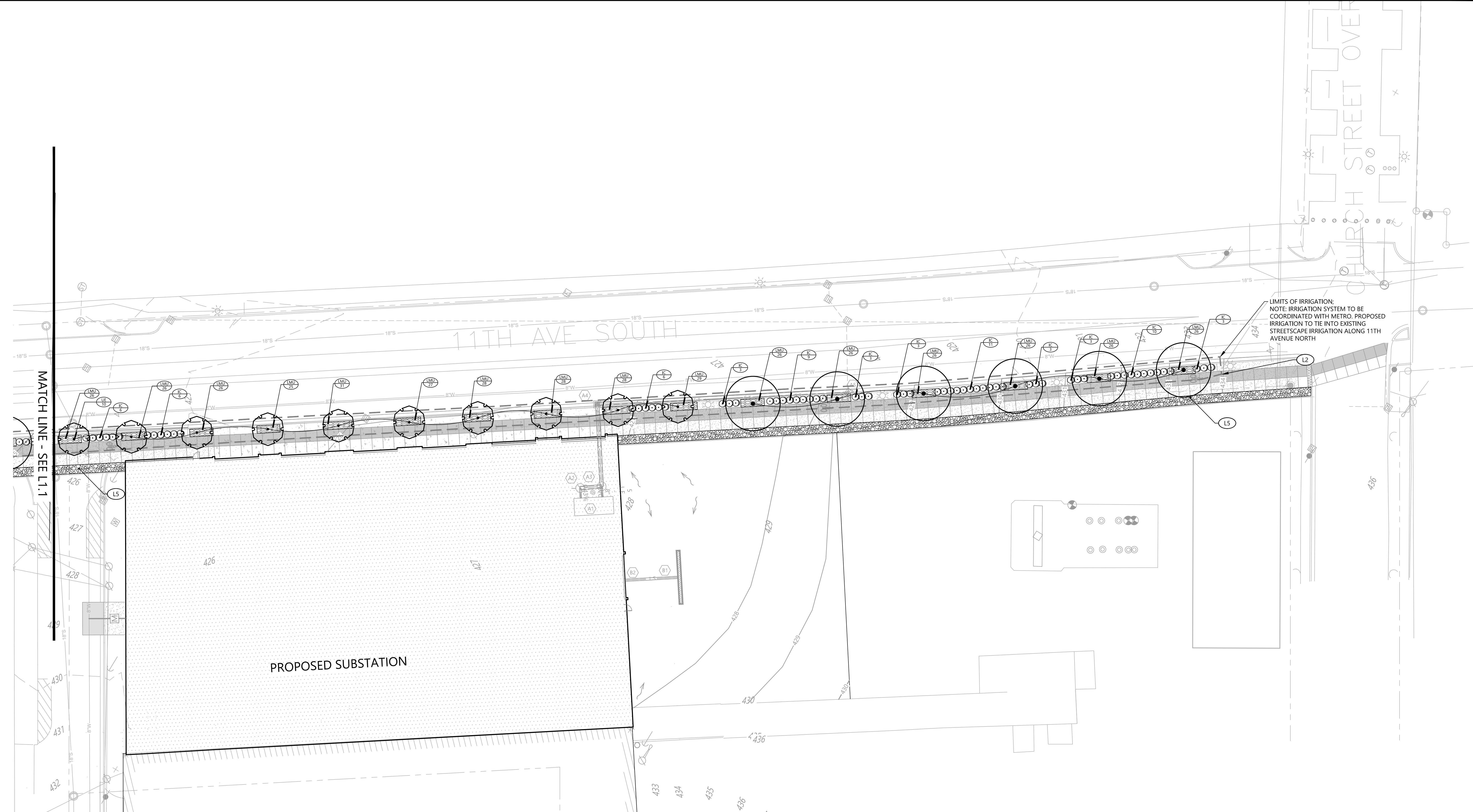
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MOODY-NOLAN

DETAILED LANDSCAPE PLAN

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	18121
	L1.1
	100% CD Checkset





PLANT SCHEDULE L1.2

TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE	REMARKS
QS	6	Quercus shumardii	Shumard Red Oak	B & B	2" Cal	10-12'	
UE	10	Ulmus parvifolia 'Everclear'	Everclear Lacebark Elm	B & B	2" Cal	10-12'	

SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	CONT	CALIPER	HEIGHT	SPACING	REMARKS
IC	66	Ilex x meserveae 'China Girl' TM	China Girl Holly	#3 Cont.		15-18"	36" o.c.	Plant 1 male (China Boy) for every 9 female (China Girl) shrubs; space males evenly throughout

GROUND COVERS	QTY	BOTANICAL NAME	COMMON NAME	CONT	CALIPER	HEIGHT	SPACING	REMARKS
LMU	666	Liriope muscari 'Big Blue'	Big Blue Lilyturf	Pints			12" o.c.	Plant on 12" centers

