

MULTIMODAL ACCESS CLOSURE EXCEPTION APPLICATION FORM AND CHECKLIST

Submittal Date: 01.03.2025 New Submittal Re-Submittal No: _____

Related Building Permit No: 2022SP-059-022

Project Name: Chestnut St Mixed Use Office & Garage

Street Name Location: 446 Chestnut Street

Between: _____ And: _____

Applicant Name: Brasfield & Gorrie - Shawn Dalton

Address: 1202 Demonbreun St Suite 200 Nashville, TN 37203

Phone: 615-806-8194 Fax: _____ Contact: Maggie Cummins

Email: mcummings@brasfieldgorrie.com / sdalton@brasfieldgorrie.com

Project Description: Mixed Use Office Building & Parking Garage with connecting utilities

Start Date: 01.13.2025 End Date: 07.26.2026 Project Length: 20 months

Describe Type of Closure: Temporary lane closures for future utility construction work and construction activities relating to construction of buildings @ 446 Chestnut St

Provide Reasons why Project cannot be completed without closures and what other options were considered (attach documents as needed): See attached construction documents and engineered traffic control plans

PROJECT INFORMATION CHECKLIST:

Included Not Applicable

- Project Vicinity Map with Project Area shown, street names, property information, existing pavement and striping, gutter and building locations, north arrow, and scale.
- Planned work hours included.
- Exact location and dimensions of the construction work zone shown.
- If multiple phases are necessary, include perimeter impact of each phase, phase number, anticipated work hours and phase duration.
- Details on construction activity and equipment being used as part of construction included for each phase.
- Specify if any on-street parking, and/or metered parking, is to be restricted and if bus zone will need to be relocated.
- Specify if trash pickup will be impacted.
- Provide information on all utility work and utility connections.
- List all affected residents, businesses, agencies, and schools and any conversations/agreements taken place.
- Show ongoing construction projects within vicinity of proposed project impact.
- Provide plan to address conflicts with other nearby projects.
- Provide traffic control plan for each phase of construction (see traffic control checklist for more information).
- Provide information on work vehicle parking locations.
- Show construction trucks ingress/egress to project location.
- Provide information on any traffic signals, traffic signal loops, and traffic signal cabinets in close proximity to project.

TRAFFIC CONTROL PLAN CHECKLIST:

Included Not Applicable

- All temporary traffic control plans shall be designed in accordance with the most recent ADA regulations and requirements of the Manual of Uniform Traffic Control Devices.
- Clearly show the locations of all existing signs (including speed limit) as well as the proposed signs for each construction phase.
- Show the location of all existing pedestrian paths and pedestrian detour route of each stage of construction.
- Show dimensions of travel lane width, shoulder width, sidewalk of each phase, and overall roadway width along the length of affected area.
- Show all existing striping and markings to remain, to be removed, and all proposed striping and markings for each construction stage.
- Provide detour plan clearly showing detour route for any roadway or pedestrian/bike path closures.
- Specify placement of all temporary traffic control devices.
- Specify spacing of all temporary traffic control devices.
- Show all existing traffic signals and streetlights in the work zone location.
- Lighting provided for all pedestrian detour routes.
- Provide minimum eleven (11) foot travel lanes at all times.
- Show size, height, and location of all channelizing devices, warning lights, flag trees, barriers, etc.
- Label all taper lengths and widths.
- Provide locations of police officers for each phase as needed.
- Temporary Traffic Control Plan has been stamped and signed by a TN licensed Civil Engineer.



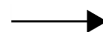








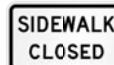



Google Earth

200 ft

DETAIL TC1 - PHASE 1 HOUSTON ST. UTILITIES

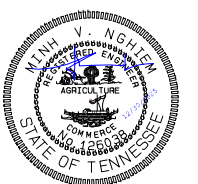
LEGEND

-  WATER FILLED BARRICADE
-  TRAFFIC CONE
-  DIRECTION OF TRAVEL
-  WORK VEHICLE WITH 360-DEGREE YELLOW FLASHING LIGHTS AND FLASHING ARROW BOARD
-  WORK VEHICLE WITH 360-DEGREE YELLOW FLASHING LIGHTS
-  WORK ZONE

-  ROAD WORK AHEAD W20-1
-  END ROAD WORK G20-2
-  RIGHT LANE CLOSED AHEAD W20-5
-  SIDEWALK CLOSED R9-9
-  W4-2
-  DETOUR M4-9L
-  DETOUR M4-9R

TRAFFIC CONTROL NOTES

1. THIS SET OF PLANS IS NOT INTENDED TO SUPERSEDE OR RELIEVE THE CONTRACTOR OF ANY RESPONSIBILITY TOWARD MOTORIST OR PROPERTY OWNERS WITHIN THE CONSTRUCTION LIMITS.
2. THE CONSTRUCTION SIGNING PLAN IS TO SERVE AS A GUIDE ONLY. OTHER SIGNS MAY BE REQUIRED DURING CONSTRUCTION.
3. THE TRAFFIC CONTROL PLAN DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY OF INSTALLING TRAFFIC CONTROL DEVICES IN ACCORDANCE WITH THE CURRENT EDITION OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD).
4. THE APPROPRIATE TRAFFIC CONTROL SHALL BE INSTALLED AT THE INCEPTION OF EACH PHASE OF CONSTRUCTION AND SHALL BE PROPERLY MAINTAINED AND/OR OPERATED DURING THE TIME SUCH SPECIAL CONDITIONS EXIST. THEY SHALL REMAIN IN PLACE AS LONG AS THEY ARE NEEDED AND SHALL BE IMMEDIATELY REMOVED THEREAFTER.
5. WHILE MAINTAINING TRAFFIC, THE CONTRACTOR SHALL BE REQUIRED TO PROVIDE INGRESS AND EGRESS TO PROPERTY OWNERS AT ALL TIMES DURING THE COURSE OF THE CONSTRUCTION.
6. AT ALL TIMES THE ROADWAY MUST BE MAINTAINED IN A CONDITION TO ALLOW THE PASSAGE OF EMERGENCY VEHICLES AND THEIR ACCESS TO RESIDENCES AND BUSINESSES THROUGH THE CONSTRUCTION.
7. WORK HOURS AND ANY LANE CLOSURES ARE TO BE DURING PERIODS AS DETERMINED BY THE PERMITTING CITY/COUNTY/STAT



PANTEGON
COMMERCIAL SOLUTIONS

CHESTNUT ST. MIXED USE DEVELOPMENT
TRAFFIC CONTROL DRAWINGS
UTILITY WORK

DESIGNER: JD CHECKED BY: MN DATE: 12/28/24



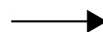



TRAFFIC CONTROL DETAILS TC2




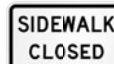





Google Earth

DETAIL TC2 - PHASE 2 MARTIN ST. UTILITIES

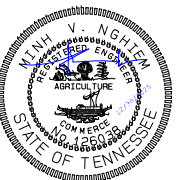
LEGEND

-  WATER FILLED BARRICADE
-  TRAFFIC CONE
-  DIRECTION OF TRAVEL
-  WORK VEHICLE WITH 360-DEGREE YELLOW FLASHING LIGHTS AND FLASHING ARROW BOARD
-  WORK VEHICLE WITH 360-DEGREE YELLOW FLASHING LIGHTS
-  WORK ZONE

-  W20-1
-  G20-2
-  W20-5
-  R9-9
-  W4-2
-  M4-9L
-  M4-9R

TRAFFIC CONTROL NOTES

1. THIS SET OF PLANS IS NOT INTENDED TO SUPERSEDE OR RELIEVE THE CONTRACTOR OF ANY RESPONSIBILITY TOWARD MOTORIST OR PROPERTY OWNERS WITHIN THE CONSTRUCTION LIMITS.
2. THE CONSTRUCTION SIGNING PLAN IS TO SERVE AS A GUIDE ONLY. OTHER SIGNS MAY BE REQUIRED DURING CONSTRUCTION.
3. THE TRAFFIC CONTROL PLAN DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY OF INSTALLING TRAFFIC CONTROL DEVICES IN ACCORDANCE WITH THE CURRENT EDITION OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD).
4. THE APPROPRIATE TRAFFIC CONTROL SHALL BE INSTALLED AT THE INCEPTION OF EACH PHASE OF CONSTRUCTION AND SHALL BE PROPERLY MAINTAINED AND/OR OPERATED DURING THE TIME SUCH SPECIAL CONDITIONS EXIST. THEY SHALL REMAIN IN PLACE AS LONG AS THEY ARE NEEDED AND SHALL BE IMMEDIATELY REMOVED THEREAFTER.
5. WHILE MAINTAINING TRAFFIC, THE CONTRACTOR SHALL BE REQUIRED TO PROVIDE INGRESS AND EGRESS TO PROPERTY OWNERS AT ALL TIMES DURING THE COURSE OF THE CONSTRUCTION.
6. AT ALL TIMES THE ROADWAY MUST BE MAINTAINED IN A CONDITION TO ALLOW THE PASSAGE OF EMERGENCY VEHICLES AND THEIR ACCESS TO RESIDENCES AND BUSINESSES THROUGH THE CONSTRUCTION.
7. WORK HOURS AND ANY LANE CLOSURES ARE TO BE DURING PERIODS AS DETERMINED BY THE PERMITTING CITY/COUNTY/STAT



PANTEGON
COMMERCIAL SOLUTIONS

CHESTNUT ST. MIXED USE DEVELOPMENT
TRAFFIC CONTROL DRAWINGS
UTILITY WORK

DESIGNER: JD CHECKED BY: MN DATE: 12/28/24

TRAFFIC CONTROL DETAILS



EXISTING LANE CLOSURE TO REMAIN.

