

# MULTIMODAL ACCESS CLOSURE EXCEPTION APPLICATION FORM AND CHECKLIST

Submittal Date: 8/26/2024  New Submittal  Re-Submittal No: \_\_\_\_\_

Related Building Permit No: 2022SP-059-022 (SP PROJECT NO.)

Project Name: CHESTNUT STREET MIXED USE - OFFICE AND GARAGE

Street Name Location: 446 CHESTNUT STREET

Between: 4TH AVE/CHESTNUT CSX And: CHESTNUT ST/HAGAN ST INTERSECTION RR CROSSING

Applicant Name: BRASFIELD & GORRIE

Address: 1201 DEMONBREUN ST, STE 200 NASHVILLE, TN 37203

Phone: 615-479-2979 Fax: \_\_\_\_\_ Contact: LUCIEN BRANDON

Email: LBRANDON@BRASFIELDGORRIE.COM

Project Description: MIXED USE BUILDING - 2 STORY UNDERGROUND PARKING, 4 STORY MUSIC VENUE AND 5 STORY OFFICE TOWER ON GARAGE PODIUM

Start Date: 09/23/2024 End Date: JUNE 2026 Project Length: 20 MONTHS

Describe Type of Closure: 1 LANE STREET CLOSURE ALONG NORTH LANE OF CHESTNUT STREET WITH SIDEWALK CLOSURE.

Provide Reasons why Project cannot be completed without closures and what other options were considered (attach documents as needed): PROJECT WILL COMMENCE WITH DEMOLITION OF EXISTING BUILDING REQUIRING SIDEWALK CLOSURE FOR SAFETY. FOLLOWING BUILDING DEMOLITION, A 28' DEEP EXCAVATION WILL BE OPENED FOR FOUNDATIONS WITHIN LIMITS OF SIDEWALK. LANE PROVIDES A BUFFER FOR TRAFFIC ALONG THE WORK AREA, AND WILL ALLOW A DELIVERY/OFFLOADING AREA FOR CONSTRUCTION AND CONCRETE DELIVERY.

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## PROJECT INFORMATION CHECKLIST:

Included Not Applicable

- |                                     |                                     |  |
|-------------------------------------|-------------------------------------|--|
| <input checked="" type="checkbox"/> | <input type="checkbox"/>            | Project Vicinity Map with Project Area shown, street names, property information, existing pavement and striping, gutter and building locations, north arrow, and scale. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/>            | Planned work hours included.   |
| <input checked="" type="checkbox"/> | <input type="checkbox"/>            | Exact location and dimensions of the construction work zone shown.   |
| <input type="checkbox"/>            | <input checked="" type="checkbox"/> | If multiple phases are necessary, include perimeter impact of each phase, phase number, anticipated work hours and phase duration.                                       |
| <input checked="" type="checkbox"/> | <input type="checkbox"/>            | Details on construction activity and equipment being used as part of construction included for each phase.   |
| <input type="checkbox"/>            | <input checked="" type="checkbox"/> | Specify if any on-street parking, and/or metered parking, is to be restricted and if bus zone will need to be relocated.   |
| <input type="checkbox"/>            | <input checked="" type="checkbox"/> | Specify if trash pickup will be impacted.  |
| <input checked="" type="checkbox"/> | <input type="checkbox"/>            | Provide information on all utility work and utility connections.   |
| <input type="checkbox"/>            | <input checked="" type="checkbox"/> | List all affected residents, businesses, agencies, and schools and any conversations/agreements taken place.   |
| <input checked="" type="checkbox"/> | <input type="checkbox"/>            | Show ongoing construction projects within vicinity of proposed project impact.   |
| <input type="checkbox"/>            | <input checked="" type="checkbox"/> | Provide plan to address conflicts with other nearby projects.  |
| <input checked="" type="checkbox"/> | <input type="checkbox"/>            | Provide traffic control plan for each phase of construction (see traffic control checklist for more information).  |
| <input type="checkbox"/>            | <input checked="" type="checkbox"/> | Provide information on work vehicle parking locations.   |
| <input checked="" type="checkbox"/> | <input type="checkbox"/>            | Show construction trucks ingress/egress to project location.   |
| <input type="checkbox"/>            | <input checked="" type="checkbox"/> | Provide information on any traffic signals, traffic signal loops, and traffic signal cabinets in close proximity to project.   |

## TRAFFIC CONTROL PLAN CHECKLIST:

Included Not Applicable

- All temporary traffic control plans shall be designed in accordance with the most recent ADA regulations and requirements of the Manual of Uniform Traffic Control Devices.
- Clearly show the locations of all existing signs (including speed limit) as well as the proposed signs for each construction phase.
- Show the location of all existing pedestrian paths and pedestrian detour route of each stage of construction.
- Show dimensions of travel lane width, shoulder width, sidewalk of each phase, and overall roadway width along the length of affected area.
- Show all existing striping and markings to remain, to be removed, and all proposed striping and markings for each construction stage.
- Provide detour plan clearly showing detour route for any roadway or pedestrian/bike path closures.
- Specify placement of all temporary traffic control devices.
- Specify spacing of all temporary traffic control devices.
- Show all existing traffic signals and streetlights in the work zone location.
- Lighting provided for all pedestrian detour routes.
- Provide minimum eleven (11) foot travel lanes at all times.
- Show size, height, and location of all channelizing devices, warning lights, flag trees, barriers, etc.
- Label all taper lengths and widths.
- Provide locations of police officers for each phase as needed.
- Temporary Traffic Control Plan has been stamped and signed by a TN licensed Civil Engineer.



