



Downtown Code DRC Meeting of 06/06/2019

Item # 2

Request
Project Name
Council District
Requested by

Modifications to DTC Standards

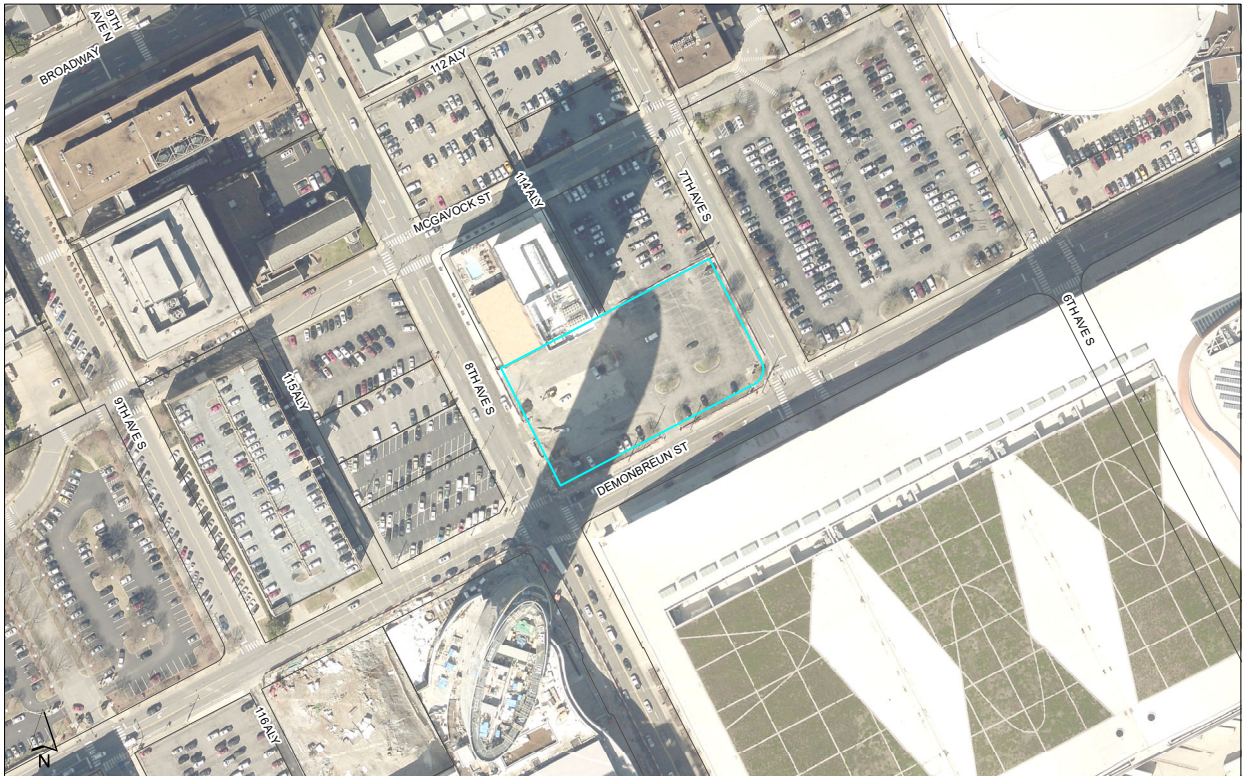
Embassy Suites / 1 Hotel

19 – O’Connell

Joseph F. Pitchford, applicant; 7th Avenue Nashville Hotel Owner LLC, owner.

Staff Recommendation

Reapprove modifications to floor-to-floor heights and projecting sign standards; disapprove modification to the step-back.



1 inch = 100 feet



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APPLICANT REQUEST

A request to reapprove previously approved modifications to the floor-to-floor height, step-back location, and projecting sign standard of the DTC for a previously approved project with modifications located at 710 Demonbreun Street (1.31 acres), within the Sobro subdistrict.

BACKGROUND

The project previously went before the DTC DRC in 2016 and received modifications to standards of the DTC. A final site plan was submitted and approved and building permits were sought and approved. Staff has been made aware that although all plans approved by Planning were in harmony with those submitted to the DTC DRC, elevations submitted to other agencies for approval featured unauthorized changes to materials. The project is coming back before the DTC DRC as the design has been significantly revised.