Google Earth

500 ft

DETAIL TC3 - PHASE 3 CHESTNUT ST. UTILITIES A

LEGEND

- WATER FILLED BARRICADE
- TRAFFIC CONE
- DIRECTION OF TRAVEL
- DETOUR PATH
- WORK VEHICLE WITH 360-DEGREE YELLOW FLASHING LIGHTS AND FLASHING ARROW BOARD
- WORK VEHICLE WITH 360-DEGREE YELLOW FLASHING LIGHTS
- WORK ZONE

- M4-10L
- M4-10R
- ROAD CLOSED R11-2
- ROAD WORK AHEAD W20-1
- END ROAD WORK G20-2
- RIGHT LANE CLOSED AHEAD W20-5
- SIDEWALK CLOSED R9-9
- W4-2
- DETOUR AHEAD W20-2D

TRAFFIC CONTROL NOTES

1. THIS SET OF PLANS IS NOT INTENDED TO SUPERSEDE OR RELIEVE THE CONTRACTOR OF ANY RESPONSIBILITY TOWARD MOTORIST OR PROPERTY OWNERS WITHIN THE CONSTRUCTION LIMITS.
2. THE CONSTRUCTION SIGNING PLAN IS TO SERVE AS A GUIDE ONLY. OTHER SIGNS MAY BE REQUIRED DURING CONSTRUCTION.
3. THE TRAFFIC CONTROL PLAN DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY OF INSTALLING TRAFFIC CONTROL DEVICES IN ACCORDANCE WITH THE CURRENT EDITION OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD).
4. THE APPROPRIATE TRAFFIC CONTROL SHALL BE INSTALLED AT THE INCEPTION OF EACH PHASE OF CONSTRUCTION AND SHALL BE PROPERLY MAINTAINED AND/OR OPERATED DURING THE TIME SUCH SPECIAL CONDITIONS EXIST. THEY SHALL REMAIN IN PLACE AS LONG AS THEY ARE NEEDED AND SHALL BE IMMEDIATELY REMOVED THEREAFTER.
5. WHILE MAINTAINING TRAFFIC, THE CONTRACTOR SHALL BE REQUIRED TO PROVIDE INGRESS AND EGRESS TO PROPERTY OWNERS AT ALL TIMES DURING THE COURSE OF THE CONSTRUCTION.
6. AT ALL TIMES THE ROADWAY MUST BE MAINTAINED IN A CONDITION TO ALLOW THE PASSAGE OF EMERGENCY VEHICLES AND THEIR ACCESS TO RESIDENCES AND BUSINESSES THROUGH THE CONSTRUCTION.
7. WORK HOURS AND ANY LANE CLOSURES ARE TO BE DURING PERIODS AS DETERMINED BY THE PERMITTING CITY/COUNTY/STATE

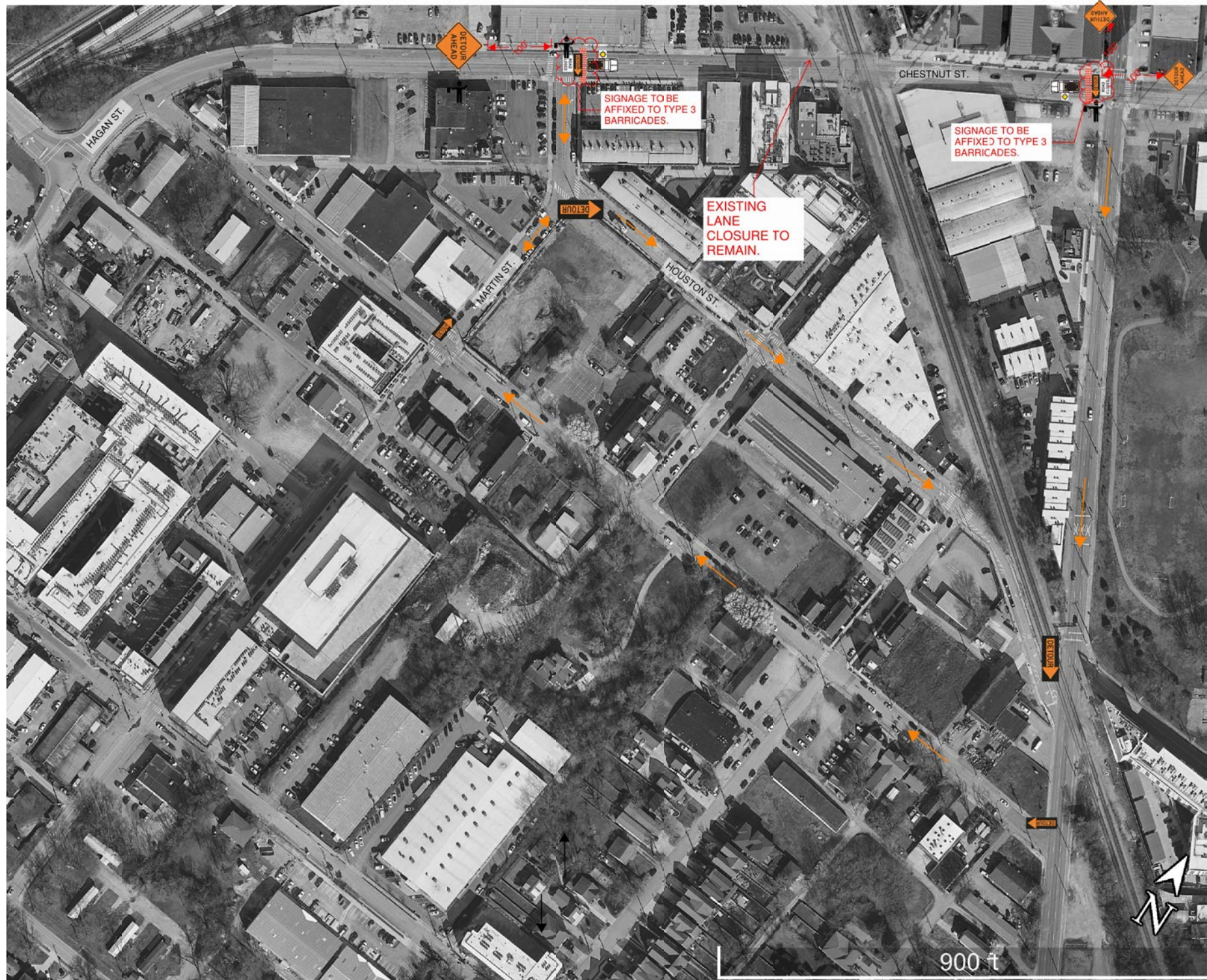


PANTEGON
COMMERCIAL SOLUTIONS

CHESTNUT ST. MIXED USE DEVELOPMENT
TRAFFIC CONTROL DRAWINGS
UTILITY WORK








DESIGNER: JD CHECKED BY: MN DATE: 12/26/24






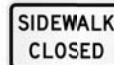


TRAFFIC CONTROL DETAILS TC3



DETAIL TC3 - PHASE 4 CHESTNUT ST. UTILITIES B

LEGEND

-  WATER FILLED BARRICADE
-  TRAFFIC CONE
-  DIRECTION OF TRAVEL
-  DETOUR PATH
-  WORK VEHICLE WITH 360-DEGREE YELLOW FLASHING LIGHTS AND FLASHING ARROW BOARD
-  WORK VEHICLE WITH 360-DEGREE YELLOW FLASHING LIGHTS
-  WORK ZONE

-  M4-10L M4-10R
-  ROAD CLOSED R11-2
-  W20-1
-  END ROAD WORK G20-2
-  W20-5
-  SIDEWALK CLOSED R9-9
-  W4-2
-  DETOUR AHEAD W20-2D

TRAFFIC CONTROL NOTES



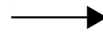




1. THIS SET OF PLANS IS NOT INTENDED TO SUPERSEDE OR RELIEVE THE CONTRACTOR OF ANY RESPONSIBILITY TOWARD MOTORIST OR PROPERTY OWNERS WITHIN THE CONSTRUCTION LIMITS.
2. THE CONSTRUCTION SIGNING PLAN IS TO SERVE AS A GUIDE ONLY. OTHER SIGNS MAY BE REQUIRED DURING CONSTRUCTION.
3. THE TRAFFIC CONTROL PLAN DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY OF INSTALLING TRAFFIC CONTROL DEVICES IN ACCORDANCE WITH THE CURRENT EDITION OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD).
4. THE APPROPRIATE TRAFFIC CONTROL SHALL BE INSTALLED AT THE INCEPTION OF EACH PHASE OF CONSTRUCTION AND SHALL BE PROPERLY MAINTAINED AND/OR OPERATED DURING THE TIME SUCH SPECIAL CONDITIONS EXIST. THEY SHALL REMAIN IN PLACE AS LONG AS THEY ARE NEEDED AND SHALL BE IMMEDIATELY REMOVED THEREAFTER.
5. WHILE MAINTAINING TRAFFIC, THE CONTRACTOR SHALL BE REQUIRED TO PROVIDE INGRESS AND EGRESS TO PROPERTY OWNERS AT ALL TIMES DURING THE COURSE OF THE CONSTRUCTION.
6. AT ALL TIMES THE ROADWAY MUST BE MAINTAINED IN A CONDITION TO ALLOW THE PASSAGE OF EMERGENCY VEHICLES AND THEIR ACCESS TO RESIDENCES AND BUSINESSES THROUGH THE CONSTRUCTION.
7. WORK HOURS AND ANY LANE CLOSURES ARE TO BE DURING PERIODS AS DETERMINED BY THE PERMITTING CITY/COUNTY/STATE.