**Lane Closure Request Proposal  
August 28, 2024**

**Project: AJ Capital – Chestnut Street Mixed Use  
Nashville, TN**

Site Contact: Shawn Dalton, Superintendent  
Phone: 615-418-4420  
Email: [sdalton@brasfieldgorrie.com](mailto:sdalton@brasfieldgorrie.com)

NDOT,

The attached information is a preliminary request regarding the AJ Capital Chestnut Street Mixed Use project located at 446 Chestnut Street in Nashville, TN.

Project start: September 23, 2024  
Project completion: June 02, 2026

Traffic Control Closures: September 23, 2024 – March 30, 2024

Project Work Hours: 6:30am – 5:30pm Monday - Friday

Sincerely,

Lucien Brandon  
Project Manager  
615.479.2979  
[lbrandon@brasfieldgorrie.com](mailto:lbrandon@brasfieldgorrie.com)

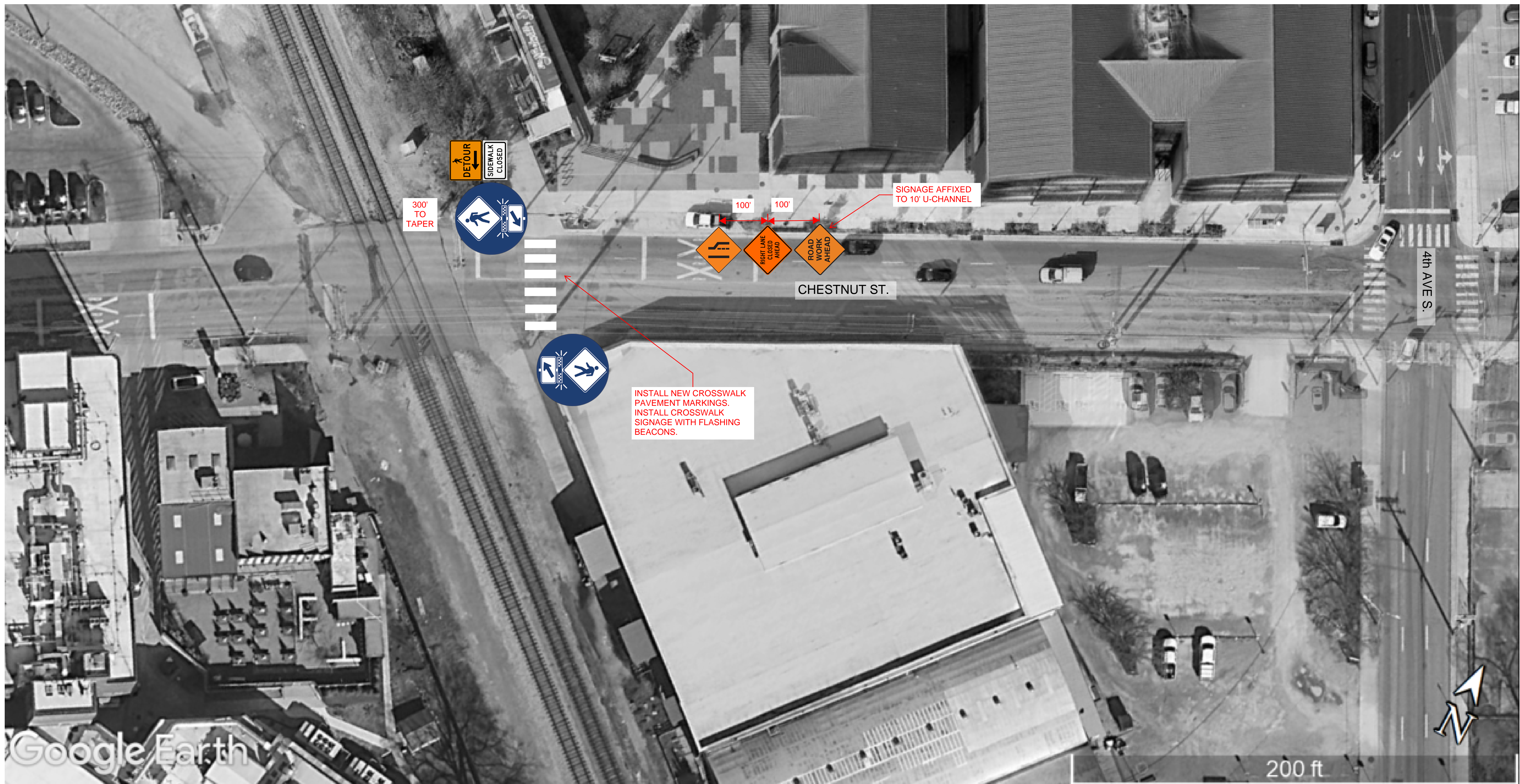
Attached:

- NDOT IB-2022-3 – MAC Exception Form
- Engineered Traffic Control Drawings
- Brasfield & Gorrie Logistics Drawings