PROJECT PROPOSAL

The proposed project consists of dual flag hotel (1 Hotel and Embassy Suites) on approximately 1.31 acres, with 721 total guestrooms. The 1 Hotel tower is proposed at 17 stories and located at the corner of 8th Avenue South and Demonbreun. The Embassy tower is proposed at 30 stories is located at the corner of 7th Avenue South and Demonbreun. Joining the two towers is a podium with ground floor restaurant and lobby area.

DTC MODIFICATION REQUEST SUMMARY

1. Floor-to-floor Height Maximum

- Required: 25' maximum floor-to-floor height for 1st, 2nd and top story, 18' maximum floor-to-floor height for other floors.
- Previously approved: Modifications to the 1st, 3rd and 26th story. 26'-1" height for 1st story, 34'-6" height for the 26th story, 32'-0" height for 3rd story.
- Proposed: Modifications to the 3rd story. 40'-3" height for 3rd story.

2. Floor-to-floor Height Minimum

- Required: 10'-0" minimum upper floor height for storefront frontage.
- Previously approved: 9'-6" floor height for floors 6 to 27.
- Proposed: 9'-6" floor height for floors 6 to 27.

3. Step-back

7th Avenue South

- Required: 15' step-back between the 4th and 8th stories
- Previously approved: 10' step-back at the 7th story.
- Proposed: 8' step-back at the 7th story.

8th Avenue South

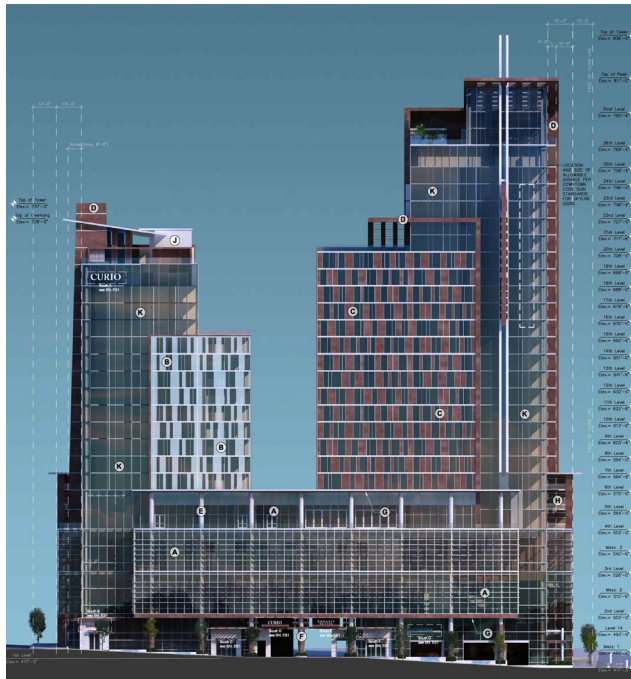
- Required: 15' step-back between the 4th and 8th stories
- Previously approved: step-back varies, minimum 7' step-back at the 7th story.
- Proposed: 10' step-back at the 7th story.

4. Projecting Sign

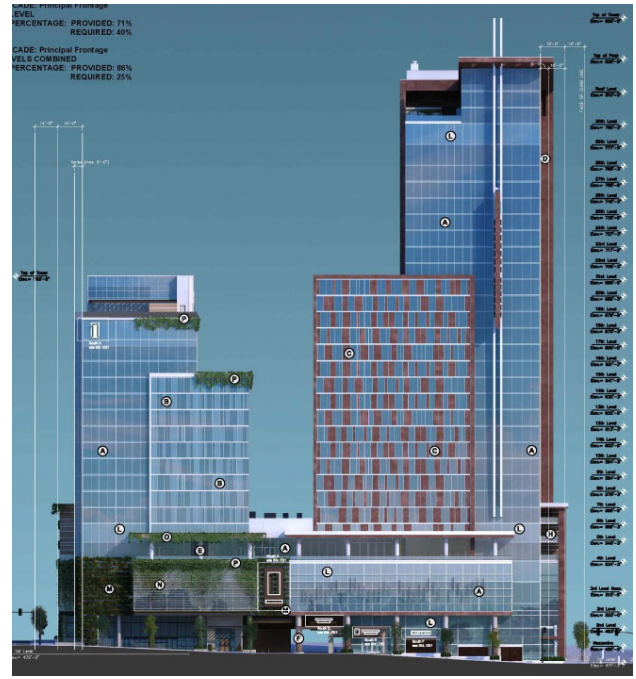
- Required: 20' maximum height and 6' maximum projection
- Previously approved: 275' maximum height and 8.5' maximum projection
- Proposed: 275' maximum height and 8.5' maximum projection