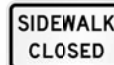






DETAIL TC5 - PHASE 5 CHESTNUT ST. UTILITIES C

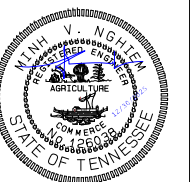
LEGEND

-  WATER FILLED BARRICADE
-  TRAFFIC CONE
-  DIRECTION OF TRAVEL
-  DETOUR PATH
-  WORK VEHICLE WITH 360-DEGREE YELLOW FLASHING LIGHTS AND FLASHING ARROW BOARD
-  WORK VEHICLE WITH 360-DEGREE YELLOW FLASHING LIGHTS
-  WORK ZONE

-  M4-10L
M4-10R
-  R11-2
-  ROAD WORK AHEAD W20-1
-  END ROAD WORK G20-2
-  RIGHT LANE CLOSED AHEAD W20-5
-  SIDEWALK CLOSED R9-9
-  W4-2
-  DETOUR AHEAD W20-2D

TRAFFIC CONTROL NOTES

1. THIS SET OF PLANS IS NOT INTENDED TO SUPERSEDE OR RELIEVE THE CONTRACTOR OF ANY RESPONSIBILITY TOWARD MOTORIST OR PROPERTY OWNERS WITHIN THE CONSTRUCTION LIMITS.
2. THE CONSTRUCTION SIGNING PLAN IS TO SERVE AS A GUIDE ONLY. OTHER SIGNS MAY BE REQUIRED DURING CONSTRUCTION.
3. THE TRAFFIC CONTROL PLAN DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY OF INSTALLING TRAFFIC CONTROL DEVICES IN ACCORDANCE WITH THE CURRENT EDITION OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD).
4. THE APPROPRIATE TRAFFIC CONTROL SHALL BE INSTALLED AT THE INCEPTION OF EACH PHASE OF CONSTRUCTION AND SHALL BE PROPERLY MAINTAINED AND/OR OPERATED DURING THE TIME SUCH SPECIAL CONDITIONS EXIST. THEY SHALL REMAIN IN PLACE AS LONG AS THEY ARE NEEDED AND SHALL BE IMMEDIATELY REMOVED THEREAFTER.
5. WHILE MAINTAINING TRAFFIC, THE CONTRACTOR SHALL BE REQUIRED TO PROVIDE INGRESS AND EGRESS TO PROPERTY OWNERS AT ALL TIMES DURING THE COURSE OF THE CONSTRUCTION.
6. AT ALL TIMES THE ROADWAY MUST BE MAINTAINED IN A CONDITION TO ALLOW THE PASSAGE OF EMERGENCY VEHICLES AND THEIR ACCESS TO RESIDENCES AND BUSINESSES THROUGH THE CONSTRUCTION.
7. WORK HOURS AND ANY LANE CLOSURES ARE TO BE DURING PERIODS AS DETERMINED BY THE PERMITTING CITY/COUNTY/STAT



PANTEGON
COMMERCIAL SOLUTIONS

CHESTNUT ST. MIXED USE DEVELOPMENT
TRAFFIC CONTROL DRAWINGS
UTILITY WORK

DESIGNER: JD CHECKED BY: MN DATE: 12/28/24
TRAFFIC CONTROL DETAILS TC5

Figure 6B-1 Component Parts of a Temporary Traffic Control Zone

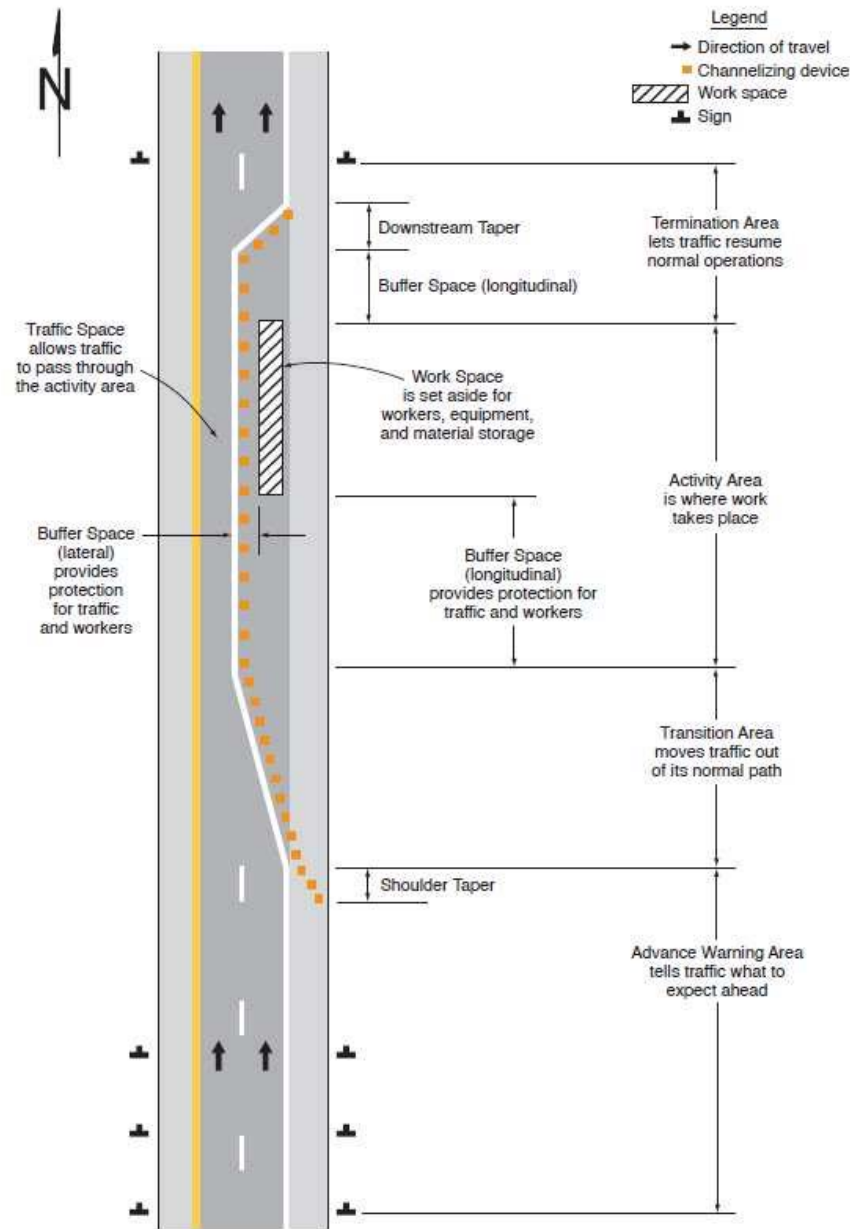


Table 6B-1. Recommended Advance Warning Sign Minimum Spacing

Road Type	Distance between Signs**		
	A	B	C
Urban (low speed)*	100 feet	100 feet	100 feet
Urban (high speed)*	350 feet	350 feet	350 feet
Rural	500 feet	500 feet	500 feet
Expressway / Freeway	1,000 feet	1,500 feet	2,640 feet

* Speed category to be determined by the highway agency or owner of site roadways open to public travel.

** The column headings A, B, and C are the dimensions shown in Figures 6P-1 through 6P-54. The A dimension is the distance from the transition or point of restriction to the first sign. The B dimension is the distance between the first and second signs. The C dimension is the distance between the second and third signs. (The "first sign" is the sign in a three-sign series that is closest to the TTC zone. The "third sign" is the sign that is furthest upstream from the TTC zone.)

Table 6B-3. Taper Length Criteria for Temporary Traffic Control Zones

Type of Taper	Taper Length
Merging Taper	at least L
Shifting Taper	at least 0.5 L
Shoulder Taper	at least 0.33 L
One-Lane, Two-Way Traffic Taper	50 feet minimum, 100 feet maximum
Downstream Taper	50 feet minimum, 100 feet maximum

Note: Use Table 6B-4 to calculate L.