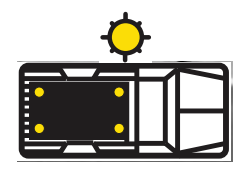
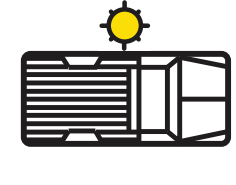

















**LEGEND**

-  WATER FILLED BARRICADE
-  WORK VEHICLE WITH 360-DEGREE YELLOW FLASHING LIGHTS AND FLASHING ARROW BOARD
-  WORK VEHICLE WITH 360-DEGREE YELLOW FLASHING LIGHTS
-  WORK ZONE

-  W20-1
-  W20-5
-  W4-2
-  W11-2A  
RECTANGULAR RAPID FLASHING BEACON.
-  G20-2
-  R9-9
-  M4-9L
-  M4-9R

**TRAFFIC CONTROL NOTES**

1. THIS SET OF PLANS IS NOT INTENDED TO SUPERSEDE OR RELIEVE THE CONTRACTOR OF ANY RESPONSIBILITY TOWARD MOTORIST OR PROPERTY OWNERS WITHIN THE CONSTRUCTION LIMITS.
2. THE CONSTRUCTION SIGNING PLAN IS TO SERVE AS A GUIDE ONLY. OTHER SIGNS MAY BE REQUIRED DURING CONSTRUCTION.
3. THE TRAFFIC CONTROL PLAN DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY OF INSTALLING TRAFFIC CONTROL DEVICES IN ACCORDANCE WITH THE CURRENT EDITION OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD).
4. THE APPROPRIATE TRAFFIC CONTROL SHALL BE INSTALLED AT THE INCEPTION OF EACH PHASE OF CONSTRUCTION AND SHALL BE PROPERLY MAINTAINED AND/OR OPERATED DURING THE TIME SUCH SPECIAL CONDITIONS EXIST. THEY SHALL REMAIN IN PLACE AS LONG AS THEY ARE NEEDED AND SHALL BE IMMEDIATELY REMOVED THEREAFTER.
5. WHILE MAINTAINING TRAFFIC, THE CONTRACTOR SHALL BE REQUIRED TO PROVIDE INGRESS AND EGRESS TO PROPERTY OWNERS AT ALL TIMES DURING THE COURSE OF THE CONSTRUCTION.
6. AT ALL TIMES THE ROADWAY MUST BE MAINTAINED IN A CONDITION TO ALLOW THE PASSAGE OF EMERGENCY VEHICLES AND THEIR ACCESS TO RESIDENCES AND BUSINESSES THROUGH THE CONSTRUCTION.
7. WORK HOURS AND ANY LANE CLOSURES ARE TO BE DURING PERIODS AS DETERMINED BY THE PERMITTING CITY/COUNTY/STAT



**PANTEGON**  
COMMERCIAL SOLUTIONS

CHESTNUT ST. MIXED USE DEVELOPMENT  
TRAFFIC CONTROL DRAWINGS

DESIGNER: JD DATE: 08/27/24

TRAFFIC CONTROL DETAILS


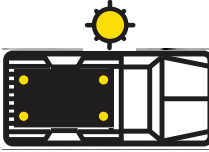
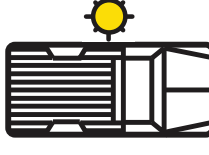
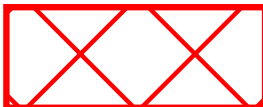











Google Earth

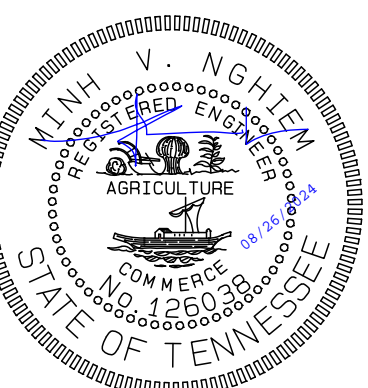
200 ft

**LEGEND**

-  TRAFFIC CONE
-  WORK VEHICLE WITH 360-DEGREE YELLOW FLASHING LIGHTS AND FLASHING ARROW BOARD
-  WORK VEHICLE WITH 360-DEGREE YELLOW FLASHING LIGHTS
-  WORK ZONE
-  ROAD WORK AHEAD W20-1
-  RIGHT LANE CLOSED AHEAD W20-5
-  W4-2
-  END ROAD WORK G20-2
-  SIDWALK CLOSED R9-9
-  DETOUR M4-9L
-  DETOUR M4-9R

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<b>PANTEGON</b> COMMERCIAL SOLUTIONS	
CHESTNUT ST. MIXED USE DEVELOPMENT TRAFFIC CONTROL DRAWINGS	
DESIGNER: JD	DATE: 08/27/24
TRAFFIC CONTROL DETAILS	SHEET NO. TC3