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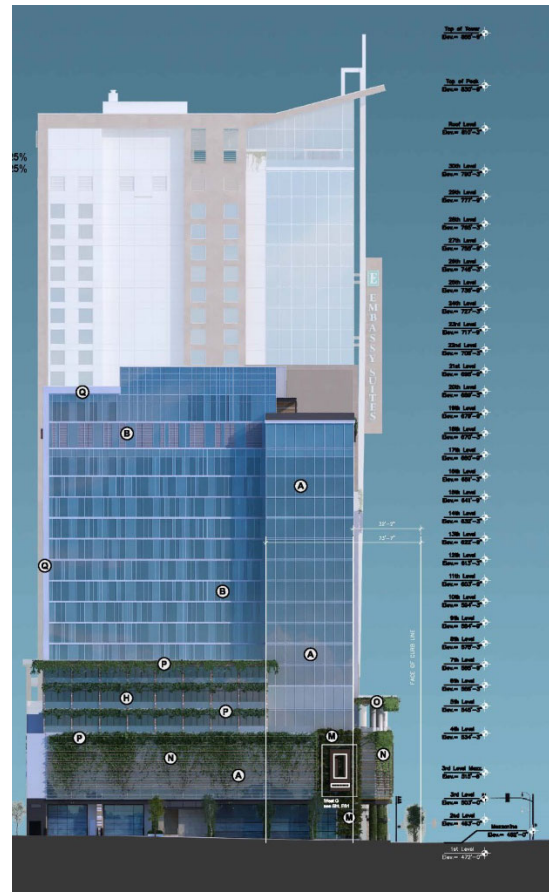
Previous South Elevation (Demonbreun frontage)



New South Elevation (Demonbreun frontage)



Previous West Elevation (8th Avenue S. Frontage)



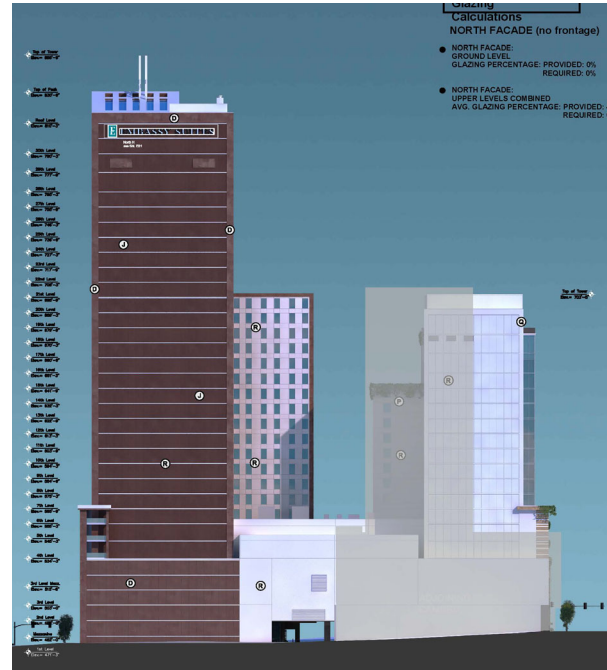
New West Elevation (8th Avenue S. Frontage)