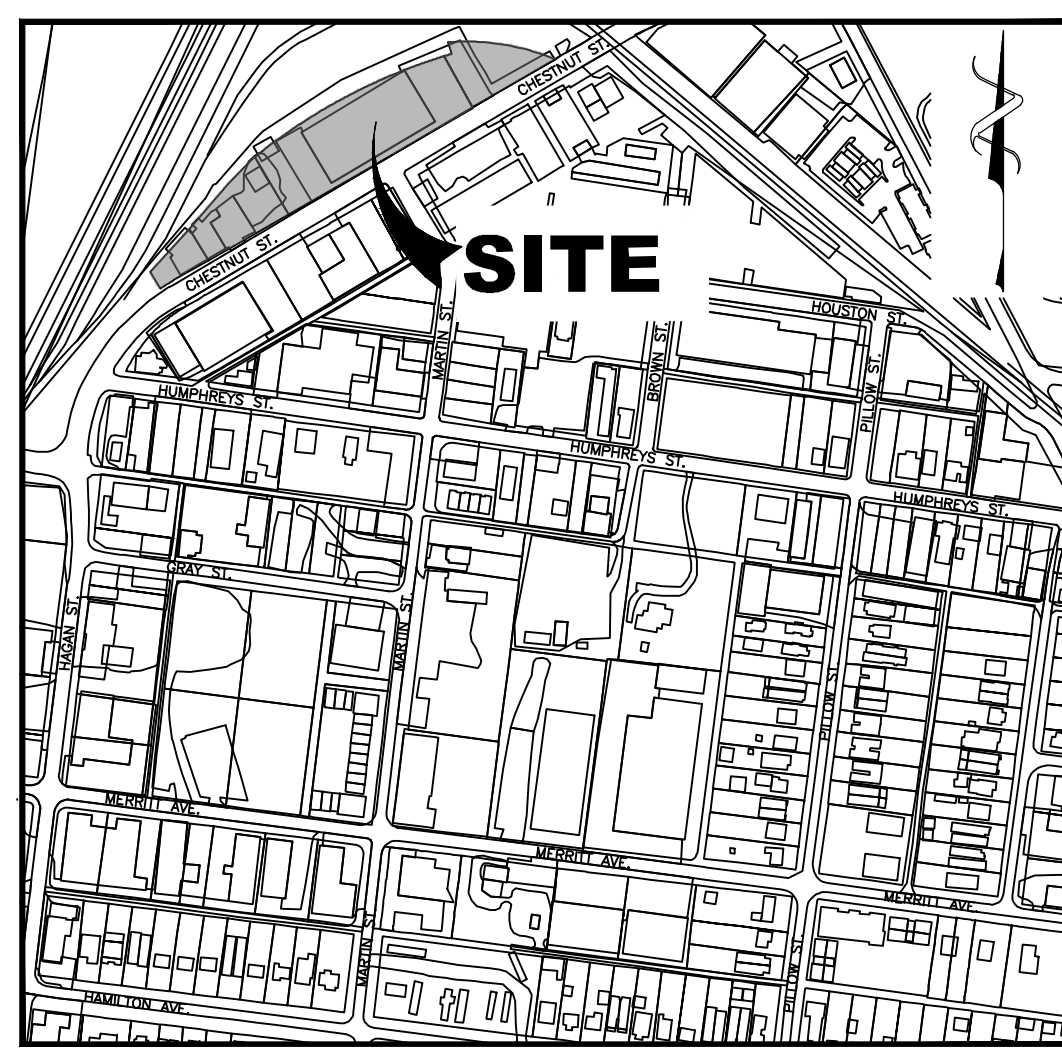
Table 6B-4. Formulas for Determining Taper Length

Speed (S)	Taper Length (L) in feet
40 mph or less	$L = \frac{WS^2}{60}$
45 mph or more	$L = WS$

Where: L = taper length in feet
 W = width of offset in feet
 S = posted speed limit, or off-peak 85th-percentile speed prior to work starting, or the anticipated operating speed in mph

TRAFFIC CONTROL NOTES

1. THIS SET OF PLANS IS NOT INTENDED TO SUPERSEDE OR RELIEVE THE CONTRACTOR OF ANY RESPONSIBILITY TOWARD MOTORIST OR PROPERTY OWNERS WITHIN THE CONSTRUCTION LIMITS.
2. THE CONSTRUCTION SIGNING PLAN IS TO SERVE AS A GUIDE ONLY. OTHER SIGNS MAY BE REQUIRED DURING CONSTRUCTION.
3. THE TRAFFIC CONTROL PLAN DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY OF INSTALLING TRAFFIC CONTROL DEVICES IN ACCORDANCE WITH THE CURRENT EDITION OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD).
4. THE APPROPRIATE TRAFFIC CONTROL SHALL BE INSTALLED AT THE INCEPTION OF EACH PHASE OF CONSTRUCTION AND SHALL BE PROPERLY MAINTAINED AND/OR OPERATED DURING THE TIME SUCH SPECIAL CONDITIONS EXIST. THEY SHALL REMAIN IN PLACE AS LONG AS THEY ARE NEEDED AND SHALL BE IMMEDIATELY REMOVED THEREAFTER.
5. WHILE MAINTAINING TRAFFIC, THE CONTRACTOR SHALL BE REQUIRED TO PROVIDE INGRESS AND EGRESS TO PROPERTY OWNERS AT ALL TIMES DURING THE COURSE OF THE CONSTRUCTION.
6. AT ALL TIMES THE ROADWAY MUST BE MAINTAINED IN A CONDITION TO ALLOW THE PASSAGE OF EMERGENCY VEHICLES AND THEIR ACCESS TO RESIDENCES AND BUSINESSES THROUGH THE CONSTRUCTION.
7. WORK HOURS AND ANY LANE CLOSURES ARE TO BE DURING PERIODS AS DETERMINED BY THE PERMITTING CITY/COUNTY/STATE.

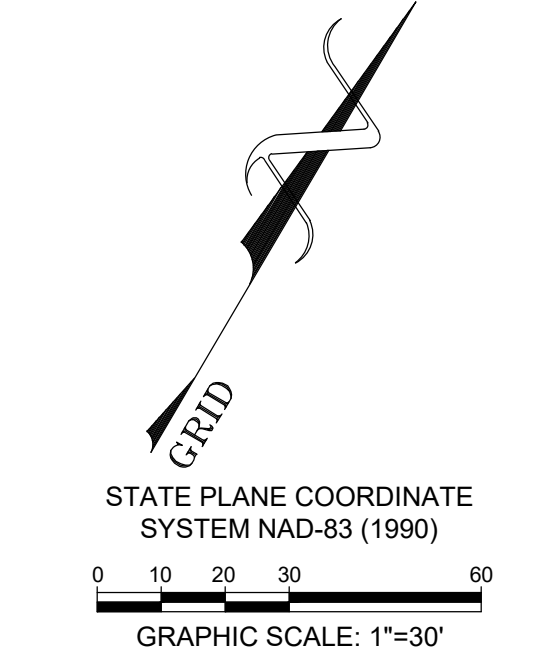
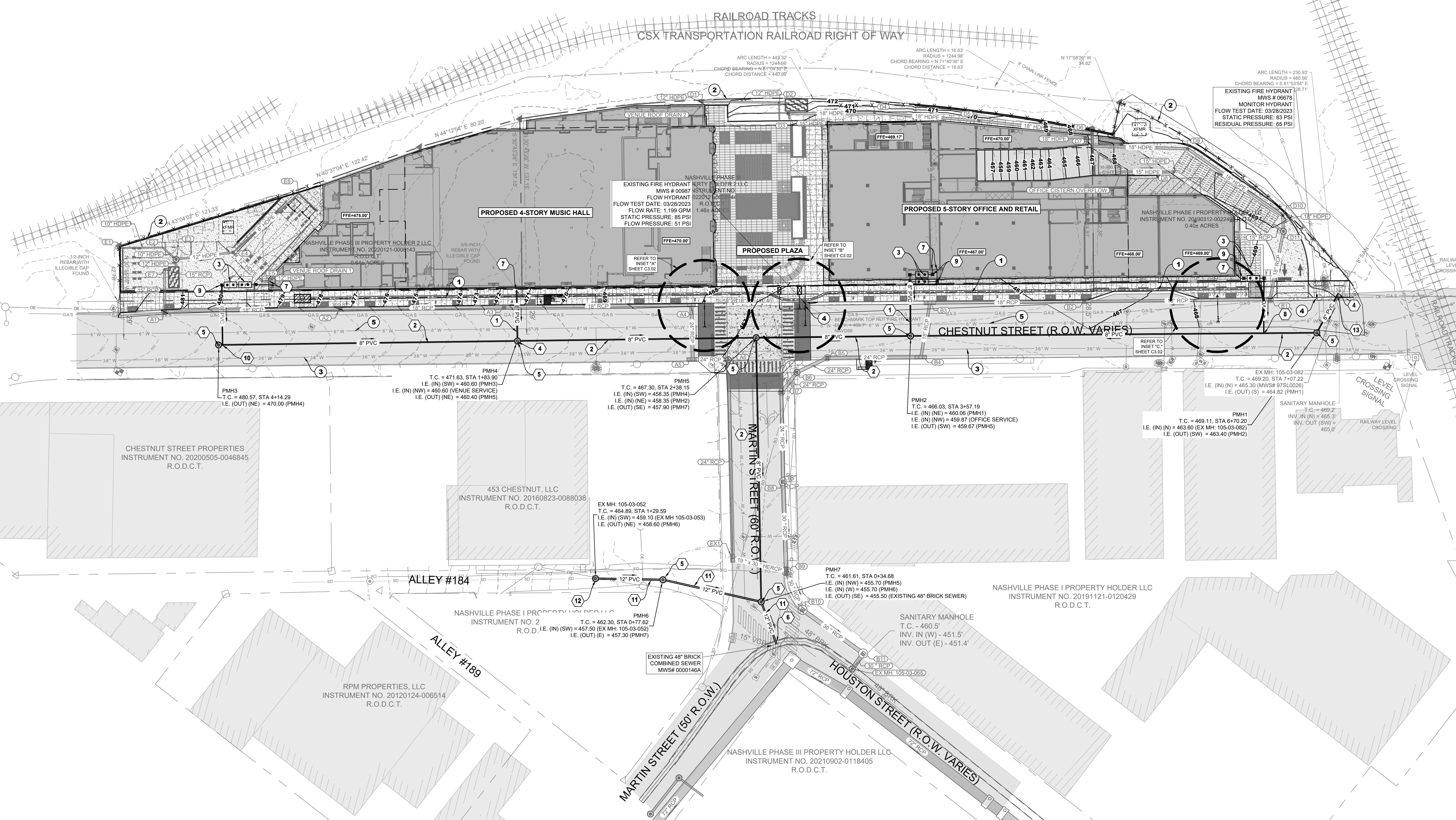