Figure 6B-1. Component Parts of a Temporary Traffic Control Zone

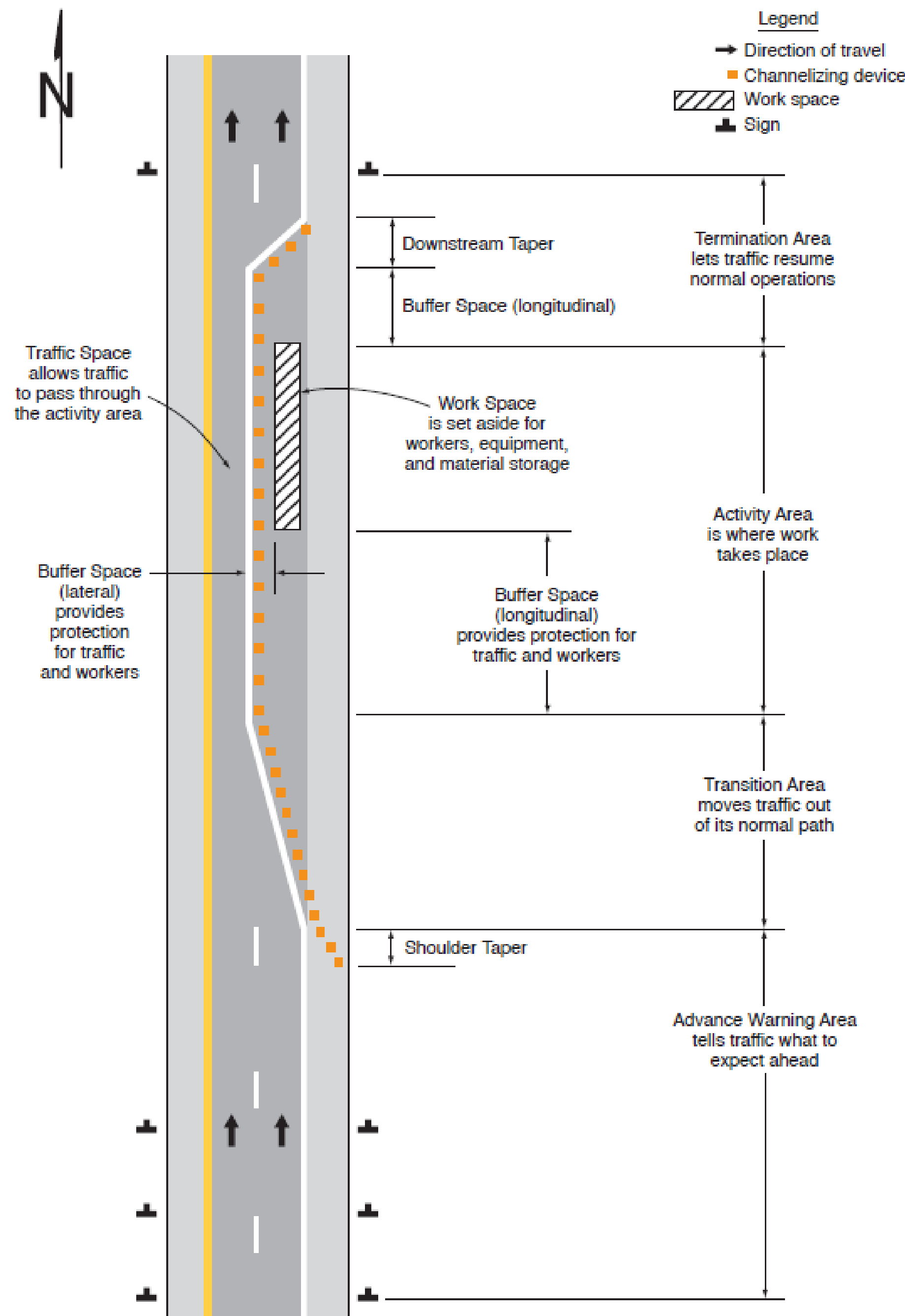


Table 6B-1. Recommended Advance Warning Sign Minimum Spacing

Road Type	Distance between Signs**		
	A	B	C
Urban (low speed)*	100 feet	100 feet	100 feet
Urban (high speed)*	350 feet	350 feet	350 feet
Rural	500 feet	500 feet	500 feet
Expressway / Freeway	1,000 feet	1,500 feet	2,640 feet

\* Speed category to be determined by the highway agency or owner of site roadways open to public travel.

\*\* The column headings A, B, and C are the dimensions shown in Figures 6P-1 through 6P-54. The A dimension is the distance from the transition or point of restriction to the first sign. The B dimension is the distance between the first and second signs. The C dimension is the distance between the second and third signs. (The "first sign" is the sign in a three-sign series that is closest to the TTC zone. The "third sign" is the sign that is furthest upstream from the TTC zone.)

Table 6B-3. Taper Length Criteria for Temporary Traffic Control Zones

Type of Taper	Taper Length
Merging Taper	at least L
Shifting Taper	at least 0.5 L
Shoulder Taper	at least 0.33 L
One-Lane, Two-Way Traffic Taper	50 feet minimum, 100 feet maximum
Downstream Taper	50 feet minimum, 100 feet maximum

Note: Use Table 6B-4 to calculate L

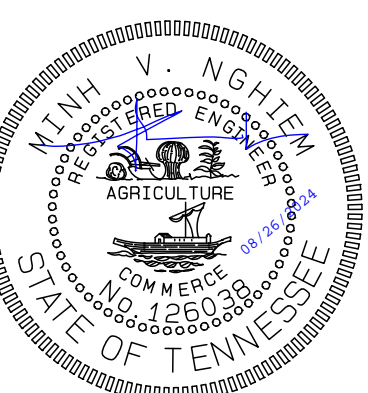
Table 6B-4. Formulas for Determining Taper Length

