

May, 2, 2019

Mr. Eric Hammer  
Metropolitan Nashville Planning Department  
Metro office Building  
800 Second Avenue South  
Nashville, TN 37210

Re: Application Number 2017 DTC-001-001  
DTC Modifications for Embassy Suites and 1 Hotel, property located at 710  
Demonbreun Street, Parcel 09310048400, SoBro Subdistrict, Nashville, TN

Dear Eric,

This letter of purpose indicates the reason for requesting modification and our compliance with the intent of the DTC.

Since receiving approval from the Downtown Code Design Review Committee (DTC DRC) on 12/1/2016 this project has continued to evolve. The previous Curio Hotel brand has been changed to a 1 Hotel.

### **Section One: Introduction**

We believe that this is an upgrade from the previous brand bringing to Nashville an upscale hotel brand which is currently found only in New York City, Brooklyn, Los Angeles and Miami Beach.

The 1 Hotel brings with it a commitment to basing its design, construction and operational decisions on sustainability, environmental impact, advocacy, education and engagement. It stresses human health and wellbeing thru air and water filtration systems, biophilic design principles and the use of natural materials throughout the hotel. This is a truly eco-friendly hotel in every aspect whose motto says it all; Earth Day, every day.



Each of the three street front facades are designed to be pedestrian-oriented with appropriate scale and massing. Along with the generous amount of outdoor seating terraces provided, this will engage the pedestrians to the greatest degree possible on the property. This will surely make the pedestrian experience more socially vibrant, safer and entertaining.

### **Section Two: Subdistrict Standards**

The SoBro Subdistrict: Building Regulations

We haven't changed the required zones along Demonbreun Street, Eighth Avenue South or Seventh Avenue South from what was previously presented and approved.

### **Section Four: General Standards**

We are not requesting any changes to the modifications approved on 12/1/16 which included the floor to floor heights, the building step back standards along 7<sup>th</sup> Avenue South, and the projecting sign for the Embassy Suites or to the conditions which that approval required. We are also not requesting any changes to the dock location that was approved on 03/12/18.

Fenestration and Glazing:

The existing design for the Embassy Suites and the new design for the 1 Hotel continue to maximize the amount of glazing on the First through the Fourth floors.

Street Character:

With the 1 Hotel's emphasis on Green design, the infusion of planting materials on the façade, columns and at the patio level will greatly increase the street character and pedestrian appeal over what was previously presented from the Curio Hotel. The Lobby, Bar and Restaurant will visibly demonstrate their eco-friendly commitment at the street level. The active nature of the ground floor activities will spill out onto the terraced seating areas.

### **Section Five: Sign Standards**

We are not requesting any changes to the approved signage for the Embassy Suites. The 1 Hotel signage will fall within the signage requirements which were previously met under the Curio submission.

### **Additional items:**

As the project has continued to evolve during the past three years some small design changes have come about in order to get the project financed. We have purposely retained the street facades for the Embassy Suites and have radically upgraded the street facades of the 1 Hotel. That being said the entirety of the street facades have seen a marked expensive improvement.

The North façade which is internal to the site partially backs up against the newly completed Cambria Hotel. The Embassy North façade is close to the property line and was designed to express the look of guitar frets by emphasizing each floor level. The skin was originally proposed to be a tile rainscreen, but in the course of three years of development, we have shifted to an EIFS material which still emphasizes the guitar frets.

This is the way the construction documents were submitted for building permit and approved. At that point, we hadn't yet updated the colored elevations to match the building permit set. Those older elevations were inadvertently included in the site plan submittal by the civil engineer.

The North wall was changed to EIFS which will closely match the color of the metal panel which still wraps the corners of the tower. The EIFS provides us with a superior insulation value on the North façade and allows us to keep a similar visual appearance from the pedestrian perspective as little as 100' away.

**Proposal:**

We are proposing reintroducing the metal panel on the North wall of the Embassy up to a height of 63' in order to provide those pedestrians walking South on 7<sup>th</sup> Avenue the perspective of the building being wrapped in the metal panel.

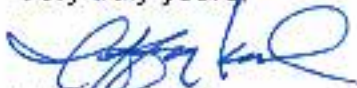
This height is above the pedestrians normal relaxed viewing angle of 15 degrees from 200' away so the pedestrian should not normally interact with the details visually above that height during a normal walk down the street.

The metal panel base will complete the tower element above. The inland connection to the alley will remain EIFS as it is a distance from the pedestrians along 7<sup>th</sup> Avenue and not even visible from 8<sup>th</sup> Avenue because of the existing Cambria building.

**Summary:**

We believe that these proposed modifications fulfill the spirit of the DTC and will not negatively affect the overall appearance of the building. It has been our goal from the beginning to provide the City of Nashville a building design that reflects the heart and soul of the SoBro district.

Very truly yours,



LK - Architecture



May 1, 2019

Mr. Eric Hammer  
Metro Nashville Planning Department  
800 Second Avenue South  
Nashville, TN 37210

Project: Embassy & 1Hotel Building  
Project Location: 710 Demonbreun Street, Nashville, TN 37203  
LK Project No: 16181  
Reference #: 2017DTC-001-001

Dear Mr. Hammer,

There has been some discussion of Exterior Insulated and Finish Systems (EIFS) as an inferior product. Much of that image is derived from the extensive legal issues due to water infiltration as its use expanded with wood buildings in the late 1980s. The primary issues resulted from poor detailing and installation. Additionally, once moisture entered the system, there was no avenue for it to escape.