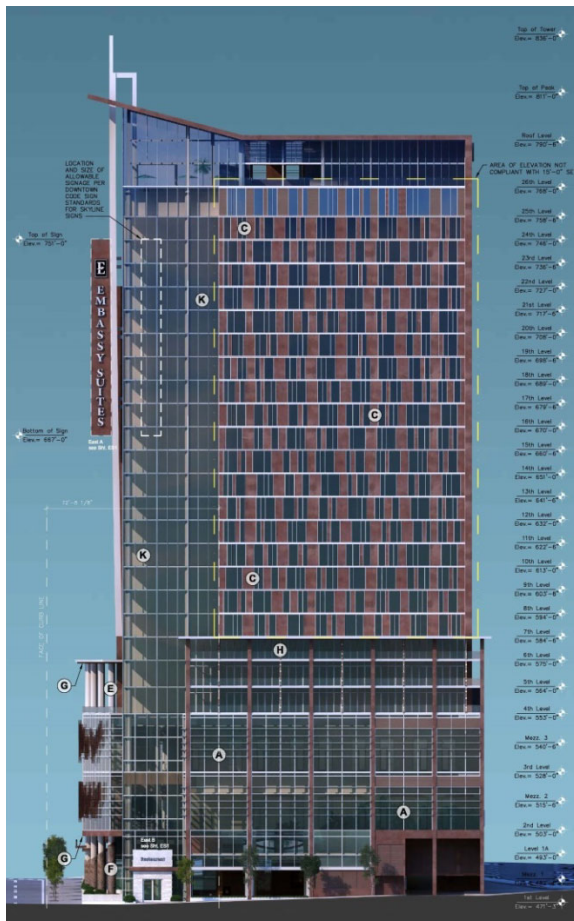
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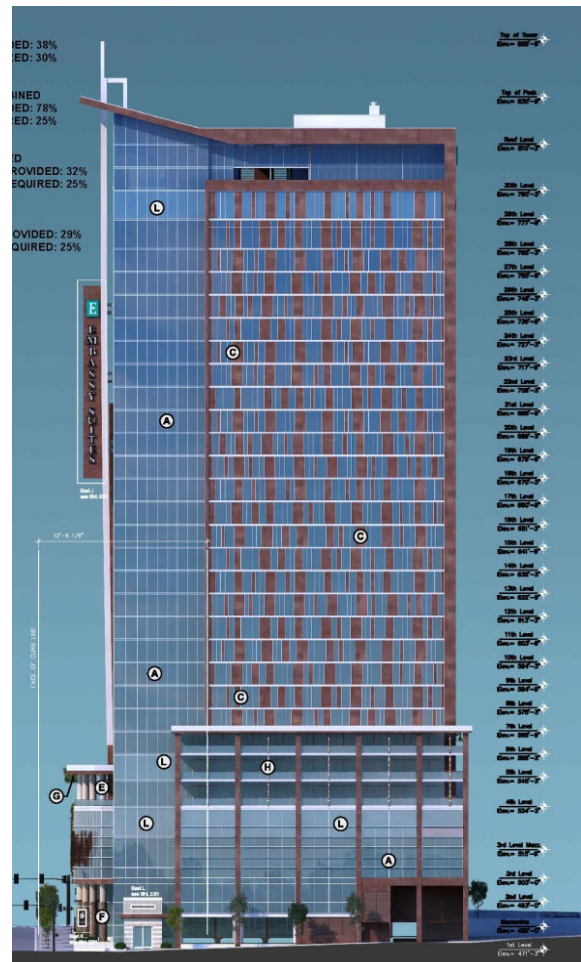
Previous North Elevation (Cambria façade shown)



New North Elevation (Cambria façade shown)



Previous East Elevation (7th Avenue S. frontage)



New East Elevation (7th Avenue S. frontage)

Calculations
 NORTH FAÇADE (no frontage)
 ● NORTH FAÇADE, GROUND LEVEL: PROVIDED: 0% REQUIRED: 0%
 ● NORTH FAÇADE, UPPER LEVELS COMBINED: PROVIDED: 0% REQUIRED: 0%

ED: 38%
 ED: 30%
 ED: 78%
 ED: 25%
 PROVIDED: 32%
 REQUIRED: 25%
 PROVIDED: 29%
 REQUIRED: 25%



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MAJOR REVISIONS

Western Tower Facade

The western tower has changed brands from the Curio Collection to 1 Hotel and the applicants have changed the design of that tower and podium to accommodate that new brand.