- UTILITY KEYNOTES:**
- 1 EXISTING PROPERTY LINE / CHESTNUT ST R.O.W. LINE.
 - 2 EXISTING PROPERTY LINE / CSX R.O.W. LINE.
 - 3 CONTRACTOR TO REFER TO AND FOLLOW ALL GUIDELINES FROM METRO WATERS CRITICAL ASSET DAMAGE PREVENTION POLICY WHEN WORKING AROUND EXISTING 36" WATER MAIN IN CHESTNUT STREET (MWS# V2184100).
 - 4 EXISTING FIRE HYDRANT TO BE RELOCATED. SEE SHEET C3.03 FOR PROPOSED LOCATION. CONTRACTOR TO REPLACE HYDRANT AT THE DISCRETION OF MWS INSPECTOR.
 - 5 EXISTING 6" WATER MAIN IN CHESTNUT STREET. (MWS# R0378845).
 - 1 PROPOSED SANITARY SEWER SERVICE LINE.
 - 2 PROPOSED 6" SDR 35 PVC SANITARY SEWER MAIN.
 - 3 PROPOSED 1,500 GALLON GREASE INTERCEPTOR. SEE PLUMBING PLANS FOR DETAILS.
 - 4 PROPOSED SANITARY SEWER MAIN TO TIE INTO EXISTING MANHOLE.
 - 5 PROPOSED SANITARY SEWER MANHOLE. SEE DETAIL SHEET C3.02.
 - 6 PROPOSED SANITARY SEWER MAIN TO TIE INTO EXISTING 48" BRICK SEWER LINE. SEE C3.02 FOR DETAIL.
 - 7 SEE PLUMBING PLANS FOR CONTINUATION INTO BUILDING.
 - 8 PROPOSED 4" SANITARY SEWER SERVICE LINE TO TAP PROPOSED MAN.
 - 9 PROPOSED GREASE WASTE CLEANOUT, TYP.
 - 10 PROPOSED 6" SANITARY SEWER SERVICE LINE TO TAP PROPOSED MAN.
 - 11 PROPOSED 12" SDR 35 PVC SANITARY SEWER MAIN.
 - 12 EXISTING MANHOLE GRATE CASTING TO BE REPLACED WITH SOLID LID CASTING. SEE C3.02 FOR MANHOLE FRAME AND COVER DETAIL.
 - 13 POTENTIAL CONFLICT WITH EXISTING GAS MAIN. CONTRACTOR TO COORDINATE RELOCATION IF NECESSARY WITH PIEDMONT NATURAL GAS.

- MWS STANDARD PRIVATE UTILITY PLAN NOTES:**
1. ALL WATER AND/OR SEWER SERVICES, ALONG WITH APPURTENANCES, SHALL BE INSTALLED IN ACCORDANCE WITH SPECIFICATIONS AND STANDARD DETAILS OF THE METRO WATER SERVICES.
 2. ALL CONNECTIONS TO EXISTING MANHOLES SHALL BE BY CORING AND RESILIENT CONNECTION METHOD.
 3. VERTICAL DOUBLE CHECK VALVE ASSEMBLIES, THAT ARE LOCATED IN INTERIOR ROOMS, CAN ONLY BE USED FOR FIRE SERVICES.
 4. ALL WATER METERS SHALL BE A MINIMUM OF 24" NOT TO EXCEED A MAXIMUM OF 28" BELOW FINISHED GRADE.
 5. IRRIGATION LINE SHALL BE COPPER FROM THE METER TO THE BACKFLOW PREVENTER.
 6. THE MINIMUM FEES OUTLINED IN THE CAPACITY LETTER MUST BE PAID BEFORE COMMERCIAL CONSTRUCTION PLANS CAN BE REVIEWED.
 7. ALL SEWER SERVICES SHALL BE 6 INCHES IN DIAMETER, FROM CONNECTION AT THE MAIN UNTIL THE FIRST CLEANOUT ASSEMBLY.
 8. BACKFLOW DEVICE TO REMAIN ACCESSIBLE AT ALL TIMES.
 9. PLAN SIZE SHALL BE 24"x36" AND SHALL SHOW CONTOURS AROUND METER BOXES.
 10. ANY UNUSED EXISTING WATER METERS MUST BE CUT AND CAPPED AT THE PUBLIC MAIN.
 11. ALL LEAD OR GALVANIZED WATER SERVICE LINES ENCOUNTERED WITH THIS PROJECT SHALL BE RENAIATED WITH COPPER OF LIKE SIZE FROM THE WATER MAIN TO THE METER BOX.
 12. DOMESTIC AND IRRIGATION WATER METERS AND ASSOCIATED APPURTENANCES SHALL NOT BE PLACED IN OR UNDER A PAVED OR IMPROVED SURFACE OTHER THAN THE PORTION OF THE SERVICE LOCATED WITHIN THE RIGHT OF WAY.
 13. SANITARY SEWER TAPS SHALL BE PLACED AT THE LOWEST ADJACENT SEWER MAIN ELEVATION FOR EACH PREMISES AND SHALL NOT BE LOCATED IN OR UNDER A PAVED OR IMPROVED SURFACE OTHER THAN THE PORTION WITHIN THE RIGHT OF WAY.

- MWS UTILITY NOTES:**
1. ALL WATER AND SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH SPECIFICATIONS AND STANDARD DETAILS OF THE METRO WATER SERVICES.
 2. THE CONTRACTOR IS RESPONSIBLE FOR REIMBURSING THE METRO WATER SERVICES THE COST OF INSPECTION.
 3. THE CONTRACTOR IS TO PROVIDE AND MAINTAIN THE CONSTRUCTION IDENTIFICATION SIGN FOR PRIVATE DEVELOPMENT APPROVED.
 4. AFTER COMPLETION OF THE SANITARY SEWER, THE DEVELOPER IS RESPONSIBLE FOR THE TELEVISION OF THE LINES PRIOR TO FINAL ACCEPTANCE. THE VIDEO TAPING MUST BE COORDINATED WITH THE METRO WATER SERVICES INSPECTION SECTION. ALL COSTS WILL BE BORNE BY THE DEVELOPER.
 5. ALL CONNECTIONS TO EXISTING MANHOLES SHALL BE BY CORING AND RESILIENT CONNECTION METHOD.
 6. REDUCED PRESSURE BACKFLOW PREVENTION DEVICES (RPBP) OR DUAL CHECK VALVE SHALL BE REQUIRED ON ALL TEST AND FILL LINES (SUMP) NEEDED FOR WATER MAIN CONSTRUCTION AND MUST BE APPROVED BY THE DEVELOPER.
 7. ALL WATER METERS SHALL BE A MINIMUM OF 24" NOT TO EXCEED MAXIMUM OF 28" BELOW FINISHED GRADE.
 8. UPON COMPLETION OF CONSTRUCTION OF WATER AND/OR SEWER, THE ENGINEER SHALL PROVIDE THE DEPARTMENT WITH A COMPLETE SET OF AS-BUILT PLANS IN DIGITAL (DWG AND PDF) FORMAT. ALL DRAWINGS MUST BE COMPLETED AND SUBMITTED PRIOR TO ACCEPTANCE OF THE SEWERS AND WATER MAINS INTO THE PUBLIC SYSTEM AND ANY CONNECTIONS BEING MADE.
 9. SEWER PLANS SHALL BE SEALED BY A LICENSED PROFESSIONAL ENGINEER OR A REGISTERED LAND SURVEYOR AND SHALL INCLUDE ACTUAL FIELD ANGLES BETWEEN LINES. ALL ACTUAL SERVICE LINES AND TIE LOCATIONS, THE DISTANCE OF THE END OF THE SERVICE LINE TO PROPERTY CORNERS AND LINES AND/OR STATION AND OFFSET FROM SEWER CENTRALINE TO END OF SERVICE LINE, THE DEPTH TO THE TOP OF THE END OF THE SERVICE LINE, AND SHALL REFLECT ALL ALIGNMENT AND GRADE CHANGES.
 10. WATER LINE PLANS SHALL BE SEALED BY A LICENSED PROFESSIONAL ENGINEER OR A REGISTERED LAND SURVEYOR AND SHALL INCLUDE OFFSET DISTANCE FROM THE ROADWAY CENTERLINE, OR PROPERTY LINE, RIGHT OF WAY, LINE DEPTH, LOCATION OF HYDRANTS, VALVES, REDUCERS, TIES AND PRESSURE REDUCING DEVICES WHERE APPLICABLE. ALL DRAWINGS MUST BE COMPLETED AND SUBMITTED PRIOR TO ACCEPTANCE OF THE SEWERS OR WATER MAINS INTO THE PUBLIC SYSTEM AND ANY CONNECTIONS BEING MADE.
 9. PRESSURE REGULATING DEVICES WILL BE REQUIRED ON THE CUSTOMER SIDE OF THE METER WHEN PRESSURES EXCEED 100 PSI.
 10. PRESSURE REGULATING DEVICES WILL BE REQUIRED ON THE STREET SIDE OF THE METER WHEN PRESSURES EXCEED 100 PSI.
 11. ALL WATER MAINS MUST BE LOCATED WITHIN THE PAVED AREA INCLUDING ALL BLOW-OFF ASSEMBLIES.
 12. ALL LEAD OR GALVANIZED WATER LINE SERVICE LINES ENCOUNTERED WITH THIS PROJECT SHALL BE RENAIATED WITH COPPER OF LIKE SIZE FROM WATER MAIN TO METER BOX.
 13. DOMESTIC AND IRRIGATION WATER METERS AND ASSOCIATED APPURTENANCES SHALL NOT BE PLACED IN OR UNDER A PAVED OR IMPROVED SURFACE OTHER THAN THE PORTION OF THE SERVICE LOCATED WITHIN THE RIGHT OF WAY.
 14. SANITARY SEWER TAPS SHALL BE PLACED AT THE LOWEST ADJACENT SEWER MAIN ELEVATION FOR EACH PREMISES AND SHALL NOT BE LOCATED IN OR UNDER A PAVED OR IMPROVED SURFACE OTHER THAN THE PORTION WITHIN THE RIGHT OF WAY.