Today, EIFS is a respected and widely used quality product that offers many advantages. First, the industry now has certified installers. These individuals are experts in the proper system installation and details. Most EIFS companies are now providing a drainable system which is what we have specified. It allows any moisture that gets into the system to be drained or vented away. With energy consumption becoming more important, EIFS provides the desired continuous insulation on the building façade needed to reduce the effect of outdoor air temperatures on the interior environment.

While EIFS is less expensive than some other exterior materials, it is a quality product comparable with other exterior systems. While maintaining a structurally manageable weight, the system offers several finish options. It can achieve the true look of stone, brick, or metal panels with less structural support. The system allows for accents to be easily integrated into the product allowing for design flexibility. In our case, we are providing a color pallet matching the Corten color and accent grooves matching the metal panel sizes. We are also maintaining the banding inferring imagery of a guitar "fret". We are continuing the metal panel system around the corner to keep the corner application straight and clean. At the height we are proposing, it will be extremely difficult to distinguish the EIFS from the metal panel rainscreen. This is especially true as this is proposed on the north façade of the building.

For the application on the north façade, the design of an EIFS system makes a lot of sense. This particular façade is backed by a concrete structural wall for the majority of the area. Continuous insulation is extremely important as there is no insulated cavity wall behind that can help mitigate the thermal bridging. The EIFS system greatly reduces the number of heat transfer points from structural connections of the exterior skin. This translates into a more energy efficient and comfortable building for the owner. As our project will be LEED certified, this is very important. Finally, the EIFS system is also a lower maintenance material and has less opportunity for failure than the rainscreen system. It doesn't have the many assembly supports and parts required in the rainscreen system. The north facades are very near the property line making it challenging to repair if needed. Reducing the potential for costly repairs on this façade is good design. This is demonstrated by the adjacent Cambria hotel which is very near our façade and blocks a majority of it from view.

Please contact me if you have any questions or need additional information.

Sincerely,

LK Architecture, Inc.