Speed (S)	Taper Length (L) in feet
40 mph or less	$L = \frac{WS^2}{60}$
45 mph or more	$L = WS$

Where: L = taper length in feet  
 W = width of offset in feet  
 S = posted speed limit, or off-peak 85th-percentile speed prior to work starting, or the anticipated operating speed in mph

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**PANTEGON**  
 COMMERCIAL SOLUTIONS

CHESTNUT ST. MIXED USE DEVELOPMENT  
 TRAFFIC CONTROL DRAWINGS

DESIGNER: JD DATE: 08/27/24

TRAFFIC CONTROL DETAILS

# AJ CAPITAL - CHESTNUT STREET MIXED USE

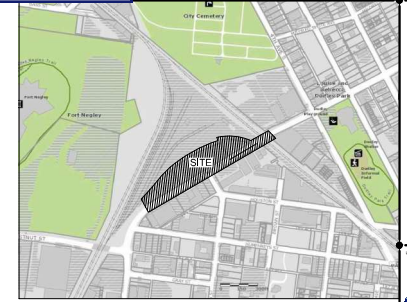
## LEGEND

- PROPERTY LINE
- EASEMENT LINE
- RIGHT-OF-WAY
- TREELINE
- FENCE LINE
- OVERHEAD UTILITY LINE
- UNDERGROUND ELECTRIC LINE
- DOMESTIC WATER LINE
- NATURAL GAS LINE
- STORM DRAINAGE LINE
- SANITARY SEWER LINE
- SANITARY FORCE MAIN
- UNDERGROUND FIBER OPTIC
- REBAR FOUND
- PIPE FOUND
- CONCRETE MONUMENT FOUND
- IR/MAG NAIL FOUND
- UNMARKED BOUNDARY
- REBAR W/ CAP STAMPED "DA INCH" SRT
- MAG NAIL WITH WASHER STAMPED "DA INCH" SRT
- BENCHMARK
- TREE
- TREE IDENTIFIER
- ISLAND
- FIRE HYDRANT
- FIRE DEPARTMENT CONNECTION
- SEIN
- WATER VALVE
- WATER METER
- WATER VALVE
- BACKFLOW PREVENTER
- GAS VALVE
- GAS METER
- SANITARY MANHOLE
- SANITARY CLEANOUT
- STORM DRAIN MANHOLE
- CURB INLET
- AREA DRAIN / CATCH BASIN
- FIBER OPTIC PULL BOX
- ELECTRIC METER
- ELECTRIC PULL BOX / JUNCTION BOX
- UTILITY POLE
- UTILITY POLE W/ LIGHT
- GUY POLE
- LIGHT POLE
- GUY WIRE ANCHOR
- HVAC UNIT

## NOTES:

1. FIELD WORK COMPLETED JUNE 24, 2022.
2. A CATEGORY I PROPERTY SURVEY WAS COMPLETED FOR THE PROPERTY.
3. ADJUTING PROPERTIES SHOWN ARE FOR REFERENCE ONLY AND ARE BASED ON RECORD, TAX MAPS AND LIMITED EVIDENCE ENCOUNTERED DURING THE SURVEY. A PROPERTY SURVEY WAS NOT COMPLETED FOR ANY PROPERTIES EXCEPT FOR THE SUBJECT PROPERTY AS NOTED.
4. NO ABSTRACT OF TITLE, TITLE COMMITMENT, OR TITLE SEARCH WAS PROVIDED TO THIS SURVEYOR. THIS SURVEY MAY BE SUBJECT TO THE FINDINGS OR ANY OTHER FACTS THAT AN ACCURATE AND CURRENT TITLE REPORT MAY DISCLOSE.
5. THIS PROPERTY IS SUBJECT TO ANY AND ALL RIGHT-OF-WAYS, EASEMENTS, COVENANTS, OR RESTRICTIONS EITHER WRITTEN OR UNWRITTEN THAT A COMPLETE TITLE SEARCH MAY REVEAL.
6. AN OVERHEAD ELECTRIC LINE AND A SANITARY SEWER LINE CROSS THE EASTERN MOST CORNER OF PARCEL 347.00, AND A GAS LINE CROSSES NEAR THE EASTERN LINE OF PARCEL 337.00. A STANDARD INSTRUMENT SEARCH DID NOT REVEAL ANY EASEMENTS ASSOCIATED WITH THESE LINES. A COMPLETE TITLE SEARCH MAY OR MAY NOT REVEAL EASEMENTS FOR THESE LINES IN QUESTION.
7. UNDERGROUND UTILITY LOCATIONS SHOWN ARE APPROXIMATE AND ARE SUBJECT TO FIELD VERIFICATION BY THE UTILITY OWNER. IN TENNESSEE IT IS A REQUIREMENT PER THE "UNDERGROUND UTILITY DAMAGE PREVENTION ACT" THAT ANYONE WHO ENGAGES IN EXCAVATION MUST NOTIFY ALL KNOWN UNDERGROUND UTILITY OWNERS NO LESS THAN THREE NOR MORE THAN TEN WORKING DAYS OF THEIR INTENT TO EXCAVATE. A LIST OF THESE UTILITIES CAN BE OBTAINED FROM THE COUNTY REGISTER OF DEEDS. THOSE UTILITIES PARTICIPATING IN THE TENNESSEE 811 SYSTEM CAN BE NOTIFIED BY CALLING 811.
8. TN811 LOCATE REQUEST TICKET NUMBER 22160798 WAS SUBMITTED. MINIMAL WATER, GAS, UNDERGROUND ELECTRIC AND UNDERGROUND FIBER OPTIC LINES WERE OBSERVED DURING THE COURSE OF THE SURVEY. MOST UNDERGROUND WATER LINES WERE SCALED IN FROM MAPS. MOST GAS LINES WERE SCALED IN FROM MAPS PROVIDED TO THIS SURVEYOR FROM PIEDMONT NATURAL GAS AND DUKE ENERGY. PIEDMONT NATURAL GAS AND DUKE ENERGY WILL NOT PROVIDE PIPE SIZES UNLESS THE WORK IS FOR THE DOT.
9. NO UNDERGROUND UTILITIES WERE VERIFIED BY UNCOVERING AS A PART OF THIS SURVEY.
10. UTILITIES OTHER THAN THOSE SHOWN MAY EXIST.
11. SURVEY COMPLETED USING A COMBINATION OF GNSS-RTK METHODS AND TOTAL STATION RADIAL SURVEYING OCCUPYING CONTROL POINTS ESTABLISHED BY GNSS-RTK SURVEY METHODS.
12. TENNESSEE STATE PLANE COORDINATE SYSTEM NAD 1983 (2011) - GRID DISTANCES VERTICAL DATUM - NAVD 1983 ESTABLISHED USING GEOID 03
13. 1-FOOT CONTOUR INTERVAL SHOWN HEREON.