NDOT NOTE:
ALL UTILITY TRENCH REPAIR WITHIN ROW TO BE PERFORMED PER NDOT ST-2008



SWGR# 2024039010

CASE NO. 2022SP-059-002

COUNCIL DISTRICT : 17
COUNCIL MEMBER : TERRY VO

SITE & GRADING ENGINEER
BARGE CIVIL ASSOCIATES, LLC
6808 CHARLOTTE PIKE, SUITE 210
NASHVILLE, TN 37209

SURVEYOR
CIVIL INFRASTRUCTURE ASSOCIATES
607 HICKERSON DRIVE
MURFREESBORO, TN 37130

OWNER
AJ CAPITAL PARTNERS
429 CHESTNUT ST.
NASHVILLE, TN 37203

811 Know what's below
Call before you dig.
811
www.call811.com

AREA FOR CITY APPROVAL STAMP

DEVELOPER
AJ Capital Partners
429 Chestnut St.
Nashville, TN 37203
312.274.4165

ARCHITECT
HARTSHORNE PLUNKARD ARCHITECTURE
315 WEST WALTON STREET
CHICAGO, IL 60610
312.274.4888
HPAARCHITECTURE.COM

MAGNUSON KLEMENCIC ASSOCIATES
STRUCTURAL ENGINEER
1301 FIRM AVENUE, SUITE 2000, SEATTLE, WA

IMEG CORP.
MECHANICAL ENGINEER
225 W. WASHINGTON STREET, SUITE 2700, CHICAGO, IL

IMEG CORP.
ELECTRICAL ENGINEER
225 W. WASHINGTON STREET, SUITE 2700, CHICAGO, IL

IMEG CORP.
PLUMBING ENGINEER
225 W. WASHINGTON STREET, SUITE 2700, CHICAGO, IL

IMEG CORP.
FIRE PROTECTION ENGINEER
225 W. WASHINGTON STREET, SUITE 2700, CHICAGO, IL

BARGE CIVIL ASSOCIATES
CIVIL ENGINEER
6808 CHARLOTTE PIKE, SUITE 210, NASHVILLE, TN

HODGSON DOUGLAS
LANDSCAPE ARCHITECT
507 Main Street, Nashville, TN

JENKINS & HUNTINGTON
ELEVATOR CONSULTANT
17W106 91st Street, Willowbrook, IL

CHESTNUT ST. MIXED USE

ISSUANCES

DATE	ISSUED FOR
04/26/2024	FINAL SP SUBMITTAL
07/15/2024	GRADING & UTILITIES ERP
07/17/2024	FINAL SP SUBMITTAL
08/16/2024	DESIGN DEVELOPMENT & ERP

Contractor shall be responsible for reviewing all Plans and Specifications, verifying all existing conditions prior to proceeding with Construction, complying with all applicable building codes, and notifying Architect immediately of any discrepancies or conflicts. Contractor shall contact the work in accordance with all applicable building codes.

Contractor is responsible for design and installation of property street and building systems. Submit shop drawings to architect for approval on coordination with Architectural Design intent.

A written Architectural Specification was issued for this project and along with these printed documents is contained the Contract Documents for this project. This incorporation to the Contract Documents is intended to be a part of the Contract Documents. By submitting a bid for this work the Contractor and all subcontractors accept that they have reviewed the entire Contract Documents and the conditions and have accepted all applicable work. Additional Architectural Specifications copies are available at the office upon request.

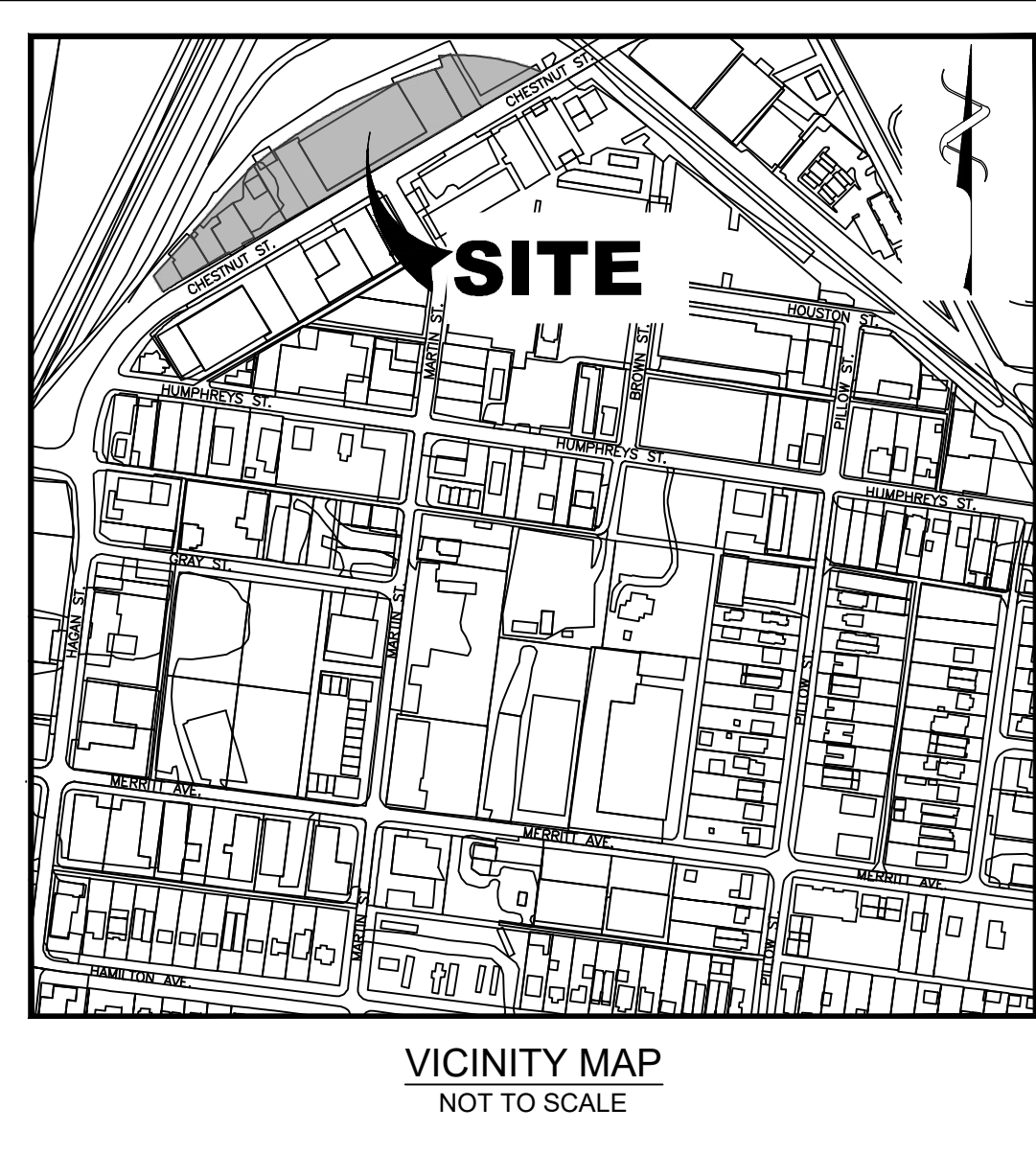
Resubmission: Resubmission, L.L.C. shall retain all copyrights, drawings and common law right with respect to Resubmission including design, reproduction, change or improvement to any third party and all use occurs without obtaining approval from the permission and consent of Resubmission and Architecture, L.L.C.