LANDSCAPE KEYNOTES

CODE	DESCRIPTION	DET #/SHT #
L2	IRRIGATION LIMITS	
L5	AREA TO BE 4"-6" RIVER ROCK	

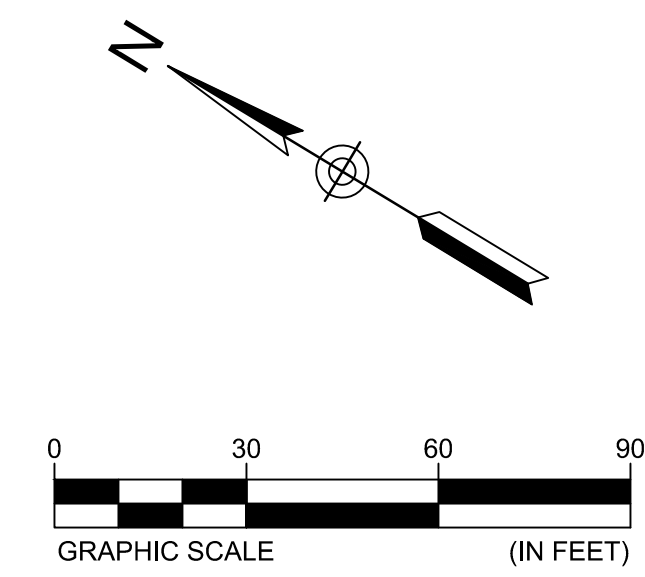
#	DATE	CHANGE DESCRIPTION

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DETAILED LANDSCAPE PLAN

PROGRESS DRAWING NOT FOR CONSTRUCTION	11/14/2018	
	DRAWN BY: LPK	CHECKED BY: JDC
	18121	
	L1.2	
100% CD Checkset		



PLANTING NOTES

- BASE INFORMATION WAS TAKEN FROM A SURVEY PREPARED BY RAGAN SMITH DATED 09-14-2018. LITTLEJOHN ENGINEERING ASSOCIATES AND ANY OF THEIR CONSULTANTS SHALL NOT BE HELD RESPONSIBLE FOR THE ACCURACY AND/OR COMPLETENESS OF THAT INFORMATION SHOWN HEREON OR ANY ERRORS OR OMISSIONS RESULTING FROM SUCH.
- IT IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO CONFIRM ALL MATERIAL QUANTITIES. IN THE EVENT OF A DISCREPANCY, THE QUANTITIES SHOWN ON THE PLAN SHALL TAKE PRECEDENCE OVER THE MATERIAL SCHEDULE.
- NO SUBSTITUTIONS AS TO TYPE, SIZE, OR SPACING OF PLANT MATERIALS SPECIFIED ON THIS PLAN MAY BE MADE WITHOUT THE APPROVAL OF THE OWNER'S REPRESENTATIVE.
- THE CONTRACTOR IS TO VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES. TAKE CARE TO PROTECT UTILITIES THAT ARE TO REMAIN. REPAIR ANY DAMAGE ACCORDING TO LOCAL STANDARDS AND AT CONTRACTOR'S EXPENSE. COORDINATE ALL CONSTRUCTION WITH THE APPROPRIATE UTILITY COMPANY.
- ALL PLANTING BEDS TO RECEIVE "CHANCELLOR" HARDWOOD MULCH. MULCH TO BE INSTALLED TO 4" DEPTH UNLESS OTHERWISE INDICATED ON THE PLANTING DETAILS.
- NEW TREE PLANTINGS TO BE STAKED PER PLANTING DETAILS.
- DIMENSIONS LISTED FOR HEIGHTS, SPREAD AND TRUNK SPECIFICATIONS ON THE PLANT MATERIAL SCHEDULE ARE GENERAL GUIDE FOR THE MINIMUM REQUIRED SIZE OF EACH PLANT.
- PRE-EMERGENT HERBICIDE SHALL BE APPLIED TO ALL PLANTING BEDS IMMEDIATELY PRIOR TO PLACEMENT OF MULCH FOR WEED CONTROL.
- ALL DISTURBED AREAS OF THE SITE ARE TO BE SEEDED AND/OR SODDED IN ACCORDANCE WITH THE SPECIFICATIONS.
- NO EXCAVATION OR PLANTING PIT SHALL BE LEFT OPEN OVERNIGHT.
- THE LANDSCAPE CONTRACTOR SHALL OBTAIN ANY NECESSARY PERMITS, LICENSES, ETC. AND SHALL GIVE ALL NOTICES AND COMPLY WITH ALL APPLICABLE LAWS, ORDINANCES, CODES, RULES AND REGULATIONS DURING THE COURSE OF THE INSTALLATION OF THIS PROJECT.
- ALL PLANT MATERIALS TO BE NURSERY GROWN AND TO COMPLY WITH THE AMERICAN STANDARD FOR NURSERY STOCK FOR SIZE AND QUALITY.
- THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REFUSE ANY PLANT MATERIAL OR ANY DEFECTIVE WORKMANSHIP.
- ALL PLANTS SHALL HAVE A WELL-FORMED HEAD WITH MINIMUM CALIPER, HEIGHT AND SPREAD OF THE SIDE BRANCHES AS SHOWN ON THE PLANT LIST. TRUNKS SHALL BE UNDAMAGED AND SHAPE SHALL BE TYPICAL OF THE SPECIES.
- MEASUREMENT OF CONIFER HEIGHT SHALL INCLUDE NOT MORE THAN FIFTY PERCENT (50%) OF THIS YEAR'S VERTICAL GROWTH (TOP CANDLE).
- THE LANDSCAPE CONTRACTOR WILL BE RESPONSIBLE FOR STAKING AND LAYOUT OF PLANTINGS ON THIS PROJECT. THE LANDSCAPE ARCHITECT OR OWNER SHALL BE ADVISED WHEN STAKES ARE READY FOR INSPECTION ON VARIOUS PLANTING AREAS. ALL LAYOUT WORK SHALL BE INSPECTED AND APPROVED BY THE LANDSCAPE ARCHITECT OR OWNER PRIOR TO OPENING ANY PLANT PITS.
- IT IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO VERIFY THAT EACH EXCAVATED TREE OR SHRUB PIT WILL PERCOLATE (DRAIN) PRIOR TO ADDING TOPSOIL AND INSTALLING TREES OR SHRUBS. THE CONTRACTOR SHALL FILL THE BOTTOM OF SELECTED HOLES WITH SIX INCHES OF WATER. THIS WATER SHOULD PERCOLATE OUT WITHIN A 24-HOUR PERIOD. THE OWNER OR LANDSCAPE ARCHITECT SHALL VERIFY ACCURACY AND EFFECT OF PERCOLATION TESTING. IF THE SOIL AT A GIVEN AREA DOES NOT DRAIN PROPERLY, A P V C DRAIN OR GRAVEL SUMP SHALL BE INSTALLED OR THE PLANTING RELOCATED.
- SHOULD THE LANDSCAPE CONTRACTOR ENCOUNTER UNSATISFACTORY SURFACE OR OTHER SUBSURFACE DRAINAGE CONDITIONS, SOIL DEPTH, LATENT SOILS, HARD PAN, STEAM OF OTHER UTILITY LINES OR OTHER CONDITIONS THAT WILL JEOPARDIZE THE HEALTH AND VIGOR OF THE PLANTS, HE MUST ADVISE THE LANDSCAPE ARCHITECT IN WRITING OF THE CONDITIONS PRIOR TO INSTALLING THE PLANTS. OTHERWISE THE LANDSCAPE CONTRACTOR WARRANTS THAT THE PLANTING AREAS ARE SUITABLE PROPER GROWTH AND DEVELOPMENT OF THE PLANTS TO BE INSTALLED.
- NO MATERIAL SHALL BE PLANTED BEFORE FINISH GRADING HAS BEEN COMPLETED.
- EXISTING TREES TO BE PRESERVED ARE TO BE BARRICADED BEFORE BEGINNING CONSTRUCTION. IN ACCORDANCE WITH THE TREE PRESERVATION NOTES AND DETAILS ON THE LANDSCAPE PLAN.
- SELECTIVE CLEARING CONSISTING OF REMOVAL OF VINES, SAPLINGS UNDER 1" DIAMETER AND UNDERBRUSH SHALL BE PERFORMED IN TREE PRESERVATION AREAS INTERNAL TO THE PROJECT AND NOTED ON PLANS.
- PLANTS IDENTIFIED IN ALTERNATE AREAS ARE TO BE BID SEPARATELY.
- ALL BEDS ARE TO BE TILLED TO A DEPTH OF 8" WITH THE ADDITION OF: (1) 6 CU. FT. BALE OR SPHAGNUM PEAT MOSS PER 40 SQ. FT. OF BED AREA; (25#) 10-10-10 FERTILIZER PER 1000 SQ. FT. IF azaleas, rhododendrons or PIERIS ARE USED, ADD 1 3 CU. FT. FINELY GROUND "PINE" BARK MULCH PER 25 SQ. FT. OF BED AREA. ALL ADDITIONS ARE TO BE SPREAD AND TILLED INTO THE SOIL UNIFORMLY.
- CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT WHEN THE PLANT MATERIALS ARE AVAILABLE AT THE JOB SITE FOR REVIEW BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.