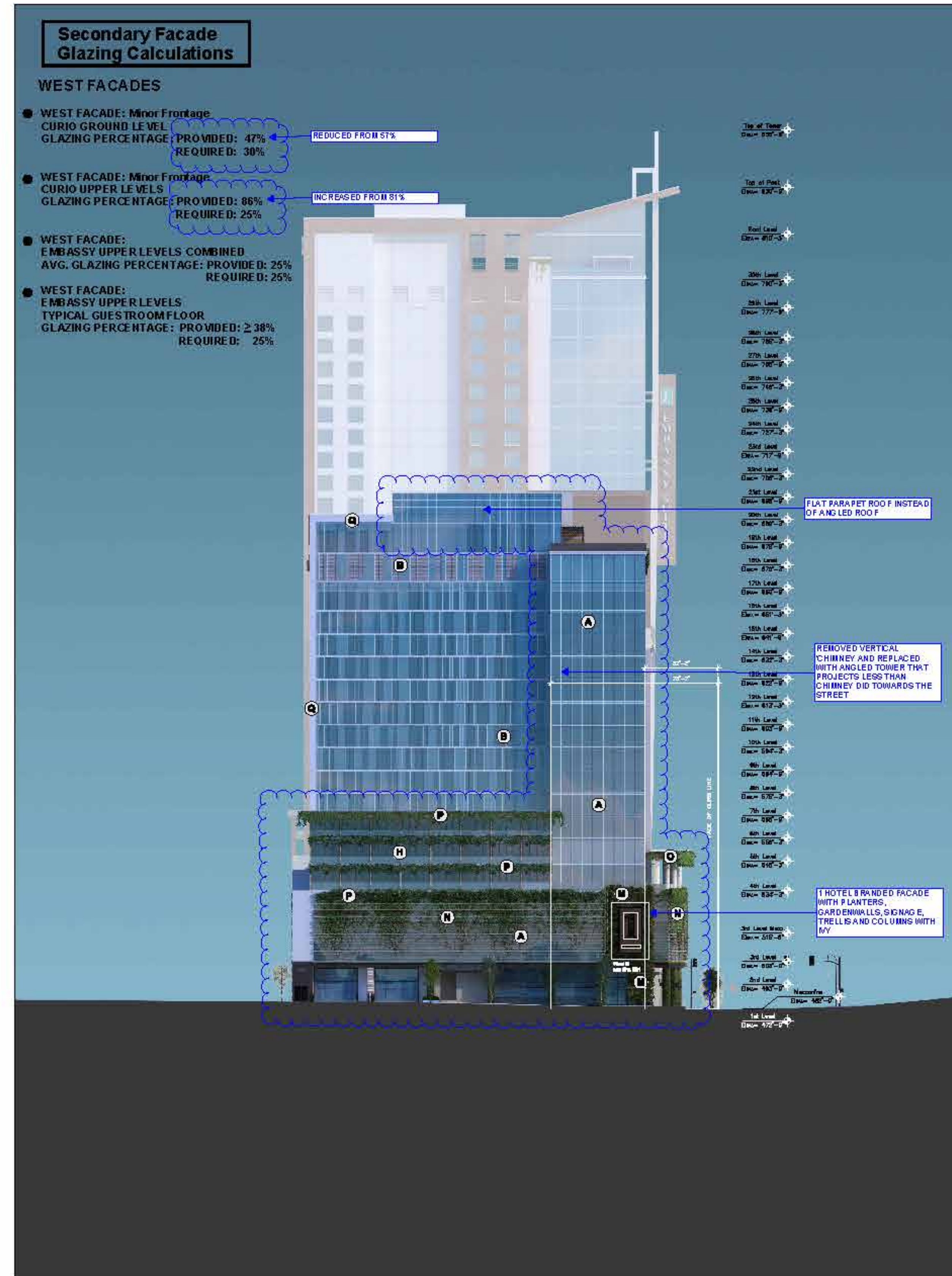
Jeff Koob, AIA

Co: Nate Hinson, Garrett Rome, Garret Swaldi





**A SOUTH ELEVATION**  
1/32" = 1'-0" (24X36 PRINT)

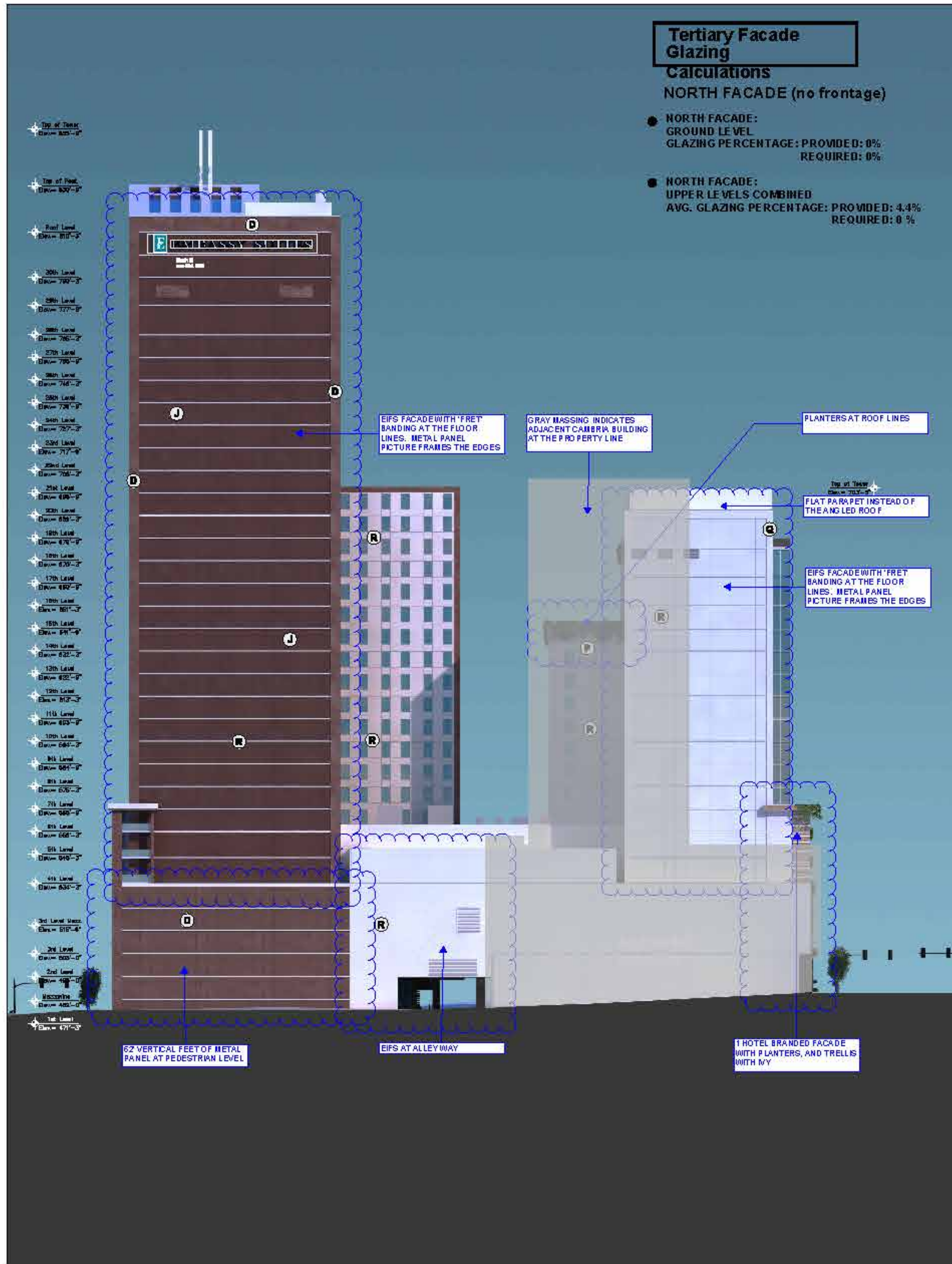


**B WEST ELEVATION**  
1/32" = 1'-0" (24X36 PRINT)

### Material Legend

- A** - Curtain Wall Glazing System with Clear Glass.
- B** - Curtain Wall Glazing System with Clear and Reflective Glass.
- C** - Curtain Wall Glazing System with Clear Glass and Corten Look Metal Panel.
- D** - Corten Look Metal Panel System.
- E** - Painted Concrete Columns.
- F** - Corten Column Wraps.
- G** - Wood-Look Soffit.
- H** - Wood-Look Slats.
- J** - E.I.F.S. to Match SW 6090 Java
- K** - Curtain Wall Glazing System with Reflective Glass.
- L** - Spandrel Glass.
- M** - GreenWall
- N** - Curtain Wall Glazing System with Wood-Look Horizontal Sun-Shade.
- O** - Wood-Look Trellis and Planter.
- P** - Planter.
- Q** - White Metal Panel.
- R** - E.I.F.S. to Match SW 7028 Incredible White.