The tower's massing has changed including a reduction of the step-back by approximately 2'. In addition, the lower portion of the tower and several terraces will have greenery installed. The greenery is evergreen and will be "grown-out" prior to installation in order to have the green appearance be immediate, not reliant on several years of growth to mature.

Staff views the changes and addition of the greenery as positive and in keeping with the intent of the DTC, as the design creates visual interest and features a strong human-scale streetscape.

Expansion of EIFS

The previously approved plans included E.I.F.S. as a building material on the northern facade, with the majority concealed behind the adjacent Cambria hotel. The material was located in less visible areas, kept away from facades of prominence and monumentality.

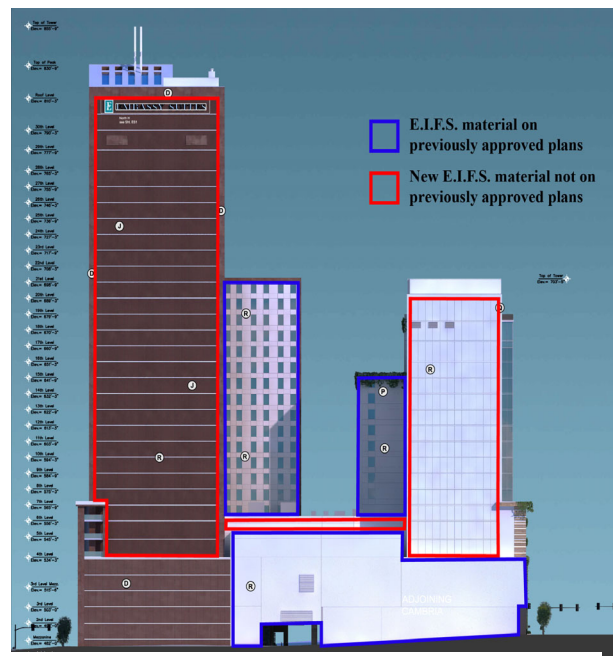
The new plans dramatically expand the use of E.I.F.S., particularly in areas of prominence, such as the eastern tower and portions of the western tower that are not effectively screened by the Cambria Hotel. Previously, the material of that facade was proposed to be a metal panel system, which is featured on other sides of the facade. While Planning staff is certainly aware of the well-documented water infiltration issues of defective E.I.F.S. installation, even facades that are properly treated with E.I.F.S. material can be easily damaged and often appear dated within mere years of installation. The modification to the step-back for both 7th Avenue South and 8th Avenue South increases the amount of visible E.I.F.S. on the building.



Western Tower Revised Perspective



Demonbreun Street-level Perspective



Expansion of E.I.F.S. on North Façade



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The expansion of E.I.F.S. on the western tower would occur on portions of the building that face the Cambria Hotel, which is set back significantly from 8th Avenue South. As the Cambria steps back, the E.I.F.S. material, colored “Incredible White” will be quite perceptible to passersby.

The expansion of E.I.F.S. on the eastern tower occurs on the north façade, which faces an interior lot line, but rises to 30 stories. The applicants are proposing that the lower 65’ of the façade remain as metal panel system, but the remainder of the façade be E.I.F.S.



Cambria and 1 Hotel from 8th Avenue South

The revised height of the tower has increased, placing it in a tier occupied by other high-rises like the J.W. Marriott, the Sobro and the Westin. These buildings will remain prominent fixtures of Nashville’s skyline for decades to come and Planning staff is concerned that the north façade of the western tower will not weather and age in a way that is flattering to Nashville’s growing skyline. Planning staff has requested the applicants bring samples of the materials to this meeting for the benefit of the DRC.

STAFF RECOMMENDATION

As the modification to the step-back increases the surface area of E.I.F.S. exposed, staff is recommending disapproval of that modification. Staff would support all requested modifications if materials shown on previously approved plans were to be restored. Staff recommends re-approval modifications to the floor-to-floor heights and projecting sign standards, disapproval of modification to the step-back.