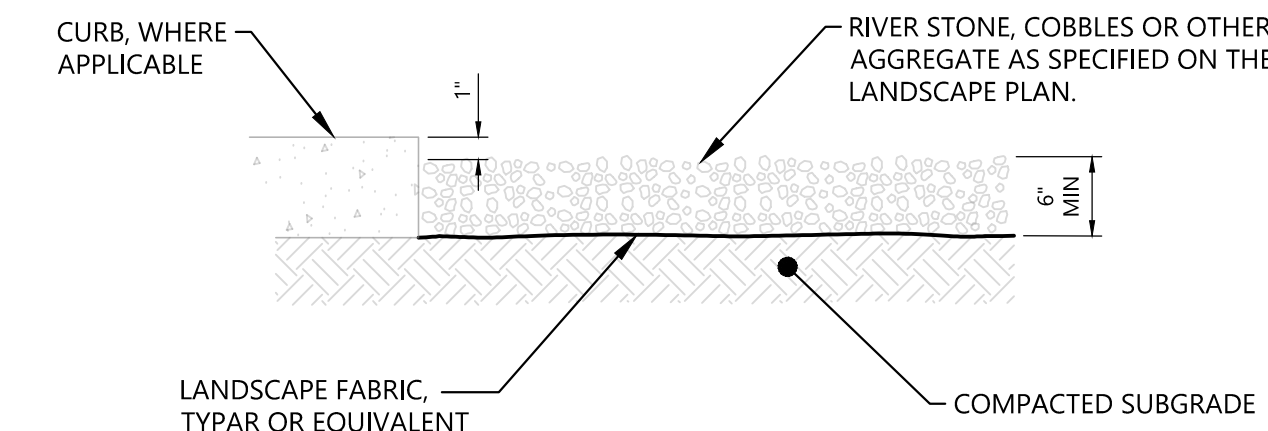
IRRIGATION NOTES

- LANDSCAPE CONTRACTOR TO PROVIDE IRRIGATION SYSTEM ON A DESIGN/BUILD ARRANGEMENT FOR AREA NOTED ON THE PLAN. CONTRACTOR TO PREPARE DESIGN DRAWINGS IN ACCORDANCE WITH PERFORMANCE SPECIFICATIONS CONTAINED IN THE PROJECT MANUAL AND SUBMIT SAME FOR APPROVAL BY THE OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION.
- CONTRACTOR TO CONFIRM ADEQUATE PRESSURE EXISTS TO OPERATE SYSTEM PRIOR TO INSTALLATION.
- IRRIGATION SPRINKLER HEADS SHALL BE MANUFACTURED BY EITHER TORO OR RAINBIRD. IRRIGATION CONTROLLER SHALL BE TORO VISION II MODEL OR APPROVED EQUAL.
- MAIN LINE TO BE CLASS 200 PVC PIPE. LATERAL LINES TO BE CLASS 150 PVC.
- IRRIGATION SYSTEM TO BE OPERATIONAL BEFORE PLANTING MATERIALS MAY BE INSTALLED IN PLANTING BEDS.
- INSTALL SPRINKLER HEADS ACCORDING TO MANUFACTURERS SPECIFICATIONS. FLUSH ALL LINES BEFORE INSTALLING NOZZLES.
- WIRE CONNECTIONS TO BE MADE BY USING RAINBIRD MODEL ST-103/PT-ST SNAP-TITE CONNECTIONS.
- LEAVE 18 INCHES OF ADDITIONAL WIRE AT EACH VALVE LOCATION. ROLL WIRE INTO COIL AT EACH LOCATION.
- ALL VALVES SHALL BE LOCATED IN AMATEX 10 INCH CIRCULAR VALVE BOXES WITH COVER, OR EQUAL.
- IRRIGATION CONTRACTOR TO COORDINATE PLACEMENT OF REQUIRED SLEEVES WITH GENERAL CONTRACTOR PRIOR TO PAVING AND CONCRETE INSTALLATION BEING COMPLETED.

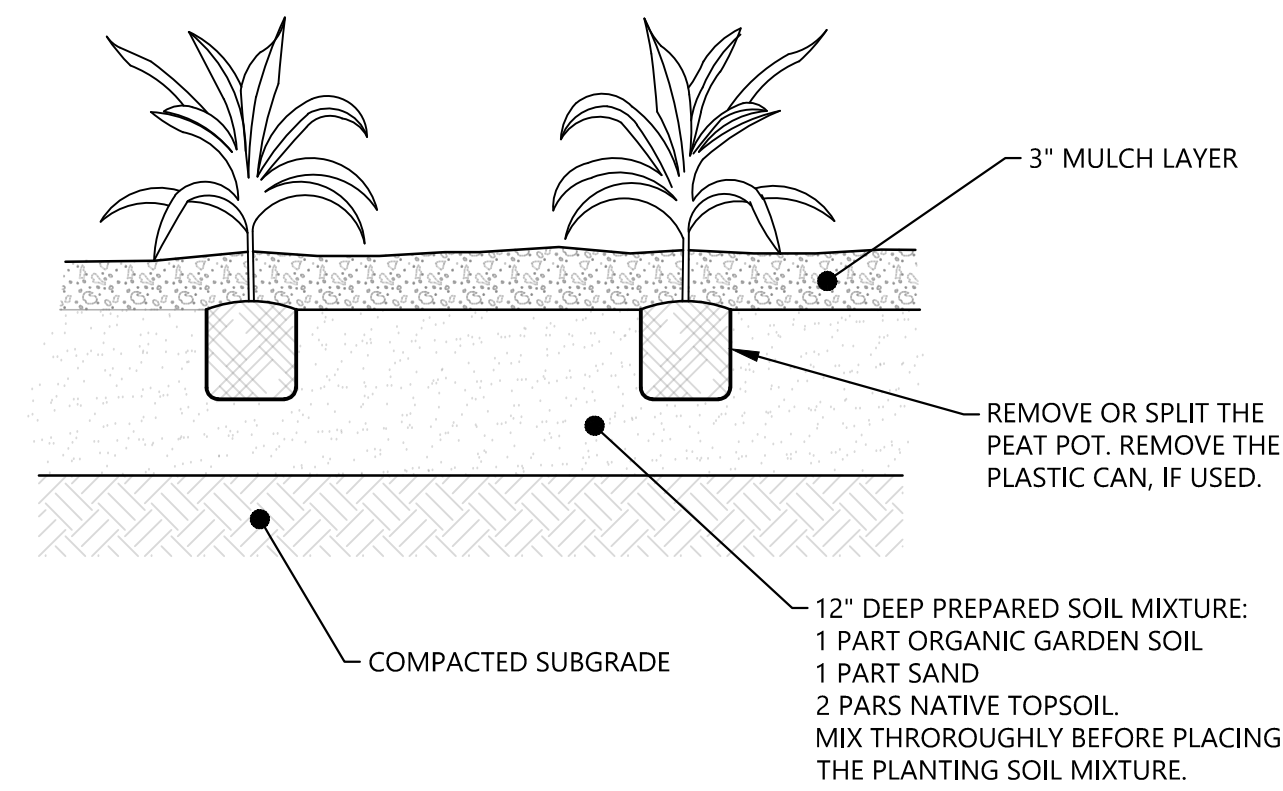
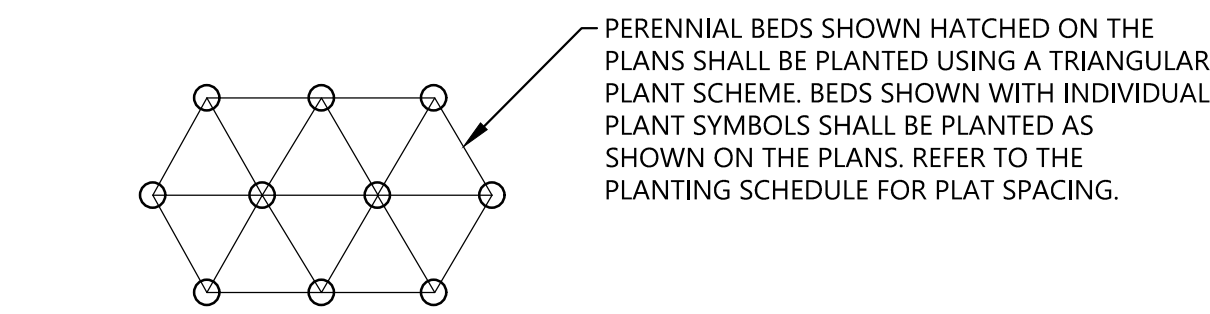
4

GRAVEL MULCH BED

NO SCALE



- NOTE:
- CONTRACTOR SHALL REMOVE AND ERADICATE ALL EXISTING GRASSES AND WEEDS IN D.S. AREAS AS REQUIRED WITH ROUND-UP OR OTHER APPROVED HERBICIDE.
 - SUB-GRADES SHALL BE THOROUGHLY COMPACTED BEFORE GRAVEL IS INSTALLED.
 - CONTRACTOR SHALL SUBMIT A SAMPLE OF THE SPECIFIED AGGREGATE TO THE LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION.
 - STONE SHALL BE SPREAD TO A MINIMUM DEPTH OF 6", RAKED, DAMPENED, ROLLED AND BROOMED TO AN EVEN FINISH.
 - AGGREGATE SHALL BE RINSED THOROUGHLY TO REMOVE DEBRIS.
 - CONTRACTOR SHALL APPLY PRE-EMERGENT HERBICIDE TO WEED-FREE GRAVEL AREAS.