SEAL SIGNATURE

FINAL SP CASE NO: 2022SP-059-002

OVERALL SITE UTILITY PLAN

C3.00

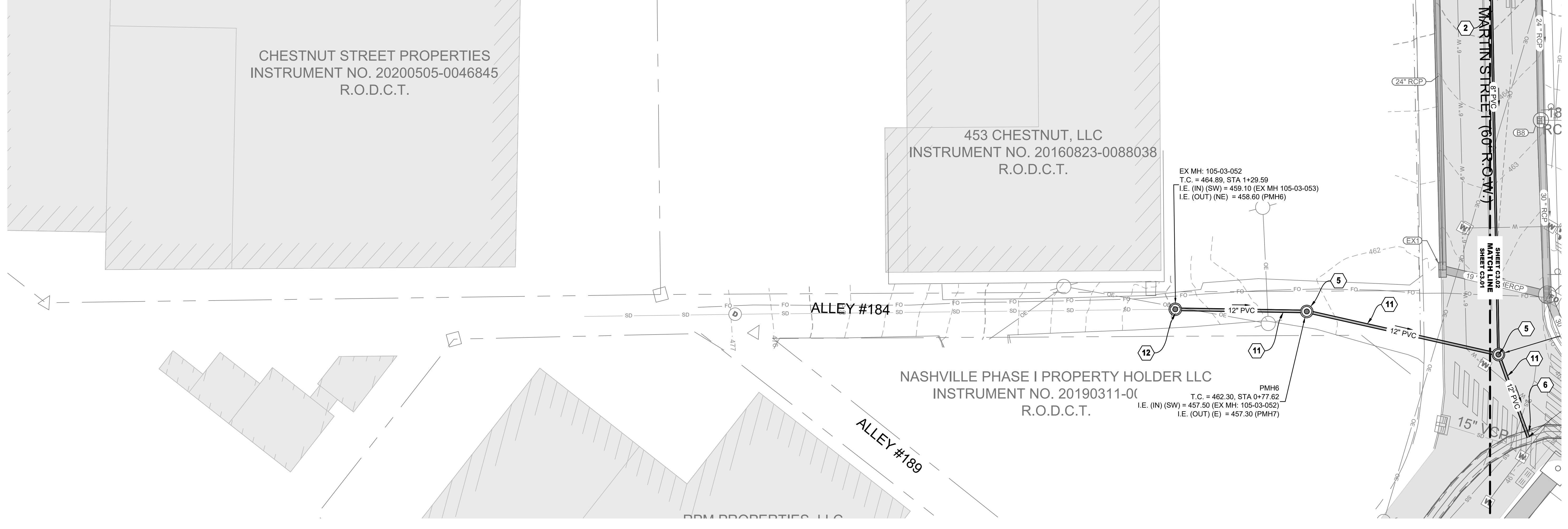
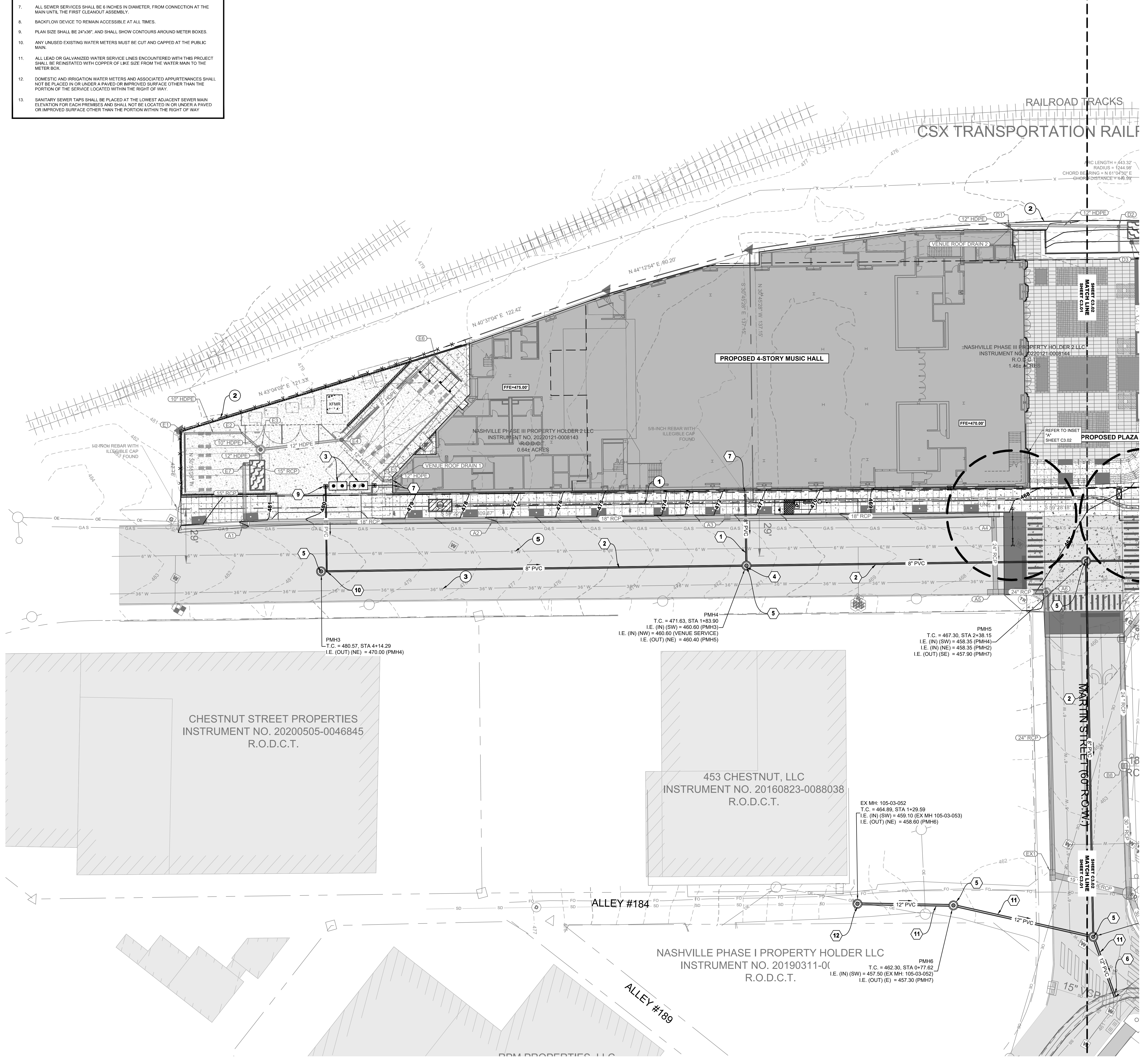


- MWS STANDARD PRIVATE UTILITY PLAN NOTES:**
- ALL WATER AND SEWER SERVICES, ALONG WITH APPURTENANCES, SHALL BE INSTALLED IN ACCORDANCE WITH SPECIFICATIONS AND STANDARD DETAILS OF THE METRO WATER SERVICES.
 - ALL CONNECTIONS TO EXISTING MANHOLES SHALL BE BY CORING AND RESILIENT CONNECTOR METHOD.
 - VERTICAL DOUBLE CHECK VALVE ASSEMBLIES, THAT ARE LOCATED IN INTERIOR ROOMS, CAN ONLY BE USED FOR FIRE SERVICES.
 - ALL WATER METERS SHALL BE A MINIMUM OF 24" NOT TO EXCEED A MAXIMUM OF 28" BELOW FINISHED GRADE.
 - IRRIGATION LINE SHALL BE COPPER FROM THE METER TO THE BACKFLOW PREVENTER. THE MINIMUM FEES OUTLINED IN THE CAPACITY LETTER MUST BE PAID BEFORE COMMERCIAL CONSTRUCTION PLANS CAN BE REVIEWED.
 - ALL SEWER SERVICES SHALL BE 8 INCHES IN DIAMETER, FROM CONNECTION AT THE MAIN UNTIL THE FIRST CLEANOUT ASSEMBLY.
 - BACKFLOW DEVICE TO REMAIN ACCESSIBLE AT ALL TIMES.
 - PLAN SIZE SHALL BE 24"x36" AND SHALL SHOW CONTOURS AROUND METER BOXES.
 - ANY UNUSED EXISTING WATER METERS MUST BE CUT AND CAPPED AT THE PUBLIC MAIN.
 - ALL LEAD OR GALVANIZED WATER SERVICE LINES ENCOUNTERED WITH THIS PROJECT SHALL BE REINSTATED WITH COPPER OF LIKE SIZE FROM THE WATER MAIN TO THE METER BOX.
 - DOMESTIC AND IRRIGATION WATER METERS AND ASSOCIATED APPURTENANCES SHALL NOT BE PLACED IN OR UNDER A PAVED OR IMPROVED SURFACE OTHER THAN THE PORTION OF THE SERVICE LOCATED WITHIN THE RIGHT OF WAY.
 - SANITARY SEWER TAPS SHALL BE PLACED AT THE LOWEST ADJACENT SEWER MAIN ELEVATION FOR EACH PREMISES AND SHALL NOT BE LOCATED IN OR UNDER A PAVED OR IMPROVED SURFACE OTHER THAN THE PORTION WITHIN THE RIGHT OF WAY.

- UTILITY KEYNOTES:**
- EXISTING PROPERTY LINE / CHESTNUT ST R.O.W. LINE.
 - EXISTING PROPERTY LINE / CSX R.O.W. LINE.
 - CONTRACTOR TO REFER TO AND FOLLOW ALL GUIDELINES FROM METRO WATER'S CRITICAL ASSET DAMAGE PREVENTION GUIDE WHEN WORKING AROUND EXISTING 30" WATER MAIN IN CHESTNUT STREET (MWSM V21M0190).
 - EXISTING FIRE HYDRANT TO BE RELOCATED. SEE SHEET C3.03 FOR PROPOSED LOCATION, CONTRACTOR TO REPLACE HYDRANT AT THE DISCRETION OF MWS INSPECTOR.
 - EXISTING 6" WATER MAIN IN CHESTNUT STREET (MWS #0578045).
 - PROPOSED SANITARY SEWER SERVICE LINE.
 - PROPOSED 8" SDR 35 PVC SANITARY SEWER MAIN.
 - PROPOSED 1,500 GALLON GREASE INTERCEPTOR. SEE PLUMBING PLANS FOR DETAILS.
 - PROPOSED SANITARY SEWER MAIN TO THE INTO EXISTING MANHOLE.
 - PROPOSED SANITARY SEWER MANHOLE. SEE DETAIL SHEET C5.02.
 - PROPOSED SANITARY SEWER MAIN TO THE INTO EXISTING 48" BRICK SEWER LINE. SEE C3.11 FOR DETAIL.
 - SEE PLUMBING PLANS FOR CONTINUATION INTO BUILDING.
 - PROPOSED 4" SANITARY SEWER SERVICE LINE TO TAP PROPOSED MAIN.
 - PROPOSED GREASE WASTE CLEANOUT, TYP.
 - PROPOSED 6" SANITARY SEWER SERVICE LINE TO TAP PROPOSED MAIN.
 - PROPOSED 12" SDR 35 PVC SANITARY SEWER MAIN.
 - EXISTING MANHOLE GRATE CASTING TO BE REPLACED WITH SOLID LID CASTING. SEE C5.02 FOR MANHOLE FRAME AND COVER DETAIL.
 - POTENTIAL CONFLICT WITH EXISTING GAS MAIN. CONTRACTOR TO COORDINATE RELOCATION IF NECESSARY WITH PERMITS AND NATURAL GAS.