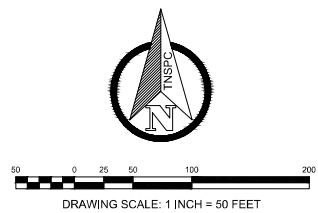
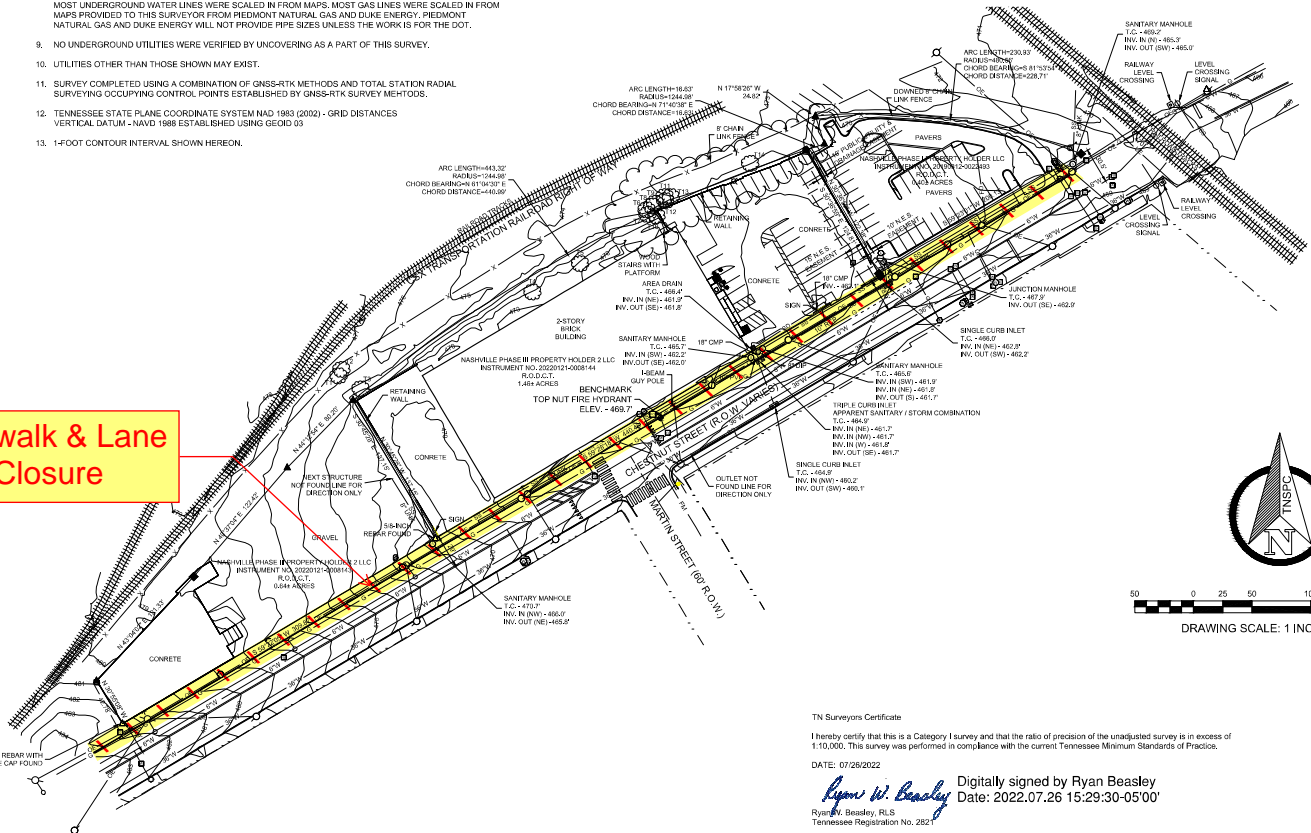
Tree ID	Trunk	Species
T1	12"	DECIDUOUS
T2	20"	DECIDUOUS
T3	12"	OAK
T4	12"	OAK
T5	12"	OAK
T6	10"	OAK
T7	18"	OAK
T8	10"	OAK
T9	10"	OAK
T10	12"	DECIDUOUS
T11	12"	OAK
T12	15"	OAK
T13	18"	OAK
T14	8"	OAK