5

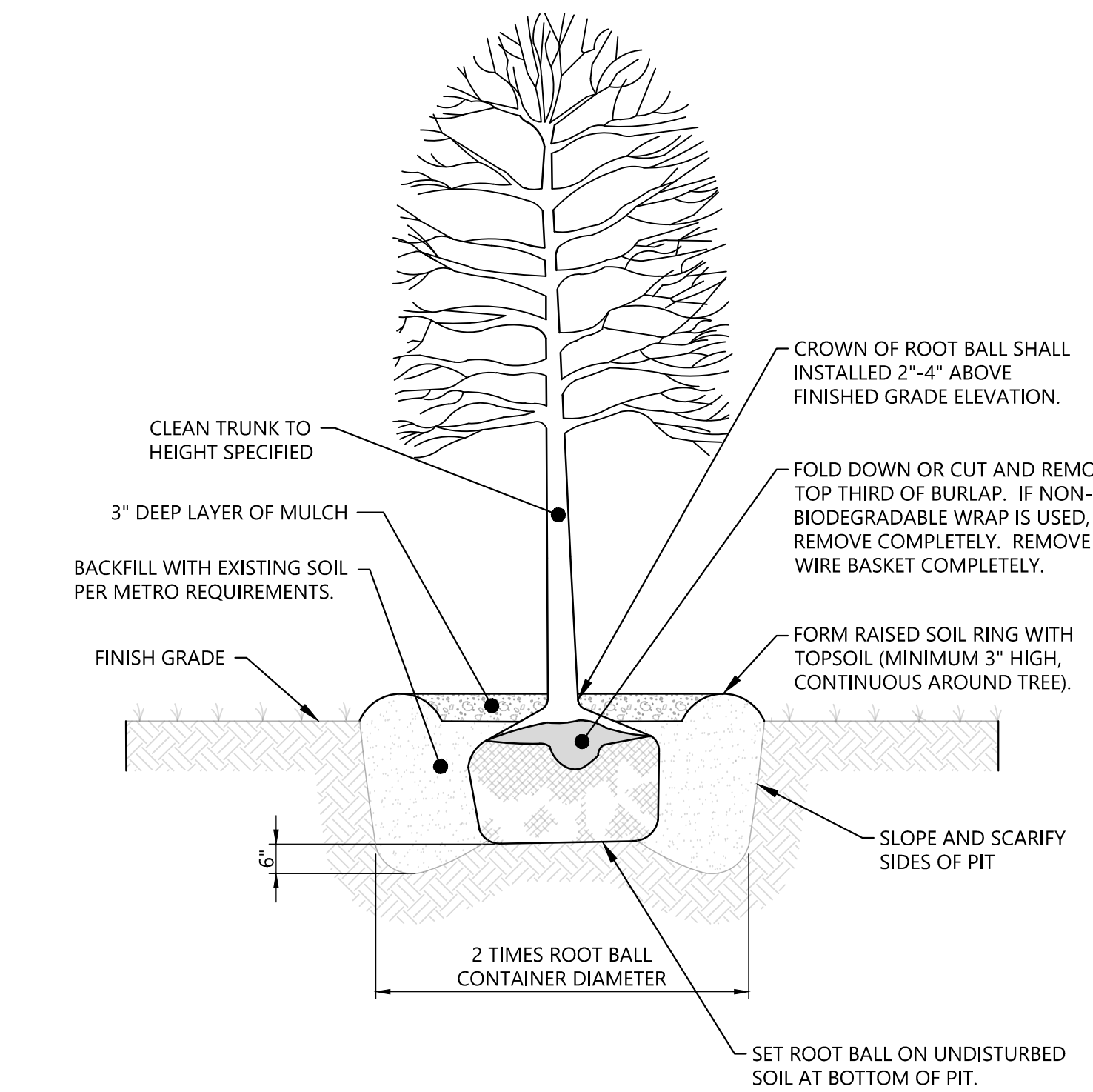
PERENNIAL PLANTING

NO SCALE

1

TREE PLANTING METRO NASHVILLE

NO SCALE

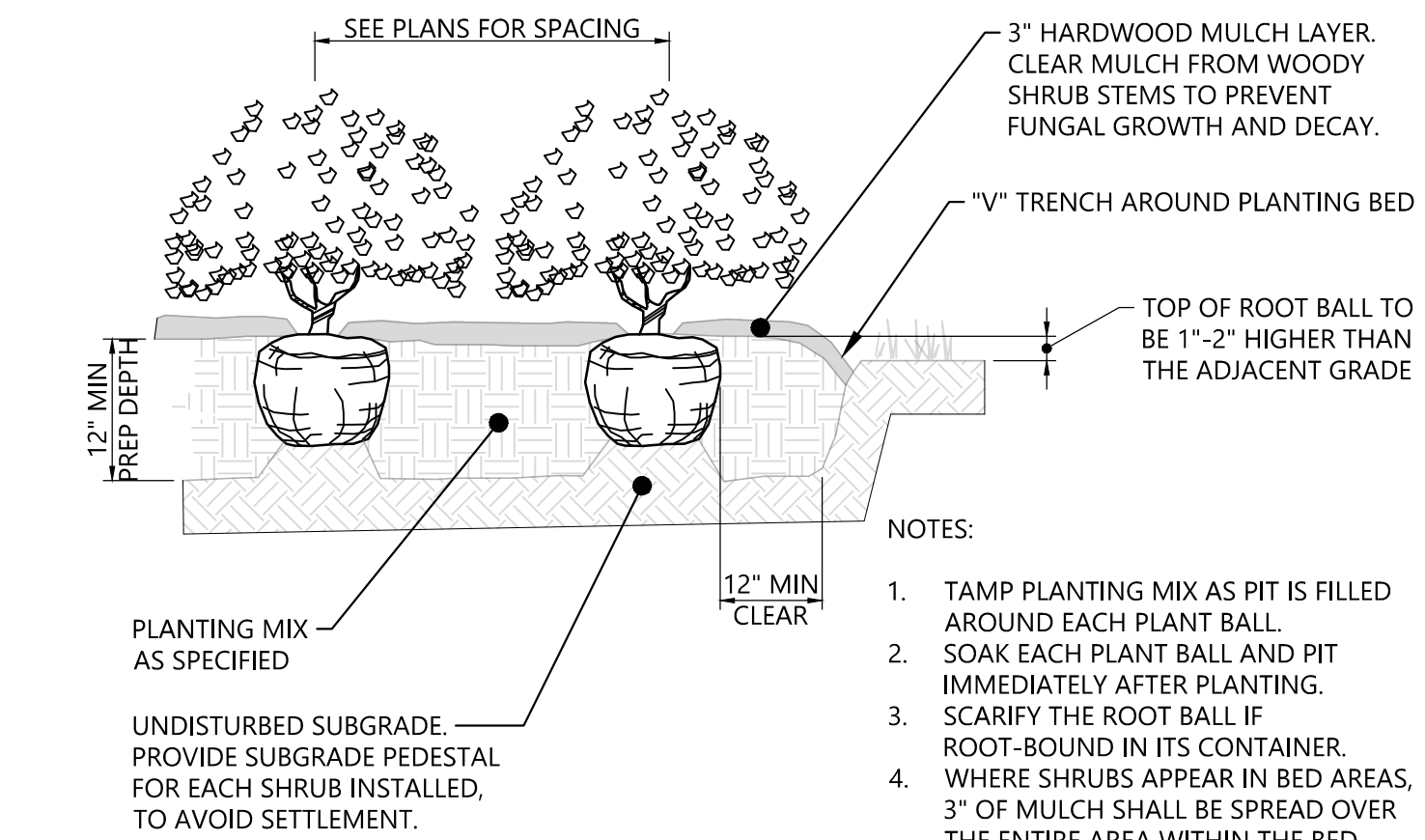


- NOTES:
- DO NOT DAMAGE MAIN ROOTS OR DESTROY ROOT BALL WHEN INSTALLING TREE STAKES.
 - WATER THOROUGHLY AFTER INSTALLATION.
 - TREE SHALL BE STOOD PLUMB.
 - REMOVE ALL TAGS, ROPE, TRUNK WRAP AND CONTAINERS.