**A NORTH ELEVATION**  
1/32" = 1'-0" (24X36 PRINT)



**B EAST ELEVATION**  
1/32" = 1'-0" (24X36 PRINT)

## Material Legend

- A** - Curtain Wall Glazing System with Clear Glass.
- B** - Curtain Wall Glazing System with Clear and Reflective Glass.
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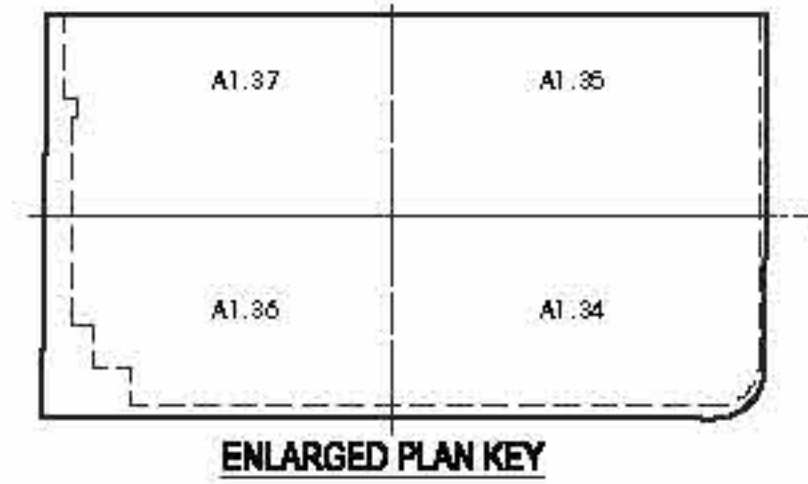


**SYMBOL LEGEND**



**BICYCLE PARKING** PER ORDINANCE NO. BL2014-714

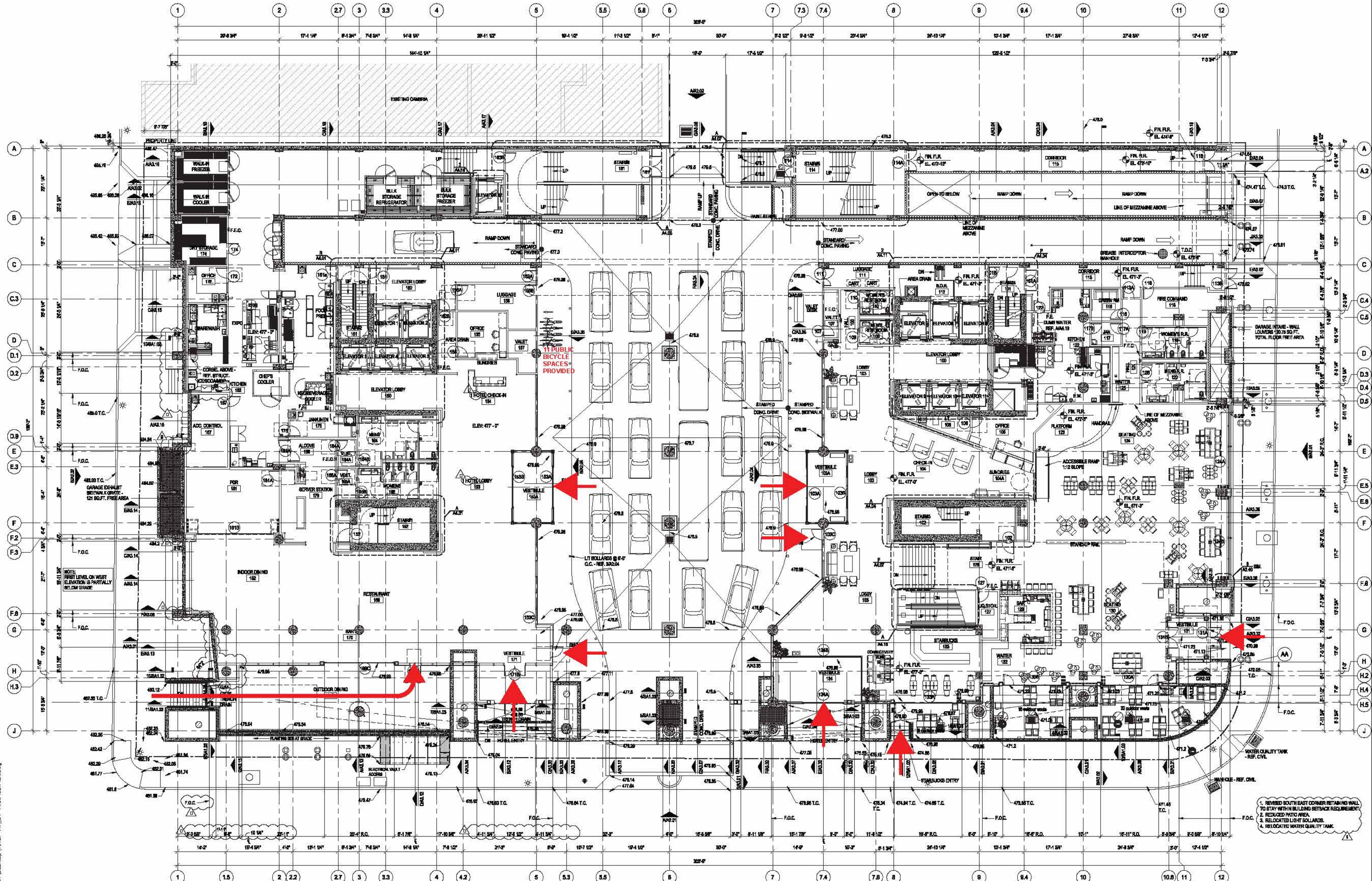
SPACE	USE	SPACES REQUIRED	SPACES PROVIDED
EMBASSY 1ST FLOOR RESTAURANT	RESTAURANT (FULL SERVICE)	4	4
CURIO 1ST FLOOR RESTAURANT	RESTAURANT (FULL SERVICE)	4	4
EMBASSY 1ST FLOOR STARBUCKS	MERCHANTILE	2	2
2ND FLOOR OFFICES	GENERAL OFFICE	2	2
CURIO 18TH FLOOR RESTAURANT	RESTAURANT (FULL SERVICE)	4	4
* Per Section 1, Sub-section B - "A minimum of two publicly available bicycle spaces shall be provided for every user" 3 uses listed in table above = 6 bicycles spaces required. 11 public bicycles spaces provided			16
* Remaining 5 bicycle spaces required are provided on parking garage Level B1.			Total