VICINITY MAP - NOT TO SCALE  
SOURCE: <https://maps.nashville.gov/ParcelViewer/>

**CIVIL INFRASTRUCTURE ASSOCIATES**  
307 HICKORY DRIVE  
NASHVILLE, TN 37219  
WWW.CIVILINFRASTRUCTURE.COM

**Sidewalk & Lane Closure**



GPS SURVEY DATA	
Field Procedure	RTK Network RTK
Horizontal/Vertical Accuracy	0.02m/3.0m reported at the 95% Confidence Level
Vertical Precision Accuracy	0.17m/1.1m reported at the 95% Confidence Level
Date of Final Survey	02/24/2022
Datum: Horizontal (Epoch) / Vertical	NAD 1983 (2011) / NAVD 1983
Fixed Control Station	RTK based on multiple reference stations
Geoid Model/Elevation	Geoid 03
Combined Scale Factor (GSD to Grid)	1.00006

TN Surveyors Certificate  
I hereby certify that this is a Category I survey and that the ratio of precision of the unadjusted survey is in excess of 1:10,000. This survey was performed in compliance with the current Tennessee Minimum Standards of Practice.  
DATE: 07/26/2022  
*Ryan W. Beasley* Digitally signed by Ryan Beasley  
Date: 2022.07.26 15:29:30-0500'  
Ryan W. Beasley, RLS  
Tennessee Registration No. 2822

**CHESTNUT STREET PROPERTIES**  
**426, 446 & 464 CHESTNUT STREET**  
METRO PARCEL IDS: 10503033600, 10503033700, 10503033800 & 10503034700  
CITY OF NASHVILLE, DAVIDSON COUNTY, TENNESSEE  
ORIGINAL ISSUE DATE: 06/07/2022 | CIVIL PROJECT NO.: 2202003