2

SHRUB PLANTING

NO SCALE

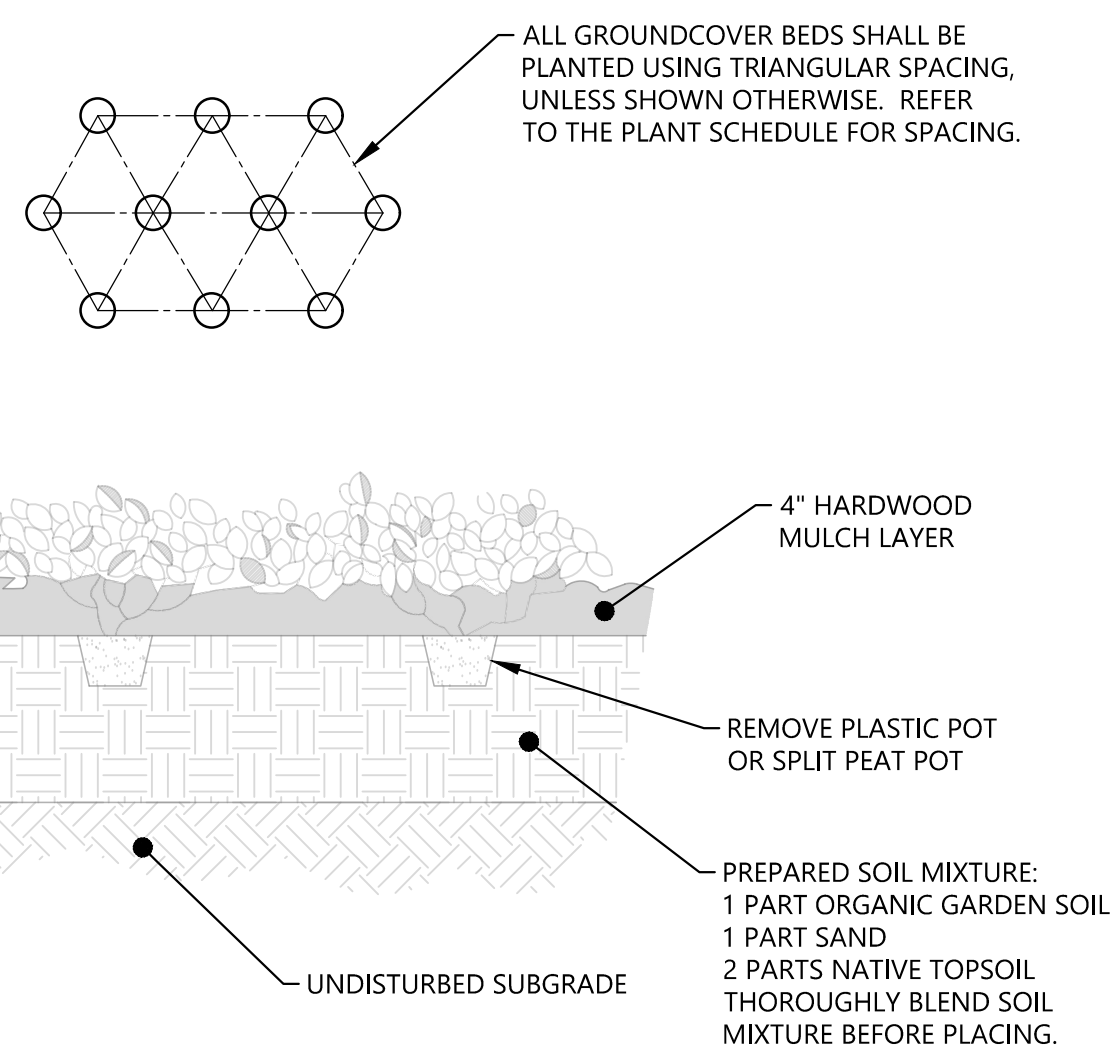


- NOTES:
- TAMP PLANTING MIX AS PIT IS FILLED AROUND EACH PLANT BALL.
 - SOAK EACH PLANT BALL AND PIT IMMEDIATELY AFTER PLANTING.
 - SCARIFY THE ROOT BALL IF ROOT-BOUND IN ITS CONTAINER.
 - WHERE SHRUBS APPEAR IN BED AREAS, 3" OF MULCH SHALL BE SPREAD OVER THE ENTIRE AREA WITHIN THE BED EDGE AS INDICATED ON THE PLANS.
 - DO NOT PRUNE BEFORE ACCEPTANCE.
 - REMOVE BURLAP FROM TOP THIRD OF ROOT BALL OR CAREFULLY REMOVE THE PLASTIC CONTAINER, IF ONE IS USED.
 - BACKFILL WITH SOIL MIXTURE AS FOLLOWS: 1 PART COMPOSTED GARDEN SOIL - 1 PART SAND - 2 PARTS NATIVE TOPSOIL.