- GENERAL PLAN NOTES:**
- ALL DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD UNLESS NOTED OTHERWISE. DIMENSIONS NOTED F.O.C. ARE TO THE FACE OF CONCRETE.
  - SEE SHEET A1.04 THROUGH A1.35 FOR LARGE SCALE GUESTROOM PLAN.
  - SEE SHEET A1.34 THROUGH A1.32 FOR PUBLIC AREA LARGE SCALE PLAN.
  - SEE SHEET A1.04 - A1.06 FOR FINISH SCHEDULE.
  - SEE SHEET A1.04 - A1.06 FOR DOOR SCHEDULE & TYPES.
  - SEE SHEET A1.04 - A1.06 FOR WINDOW TYPES.
  - SEE SHEET A1.02 FOR PARTITION TYPES.
  - TYPICAL BATH DESIGNATION:  
 [Symbol] HOTEL GUESTROOM NO. PLAN TYPE - REF. GUEST ENLARGED PLANS  
 [Symbol] HOTEL GUESTROOM NO. PLAN TYPE - REF. GUEST ENLARGED PLANS
  - SEE SHEET A1.01, A1.04, A1.07 AND A1.08 FOR ENLARGED STAIR PLANS.
  - OPTIONAL BOARD BEHIND BATH TUBS, SHOWERS & PUBLIC REST ROOM LAVATORY WALLS & URINALS: CEMENT, FIBER-CEMENT OR GLASS MAT GYPSUM BOARD TO COMPLY WITH ASTM C 1396 OR 1398. BOARD BEHIND TUBS & SHOWERS SHALL BE 1/2" THICK. BOARD BEHIND LAVATORY WALLS & URINALS SHALL BE 5/8" THICK. BOARD BEHIND TUBS & SHOWERS SHALL BE TO BE MOIST RESISTANT GYPSUM BOARD.
  - MOLD RESISTANT GYP. BO TO BE USED IN ALL WET AREAS, INCLUDING, BUT NOT LIMITED TO WALLS IN PRIVATE BATHROOM; PUBLIC RA. ALSO TO BE USED AS FLOOR FINISH WALLS AND ROOF RIMS. FIBER CEMENT BOARD TO BE USED IN ALL MOLD RESISTANT GYP. BO. AS DIRECTED CLIENT/DC.
  - REFER TO ID DRAWINGS FOR FINISH, FURNITURE, EQUIPMENT AND ACCESSORY INFORMATION.
  - NO CHANNELS AND SOUND CONTROL ARE REQUIRED AT GUESTROOM DORMING WALLS AND CORRIDOR WALLS - REF. 290.2B AND 290.2C.
  - FLOORING IS REQUIRED AT ALL WALL AND CEILING MOUNTED ITEMS - REF. 300.00.
  - F.E.D. - FIRE EXTINGUISHER CABINET, REF. DET. 090.00.
  - F.S. - FIRE EXTINGUISHER WALL MOUNTED W/NO CHARGES.
  - CONTROL JOINTS ARE REQUIRED BETWEEN ALL FINISH CONCRETE TO DRYWALL TRANSITION, CEILING EXCEEDING 2000 SQ. FT. IN AREA AND WALL FINIS EXCEEDING 80 FT., REF. DET. 120.00.
  - REF. 14. ASSEMBLY SHEETS A1.34, A1.35, A1.36 & A1.37 FOR FIRE RATED CONSTRUCTION AND I.R. REQUIREMENTS.
- SYMBOL LEGEND:**
- [Symbol] FACE OF TUNNEL FORM
  - [Symbol] CENTER LINE OF TUNNEL FORM
  - [Symbol] CENTER LINE OF COLUMN