REVISIONS		
#	DATE	DESCRIPTION

BOUNDARY / TOPOGRAPHIC SURVEY  
**SV 1.0**  
SHEET NO. 1 OF 1



# AJ CAPITAL - CHESTNUT STREET MIXED USE 426, 446, 464 CHESTNUT STREET NASHVILLE, TN

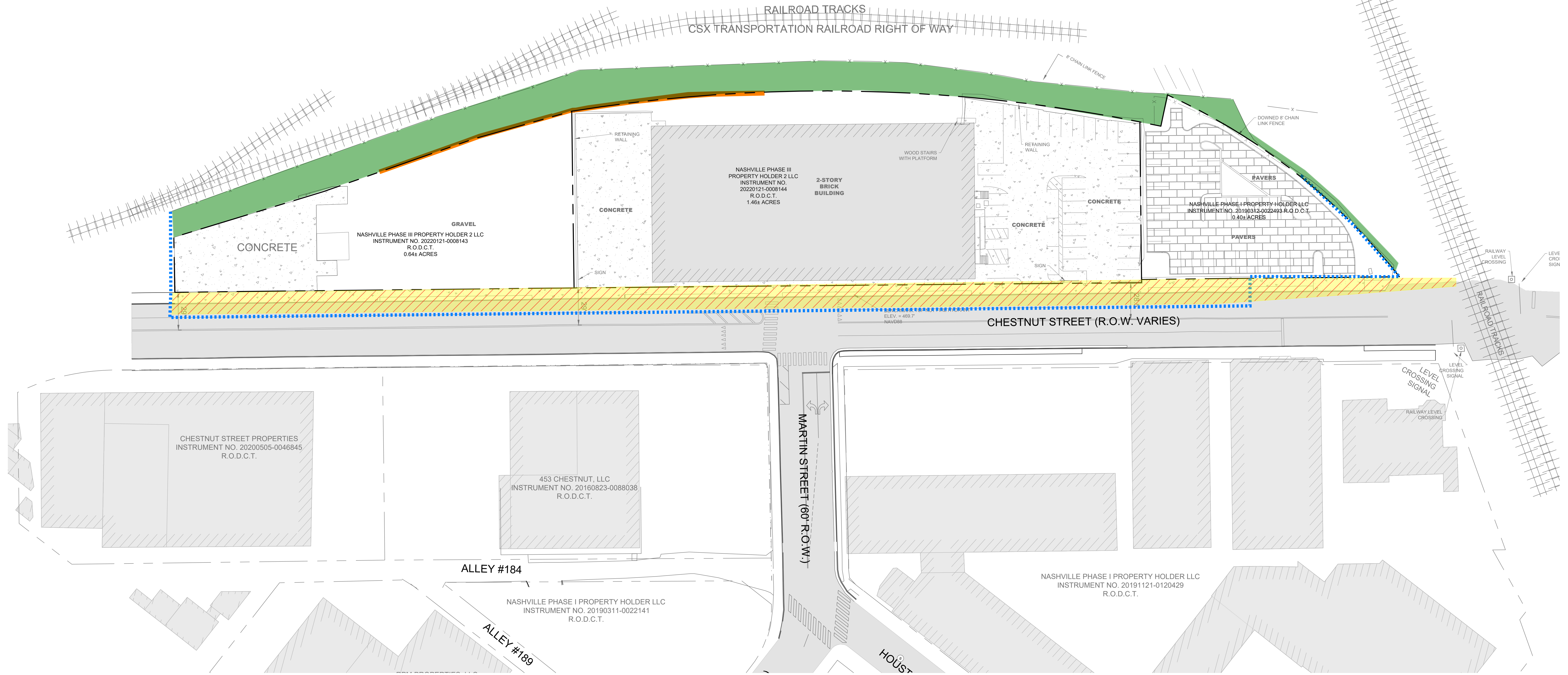




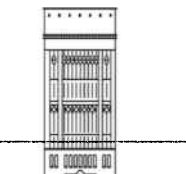
# AJ CAPITAL - CHESTNUT STREET MIXED USE SITE LOGISTICS DAY 1

### LEGEND

- Assumed CSX Access Easement for Construction
- Assumed CSX Approval of Overblast for Mass Excavation
- Lane & Sidewalk Closure - Duration of Project
- Site Perimeter - Jersey Barriers with Fencing



AREA FOR CITY APPROVAL STAMP

**DEVELOPER**  
  
**AJ Capital Partners**  
 429 Chestnut St.  
 Nashville, TN 37203  
 312.274.4185

**ARCHITECT**  
  
**HARTSHORNE PLUNKARD ARCHITECTURE**  
 315 WEST WALTON STREET  
 CHICAGO, IL 60610  
 312.274.4488  
 HPARCHITECTURE.COM

**MAGNUSSON KLEMENCIC ASSOCIATES**  
 STRUCTURAL ENGINEER  
 1301 First Avenue, Suite 3200, Seattle, WA

**IMEG CORP.**  
 MECHANICAL ENGINEER  
 225 W. Washington Street, Suite 2700, Chicago, IL

**IMEG CORP.**  
 ELECTRICAL ENGINEER  
 225 W. Washington Street, Suite 2700, Chicago, IL

**IMEG CORP.**  
 PLUMBING ENGINEER  
 225 W. Washington Street, Suite 2700, Chicago, IL

**IMEG CORP.**  
 FIRE PROTECTION ENGINEER  
 225 W. Washington Street, Suite 2700, Chicago, IL

**BARGE CIVIL ASSOCIATES**  
 CIVIL ENGINEER  
 6806 Charlotte Pike, Suite 210, Nashville, TN

**HODGSON DOUGLAS**  
 LANDSCAPE ARCHITECT  
 507 Main Street, Nashville, TN

**JENKINS & HUNTINGTON**  
 ELEVATOR CONSULTANT  
 17W106 91st Street, Willowbrook, IL

Contractor shall be responsible for reviewing all Plans and Specifications, verifying all existing conditions prior to proceeding with Construction, complying with all applicable building codes, and notifying Architect immediately of any discrepancies or conflicts. Contractor shall construct the work in conformance with all applicable building codes.

Contractor is responsible for design and installation of property street and tunnel systems. Submit shop drawings to architect for approval in conformance with Architectural Design Intent.

A written Architectural Specification was issued for this project and along with these printed documents is contained the Contract Documents for this project. This is a part of the project and is incorporated into the Contract Documents by reference. By submitting a bid for this work the Contractor and all subcontractors accept that they have reviewed the entire contract document set and the conditions and have accepted all applicable work. Additional Architectural Specifications copies are available on the job upon request.

Hartshorne Plunkard Architecture, LLC shall retain all copyrights, proprietary and common law rights with respect to these plans and building design. Reproduction, change or equipment to any part hereof shall not occur without obtaining express written permission and consent of Hartshorne Plunkard Architecture, LLC.

**CHESTNUT ST. MIXED USE**

ISSUANCES

SEAL SIGNATURE

FINAL SP CASE NO: 2022SP-059-002

SWGR# 2024039010

CASE NO. 2022SP-059-002

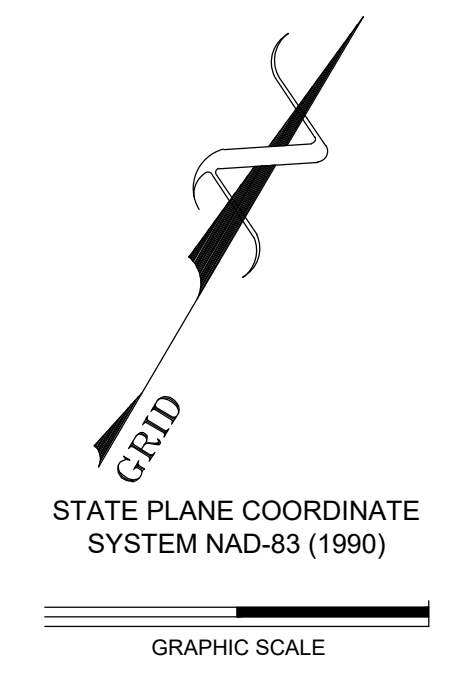
COUNCIL DISTRICT : 17  
 COUNCIL MEMBER : TERRY VO

**SITE & GRADING ENGINEER**  
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**SURVEYOR**  
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