3

GROUNDCOVER PLANTING

NO SCALE



#	DATE	CHANGE DESCRIPTION

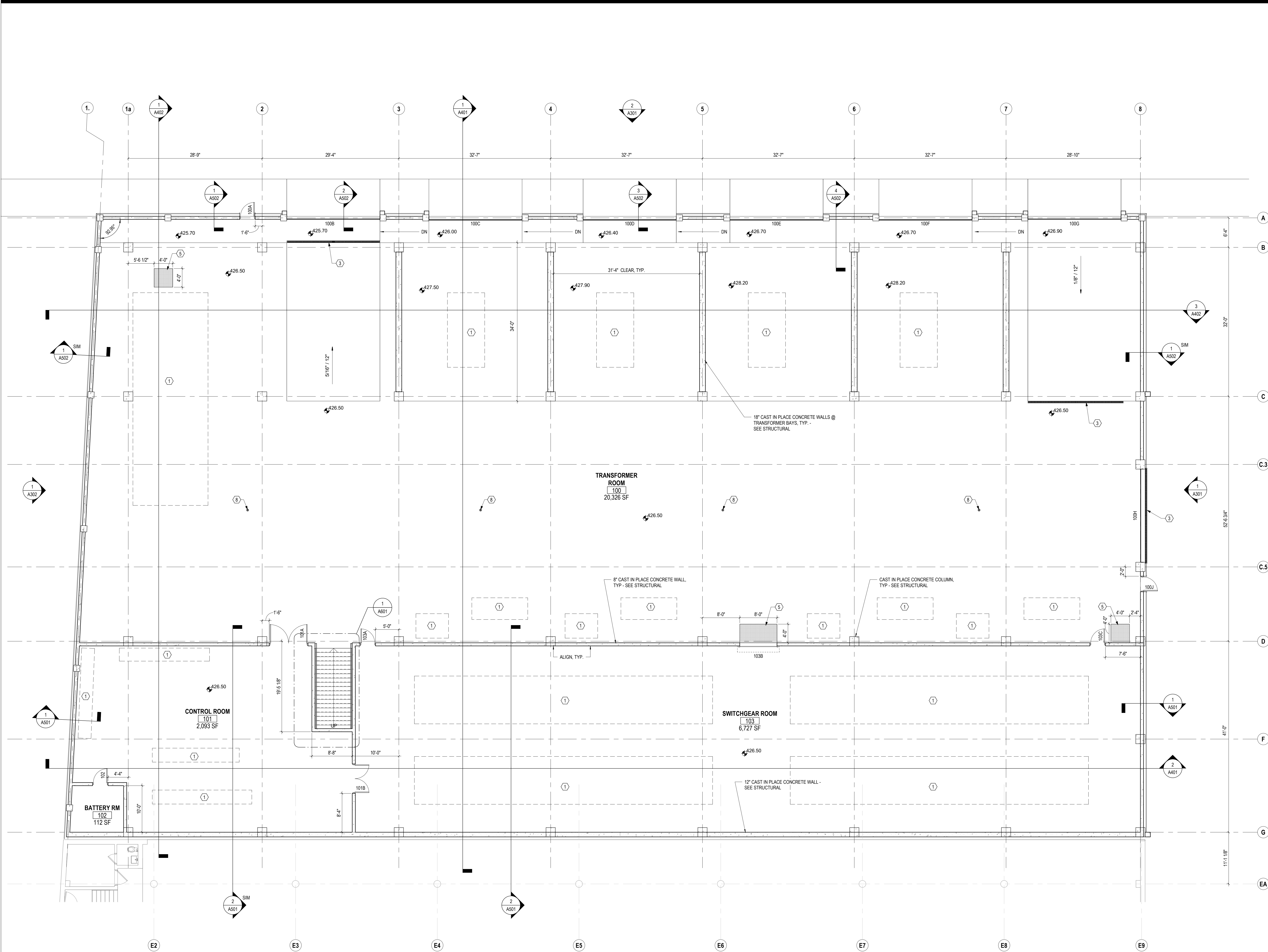
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NASHVILLE, TN 37203
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MOODY-NOLAN

DRAWING TITLE: **LANDSCAPE DETAILS**

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	18121	
	L2.0	
100% CD Checklist		



1 PLAN SUBSTATION FIRST FLOOR
 1/8" = 1'-0"

FLOOR PLAN GENERAL NOTES

1. ALL DIMENSIONS ARE TO FACE OF WALL (UNLESS NOTED OTHERWISE).
2. ALL WALLS TO BE CAST-IN-PLACE CONCRETE, U.N.O.
3. SEE STRUCTURAL DRAWINGS FOR LOCATIONS OF ALL STEEL REINFORCING IN WALL & FLOOR CONSTRUCTION.
4. SEE FINISH SCHEDULE FOR ADDITIONAL INFORMATION OF LOCATIONS AND TYPES OF FINISH MATERIALS.
5. SEE ELEVATIONS AND STRUCTURAL DRAWINGS FOR LOCATIONS OF EXPANSION & CONTROL JOINTS. CONTRACTOR SHALL PROVIDE ADDITIONAL INTERIOR CONTROL JOINTS AS REQUIRED TO COMPLY WITH MAXIMUM SPACING REQUIREMENTS IN SPECIFICATIONS AND NATIONAL MASONRY INSTITUTE. SEE DETAILS ON **AXXX**.
6. MECHANICAL & ELECTRICAL EQUIPMENT SHALL BE ON HOUSEKEEPING PADS. PADS ARE TO BE PROVIDED BY THE TRADE SUPPLYING THE EQUIPMENT. SEE MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION. WORK TO BE COORDINATED THROUGH THE GENERAL TRADES CONTRACTOR. PADS 4" MIN. 4" THICK W/ W.F.F., UNLESS NOTED OTHERWISE).

CODED NOTE LEGEND

- ① EQUIPMENT, PROVIDED BY OWNER.
- ② SUMP PIT, SEE PLUMBING.
- ③ TRENCH DRAIN, SEE PLUMBING.
- ④ ROOF DRAIN, SEE CIVIL & PLUMBING.
- ⑤ FLOOR GRATE ACCESS HATCH.
- ⑥ WALL LADDER.
- ⑦ EXPANSION JOINT COVER.
- ⑧ FLOOR DRAIN, SEE PLUMBING.

RATED WALL LEGEND

- NON-RATED SMOKE RESISTIVE PARTITION TO DECK
- 1 HOUR FIRE RATED PARTITION TO DECK
- 2 HOUR FIRE RATED PARTITION TO DECK
- 3 HOUR FIRE RATED PARTITION TO DECK
- 4 HOUR FIRE RATED PARTITION TO DECK

#	DATE	CHANGE DESCRIPTION

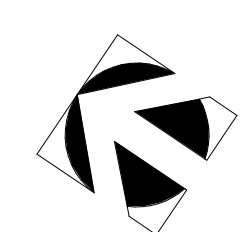
11th Avenue Substation & Parking Expansion
 11th Avenue N & Hynes Street, Nashville, TN 37203
 for
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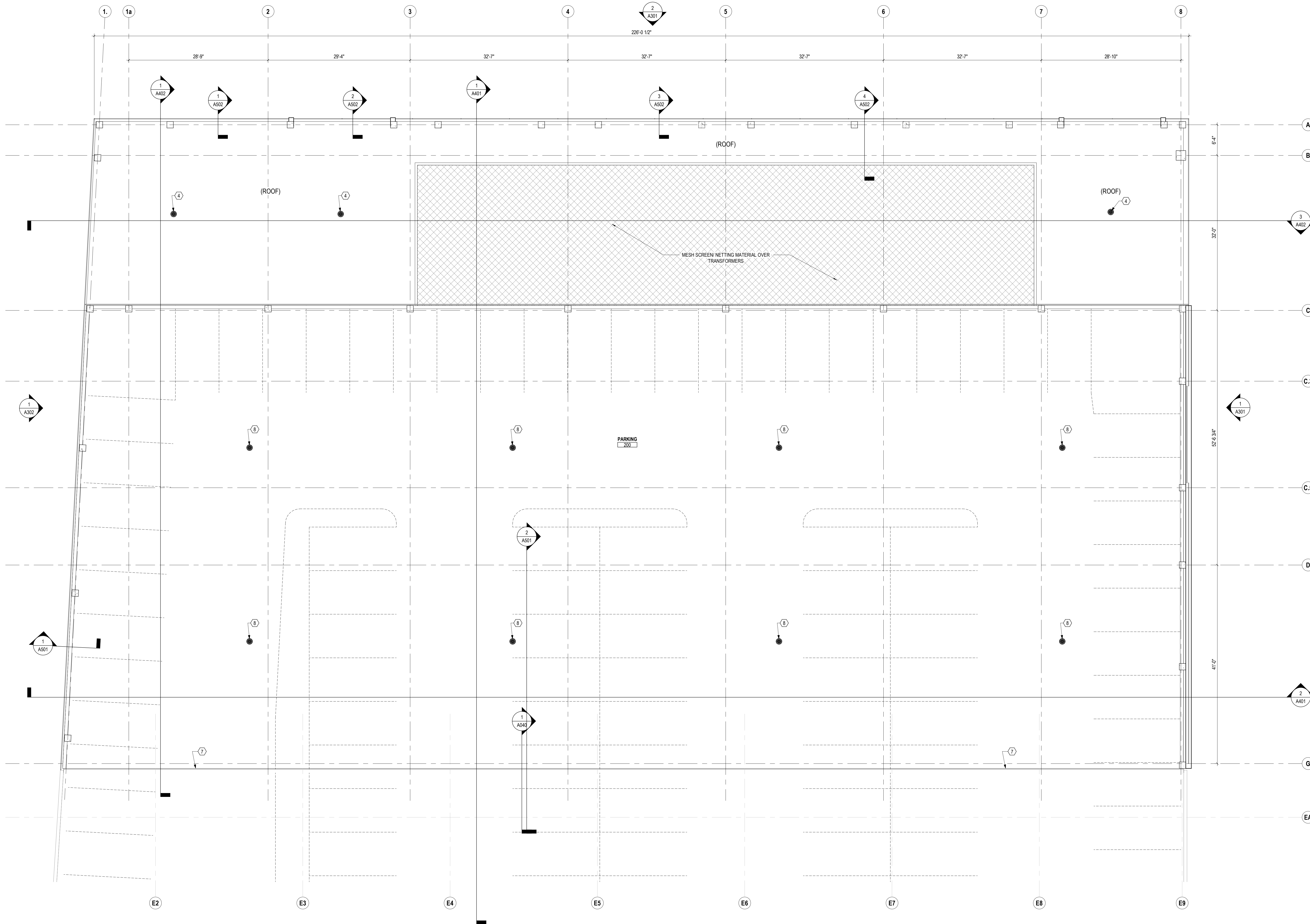
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MOODY-NOLAN