**ISSUED FOR CONSTRUCTION**

DATE	PURPOSE	NO.
10/31/16	PERMITS SET	1
11/03/16	DIC MODIFICATION	1
11/04/16	FOUNDATION ONLY - ISSUED FOR PERMIT	1
02/05/17	PERMIT SET	2
07/21/17	PROGRESS SET	3
08/25/17	ADDENDUM A	4
12/01/17	ADDENDUM C	5
08/31/18	AS-004	6
08/31/18	FOR CONSTRUCTION	7



EMBASSY SITES AND  
1 HOTEL  
1 DEMONBREON STREET  
NASHVILLE, TN



FOR REFERENCE ONLY



**PROGRESS PRINT**

NOT FOR CONSTRUCTION

DATE: 04/09/19  
 LKArchitecture, Inc.  
 345 Riverview Wichita, KS 67203  
 T 316.268.0230 F 316.268.0205  
 CONTACT: JEDD KOCH  
 DRAWN: NRH  
 CHECKED: NRH  
 PROJECT NUMBER:  
**16181**  
 SHEET TITLE:  
 FIRST FLOOR PLAN

**A F.F.E. = VARIES, REF. PLAN**  
**FIRST FLOOR PLAN**

Apr 09, 2019 - 2:34pm - USER: mifinson  
 C:\Users\mifinson\Desktop\16181-A1\_04-FirstFloorPlan.dwg





**A** PERSPECTIVE LOOKING NORTHWEST  
NTS





**A** NTS PERSPECTIVE LOOKING NORTHWEST





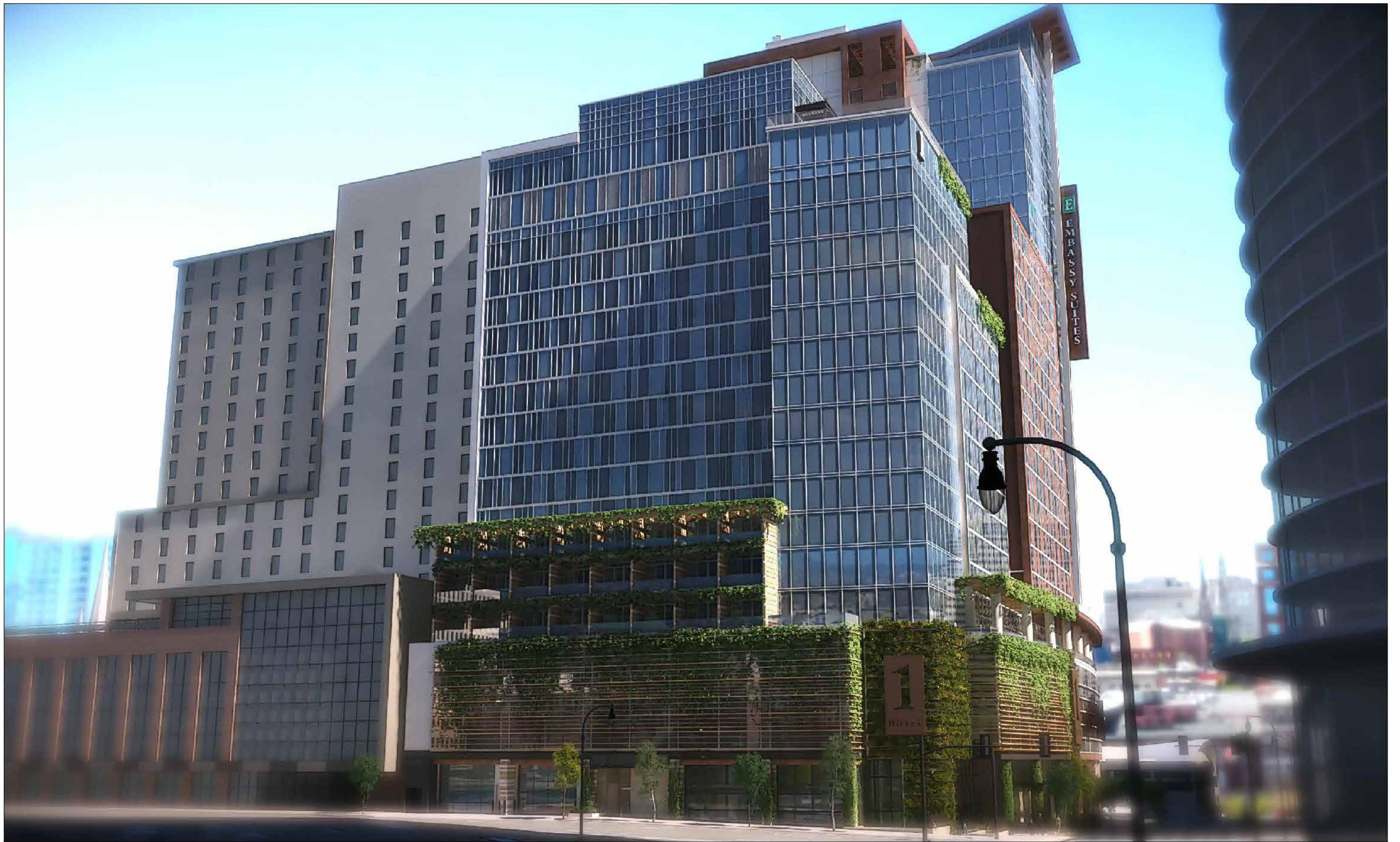
**A** PERSPECTIVE LOOKING NORTH  
NTS





**A** PERSPECTIVE LOOKING NORTHEAST  
NTS





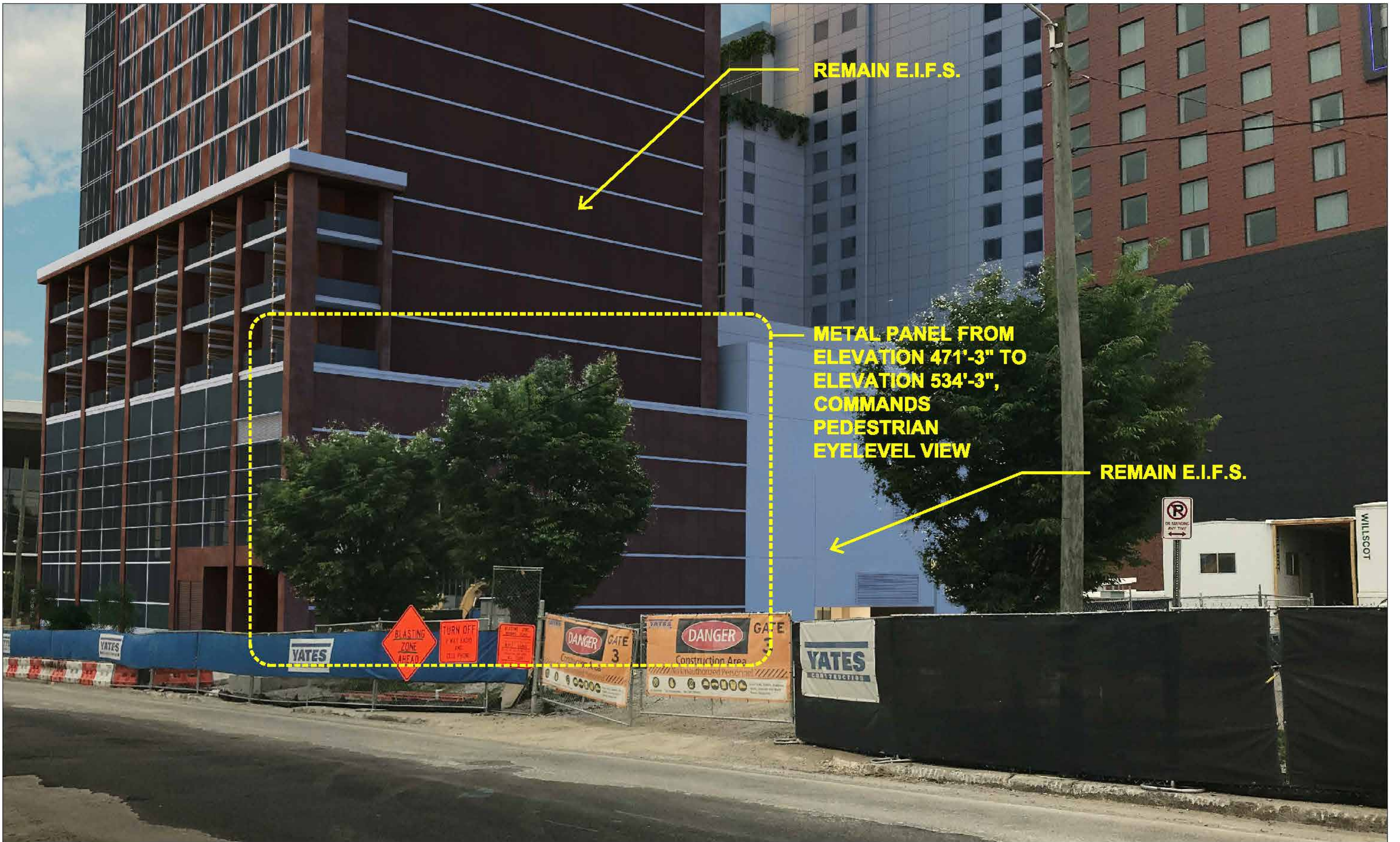
**A** PERSPECTIVE LOOKING EAST  
NTS





**A** PERSPECTIVE LOOKING NORTHEAST  
NTS





**A** PERSPECTIVE LOOKING SOUTHWEST  
NTS



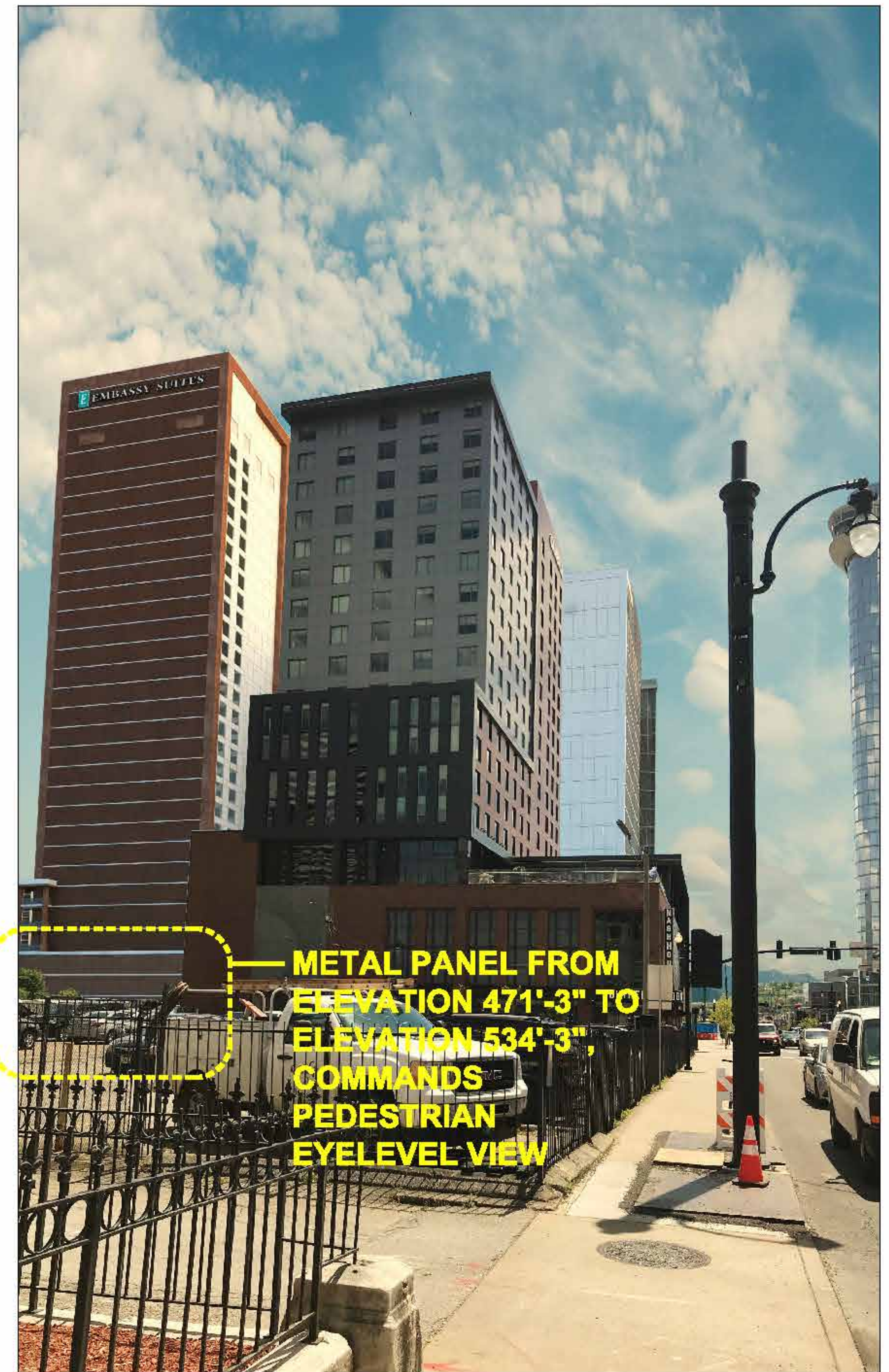


**A** PERSPECTIVE LOOKING SOUTH  
NTS





**A** PERSPECTIVE LOOKING SOUTHWEST  
NTS



**B** PERSPECTIVE LOOKING SOUTH  
NTS





April 24, 2019

Nate Hinson, Associate AIA, LEED AP  
Project Manager - Hospitality  
LK Architecture, Inc.  
345 Riverview, Suite 200  
Wichita, KS 67203

Nate:

This letter is to describe and confirm the growth phase installed on greenwall projects by AgroSci. Once contracted, AgroSci and client determine an approximate installation window and based on the species of plants involved in the project, will back time off from that window to schedule time for contracted plant grow out.

"Grow out" for the plants is a contract for time and space with the growers in order to have the plants reach a "ready state" for installation. Ready state is the stage in which the plant will be in a mature visual and size appearance in order to provide an "instant" and completed look to the greenwall when installed.

The only location in regard to the Nashville project, that will not be in this state will be the ground level columns as the initial plants will only be 6'-8' tall and will climb to cover the column over time. Parts of the curtain wall will also be growing out from the 6' - 8' vines to increase coverage and density over time.

I have attached two images of a typical installation where the plants are provided grown to these conditions.

If you have any questions regarding this process, please contact me at the phone number or email address below.

Sincerely,

A handwritten signature in cursive script that reads "Christopher Pianta".

Christopher Pianta CEO  
AgroSci, Inc.  
C: 860-209-9270  
E: [chrisp@agrosoci.com](mailto:chrisp@agrosoci.com)

36 Dr. Foot e Road, Colchester, CT 06415  
Cell: 860-209-9270 Email: [sales@agrosoci.com](mailto:sales@agrosoci.com)  
[www.agrosoci.com](http://www.agrosoci.com)