DRAWING TITLE:
SUBSTATION - FIRST FLOOR PLAN

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	18121
A101B	
100% CD SET	





1 PLAN PARKING LEVEL 2 - OVER SUBSTATION
 1/8" = 1'-0"

FLOOR PLAN GENERAL NOTES

1. ALL DIMENSIONS ARE TO FACE OF WALL (UNLESS NOTED OTHERWISE).
2. ALL WALLS TO BE CAST-IN-PLACE CONCRETE, U.N.O.
3. SEE STRUCTURAL DRAWINGS FOR LOCATIONS OF ALL STEEL REINFORCING IN WALL & FLOOR CONSTRUCTION.
4. SEE FINISH SCHEDULE FOR ADDITIONAL INFORMATION OF LOCATIONS AND TYPES OF FINISH MATERIALS.
5. SEE ELEVATIONS AND STRUCTURAL DRAWINGS FOR LOCATIONS OF EXPANSION & CONTROL JOINTS. CONTRACTOR SHALL PROVIDE ADDITIONAL INTERIOR CONTROL JOINTS AS REQUIRED TO COMPLY WITH MAXIMUM SPACING REQUIREMENTS IN SPECIFICATIONS AND NATIONAL MASONRY INSTITUTE. SEE DETAILS ON **AXXX**.
6. MECHANICAL & ELECTRICAL EQUIPMENT SHALL BE ON HOUSEKEEPING PADS. PADS ARE TO BE PROVIDED BY THE TRADE SUPPLYING THE EQUIPMENT. SEE MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION. WORK TO BE COORDINATED THROUGH THE GENERAL TRADES CONTRACTOR. PADS 4" MIN. 4" THICK W/ W.F.F., UNLESS NOTED OTHERWISE).

CODED NOTE LEGEND

- ① EQUIPMENT, PROVIDED BY OWNER.
- ② SUMP PIT, SEE PLUMBING.
- ③ TRENCH DRAIN, SEE PLUMBING.
- ④ ROOF DRAIN, SEE CIVIL & PLUMBING.
- ⑤ FLOOR GRATE ACCESS HATCH.
- ⑥ WALL LADDER.
- ⑦ EXPANSION JOINT COVER.
- ⑧ FLOOR DRAIN, SEE PLUMBING.

RATED WALL LEGEND

- NON-RATED SMOKE RESISTIVE PARTITION TO DECK
- 1 HOUR FIRE RATED PARTITION TO DECK
- 2 HOUR FIRE RATED PARTITION TO DECK
- 3 HOUR FIRE RATED PARTITION TO DECK
- 4 HOUR FIRE RATED PARTITION TO DECK

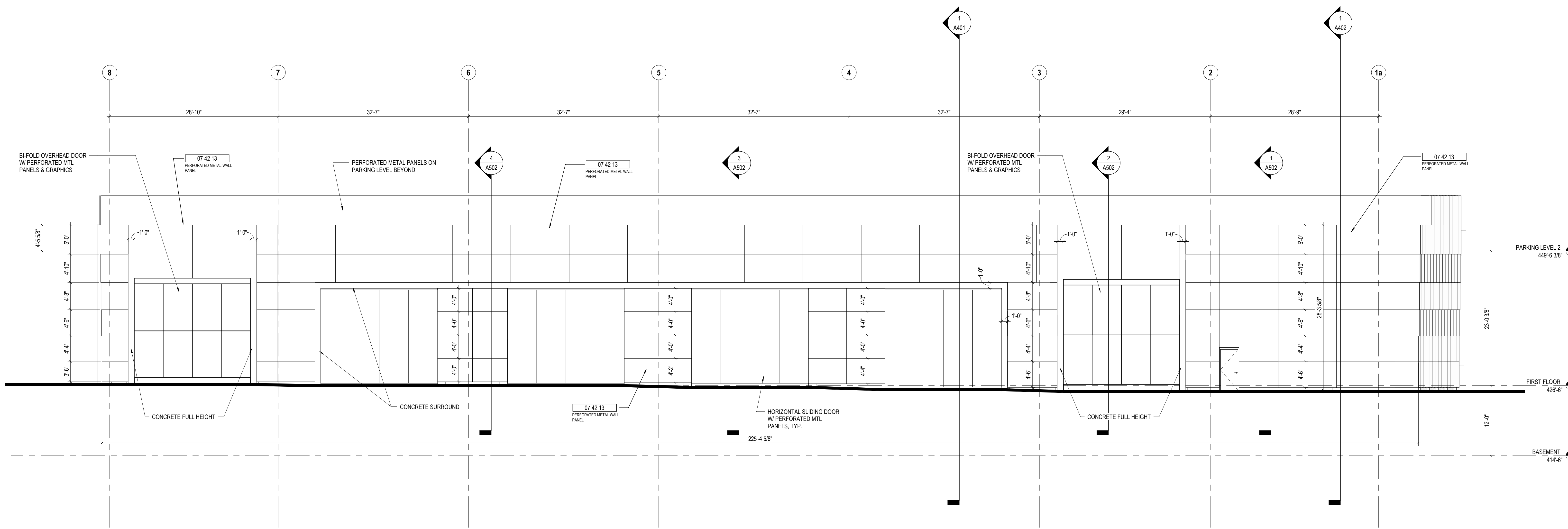
#	DATE	CHANGE DESCRIPTION

11th Avenue Substation & Parking Expansion
 11th Avenue N & Hynes Street, Nashville, TN 37203
NES Nashville Electric Service
 1625 BROADWAY
 4TH FLOOR
 NASHVILLE, TN 37203
 PHONE: (615) 386-9690
 FAX: (615) 386-0528

DRAWING TITLE:
PARKING LEVEL 2 PLAN - OVER SUBSTATION

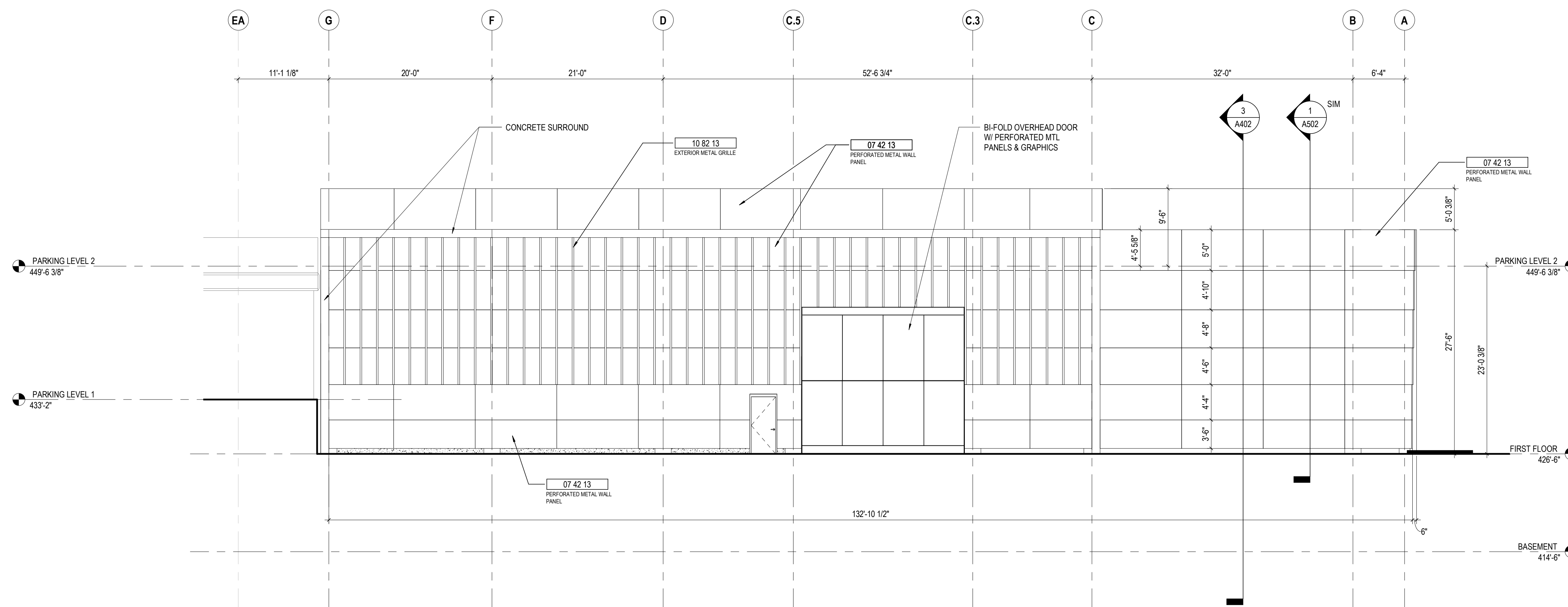
11/14/2018
 DRAWN BY: XXXX CHECKED BY: XXXX
 18121
A102A
 100% CD SET

PROGRESS DRAWING NOT FOR CONSTRUCTION



(NOTE: REFER TO CIVIL DRAWINGS FOR FENCE DETAILS.)

2 ELEVATION EAST - OVERALL
1/8" = 1'-0" REF: 1 / A101



1 ELEVATION SOUTH - SUBSTATION
1/8" = 1'-0" REF: 1 / A101

KEYNOTE LEGEND

KEY VALUE	KEYNOTE TEXT
07 42 13	PERFORATED METAL WALL PANEL
10 82 13	EXTERIOR METAL GRILLE

#	DATE	CHANGE DESCRIPTION

11th Avenue Substation & Parking Expansion
 11th Avenue N & Hynes Street, Nashville, TN 37203
NES Nashville Electric Service

MOODY-NOLAN
 1625 BROADWAY
 4TH FLOOR
 NASHVILLE, TN 37203
 PHONE: (615) 386-9690
 FAX: (615) 386-0528

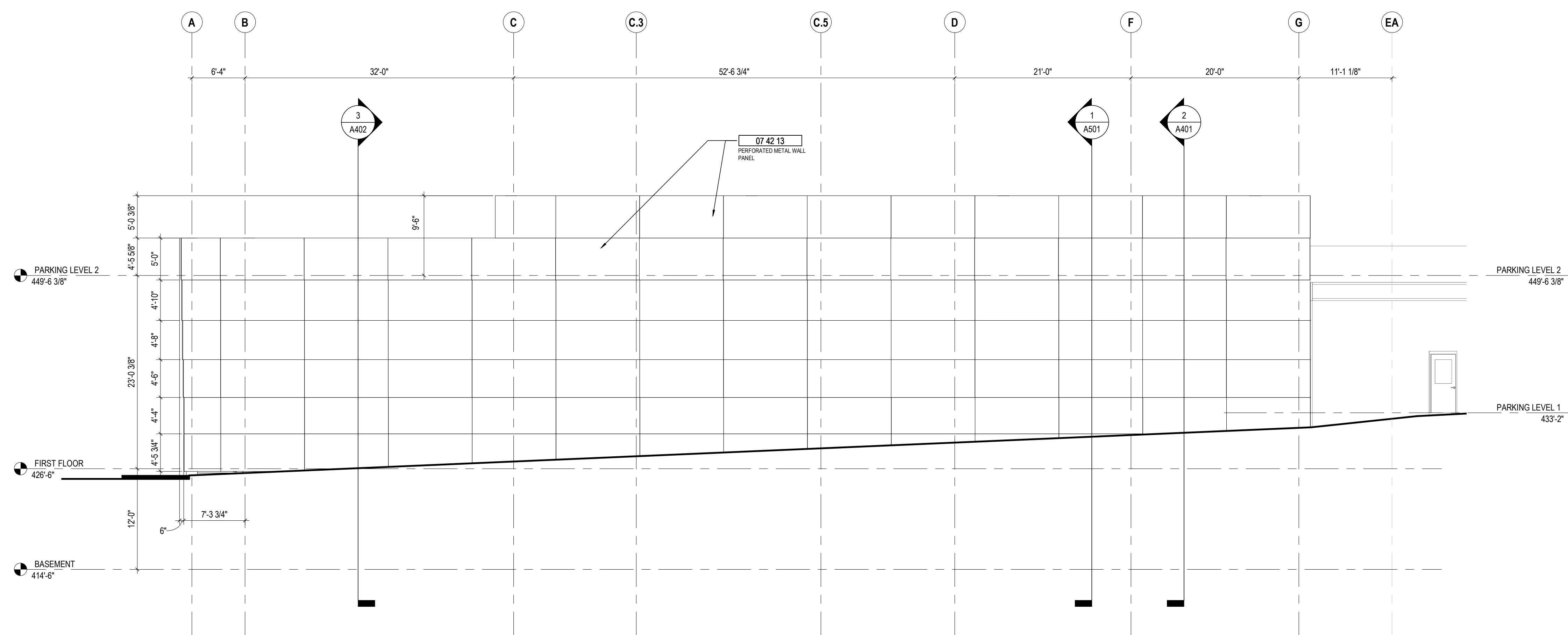
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EXTERIOR ELEVATIONS

PROGRESS DRAWING NOT FOR CONSTRUCTION	11/14/2018
	DRAWN BY: JT CHECKED BY: AL
	18121

A301

100% CD SET



1 ELEVATION NORTH - SUBSTATION
 1/8" = 1'-0" REF: 1 / A101

KEYNOTE LEGEND

KEY VALUE	KEYNOTE TEXT
07.42.13	PERFORATED METAL WALL PANEL

#	DATE	CHANGE DESCRIPTION

11th Avenue Substation & Parking Expansion
 11th Avenue N & Hynes Street, Nashville, TN 37203
 for
NES Nashville Electric Service

1625 BROADWAY
 4TH FLOOR
 NASHVILLE, TN 37203
 PHONE: (615) 386-9690
 FAX: (615) 386-0528

MOODY-NOLAN

DRAWING TITLE:
EXTERIOR ELEVATIONS

PROGRESS DRAWING NOT FOR CONSTRUCTION	11/14/2018	
	DRAWN BY: JT	CHECKED BY: AL
	18121	
	A302	
100% CD SET		