- MWS UTILITY NOTES:**
- ALL WATER AND SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH SPECIFICATIONS AND STANDARD DETAILS OF THE METRO WATER SERVICES.
 - THE CONTRACTOR IS RESPONSIBLE FOR REIMBURSING THE METRO WATER SERVICES THE COST OF INSPECTION.
 - THE CONTRACTOR IS TO PROVIDE AND MAINTAIN THE CONSTRUCTION IDENTIFICATION SIGN FOR PRIVATE DEVELOPMENT APPROVED.
 - AFTER COMPLETION OF THE SANITARY SEWER, THE DEVELOPER IS RESPONSIBLE FOR THE TELEVISION OF THE LINES PRIOR TO FINAL ACCEPTANCE. THE VIDEO TAPING MUST BE COORDINATED WITH THE METRO WATER SERVICES INSPECTION SECTION. ALL COSTS WILL BE BORNE BY THE DEVELOPER.
 - ALL CONNECTIONS TO EXISTING MANHOLES SHALL BE BY CORING AND RESILIENT CONNECTOR METHOD.
 - REDUCED PRESSURE BACKFLOW PREVENTION DEVICES (RPBP) OR DUAL CHECK VALVE WILL BE REQUIRED ON ALL TEST AND FILL LINES (JUMPER) NEEDED FOR WATER MAIN CONSTRUCTION AND MUST BE APPROVED BY THE METRO WATER SERVICES.
 - ALL WATER METERS SHALL BE A MINIMUM OF 24" NOT TO EXCEED MAXIMUM OF 28" BELOW FINISHED GRADE.
 - UPON COMPLETION OF CONSTRUCTION OF WATER AND/OR SEWER, THE ENGINEER SHALL PROVIDE THE DEPARTMENT WITH A COMPLETE SET OF AS-BUILT PLANS IN DIGITAL (DWG AND PDF) FORMAT. ALL DRAWINGS MUST BE COMPLETED AND SUBMITTED PRIOR TO ACCEPTANCE OF THE SEWERS OR WATER MAINS INTO THE PUBLIC SYSTEM AND ANY CONNECTION BEING MADE.
 - SEWER PLANS SHALL BE SEALED BY A LICENSED PROFESSIONAL ENGINEER OR A REGISTERED LAND SURVEYOR AND SHALL INCLUDE ACTUAL FIELD ANGLES BETWEEN LINES, ALL ACTUAL SERVICE LINES AND TEE LOCATIONS, THE DISTANCE OF THE END OF THE SERVICE LINE TO PROPERTY CORNERS AND LINES AND/OR STATION AND OFF SET FROM SERVICE CENTERLINE TO END OF SERVICE LINE, THE DEPTH TO THE TOP OF THE END OF THE SERVICE LINE, AND SHALL REFLECT ALL ALIGNMENT AND GRADE CHANGES.
 - WATER LINE PLANS SHALL BE SEALED BY A LICENSED PROFESSIONAL ENGINEER OR A REGISTERED LAND SURVEYOR AND SHALL INCLUDE OFFSET DISTANCE FROM THE ROADWAY CENTERLINE, OR PROPERTY LINE RIGHT OF WAY, LINE DEPTH, LOCATIONS OF HYDRANTS, VALVES, REDUCERS, TEES AND PRESSURE REGULATING DEVICES WHERE APPLICABLE. ALL DRAWINGS MUST BE COMPLETED AND SUBMITTED PRIOR TO ACCEPTANCE OF THE SEWERS OR WATER MAINS INTO THE PUBLIC SYSTEM AND ANY CONNECTIONS BEING MADE.
 - PRESSURE REGULATING DEVICES WILL BE REQUIRED ON THE CUSTOMER SIDE OF THE METER WHEN PRESSURES EXCEED 150 PSI.
 - PRESSURE REGULATING DEVICES WILL BE REQUIRED ON THE STREET SIDE OF THE METER WHEN PRESSURES EXCEED 150 PSI.
 - ALL WATER MAINS MUST BE LOCATED WITHIN THE PAVED AREA INCLUDING ALL BLOW-OFF ASSEMBLIES.
 - ALL LEAD OR GALVANIZED WATER SERVICE LINES ENCOUNTERED WITH THIS PROJECT SHALL BE REINSTATED WITH COPPER OF LIKE SIZE FROM WATER MAIN TO METER BOX.
 - DOMESTIC AND IRRIGATION WATER METERS AND ASSOCIATED APPURTENANCES SHALL NOT BE PLACED IN OR UNDER A PAVED OR IMPROVED SURFACE OTHER THAN THE PORTION OF THE SERVICE LOCATED WITHIN THE RIGHT OF WAY.
 - SANITARY SEWER TAPS SHALL BE PLACED AT THE LOWEST ADJACENT SEWER MAIN ELEVATION FOR EACH PREMISES AND SHALL NOT BE LOCATED IN OR UNDER A PAVED OR IMPROVED SURFACE OTHER THAN THE PORTION WITHIN THE RIGHT OF WAY.

NDOT NOTE:
ALL UTILITY TRENCH REPAIR WITHIN ROW TO BE PERFORMED PER NDOT ST-270B.



SWGR# 2024039010

CASE NO. 2022SP-059-002

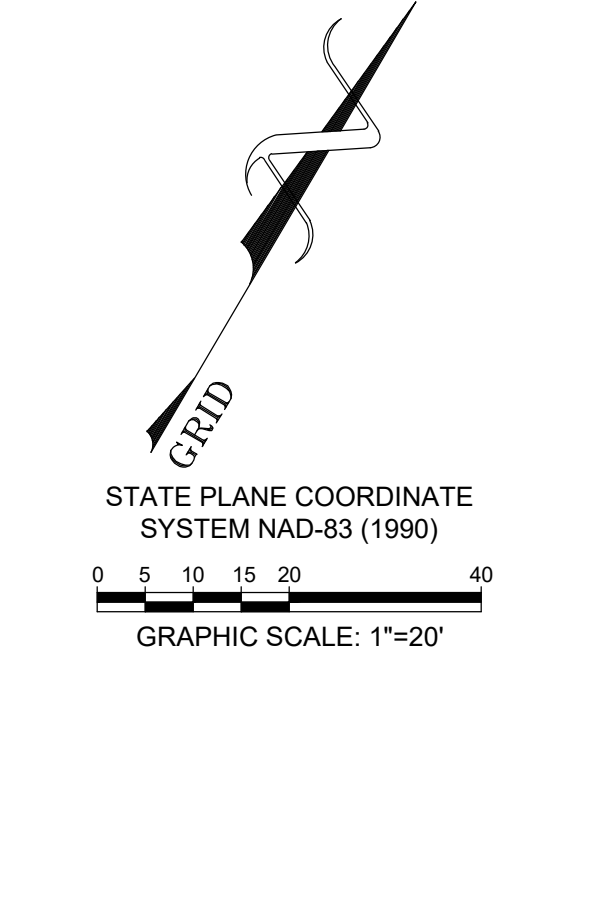
COUNCIL DISTRICT : 17
COUNCIL MEMBER : TERRY VO

SITE & GRADING ENGINEER
BARGE CIVIL ASSOCIATES, LLC
6608 CHARLOTTE PIKE, SUITE 210
NASHVILLE, TN 37209

SURVEYOR
CIVIL INFRASTRUCTURE ASSOCIATES
67 HICKERSON DRIVE
MURFREESBORO, TN 37130

OWNER
AJ CAPITAL PARTNERS
429 CHESTNUT ST.
NASHVILLE, TN 37203

811 Know what's below
Call before you dig.
811
www.call811.com



Contractor shall be responsible for reviewing all Plans and Specifications, notifying of any conditions prior to proceeding with Construction, complying with all applicable building codes, and notifying Architect immediately of any discrepancies or conflicts. Contractor shall protect the work in accordance with all applicable building codes.

Contractor is responsible for design and installation of property shut out and load systems. Submit shop drawings to architect for approval on construction by Architectural Design team.

A written Acknowledgment of Specifications was issued for this project and along with these printed documents is contained the Contract Documents for this project. This Acknowledgment is to be displayed on-site throughout the Contract Documents. By submitting a bid for this work the Contractor and all subcontractors certify that they have reviewed the entire Contract Documents and the conditions and have accepted all applicable work. Additional Acknowledgment of Specifications copies are available upon request.

Fluorobone Plaster and Architecture, LLC shall retain all copyrights, drawings and control over any right with respect to these plans including design, reproduction, change or equipment to any third party shall not occur without obtaining express written permission and consent of Fluorobone Plaster and Architecture, LLC.

AREA FOR CITY APPROVAL STAMP

DEVELOPER
AJ Capital Partners
429 Chestnut St.
Nashville, TN 37203
312-207-4165

ARCHITECT
HARTSHORNE PLUNKARD ARCHITECTURE
HPA 315 WEST WALTON STREET
CHICAGO, IL 60610
312.224.4488
HPARCHITECTURE.COM

MAGNUSSON KLEMENCIC ASSOCIATES
STRUCTURAL ENGINEER
1301 FIRB Avenue, Suite 2200, Seattle, WA

IMEG CORP.
MECHANICAL ENGINEER
225 W. Washington Street, Suite 2700, Chicago, IL

IMEG CORP.
ELECTRICAL ENGINEER
225 W. Washington Street, Suite 2700, Chicago, IL

IMEG CORP.
PLUMBING ENGINEER
225 W. Washington Street, Suite 2700, Chicago, IL

IMEG CORP.
FIRE PROTECTION ENGINEER
225 W. Washington Street, Suite 2700, Chicago, IL

BARGE CIVIL ASSOCIATES
CIVIL ENGINEER
6608 Charlotte Pike, Suite 210, Nashville, TN

HODGSON DOUGLAS
LANDSCAPE ARCHITECT
507 Main Street, Nashville, TN

JENKINS & HUNTINGTON
ELEVATOR CONSULTANT
17W106 91st Street, Willowbrook, IL

CHESTNUT ST. MIXED USE

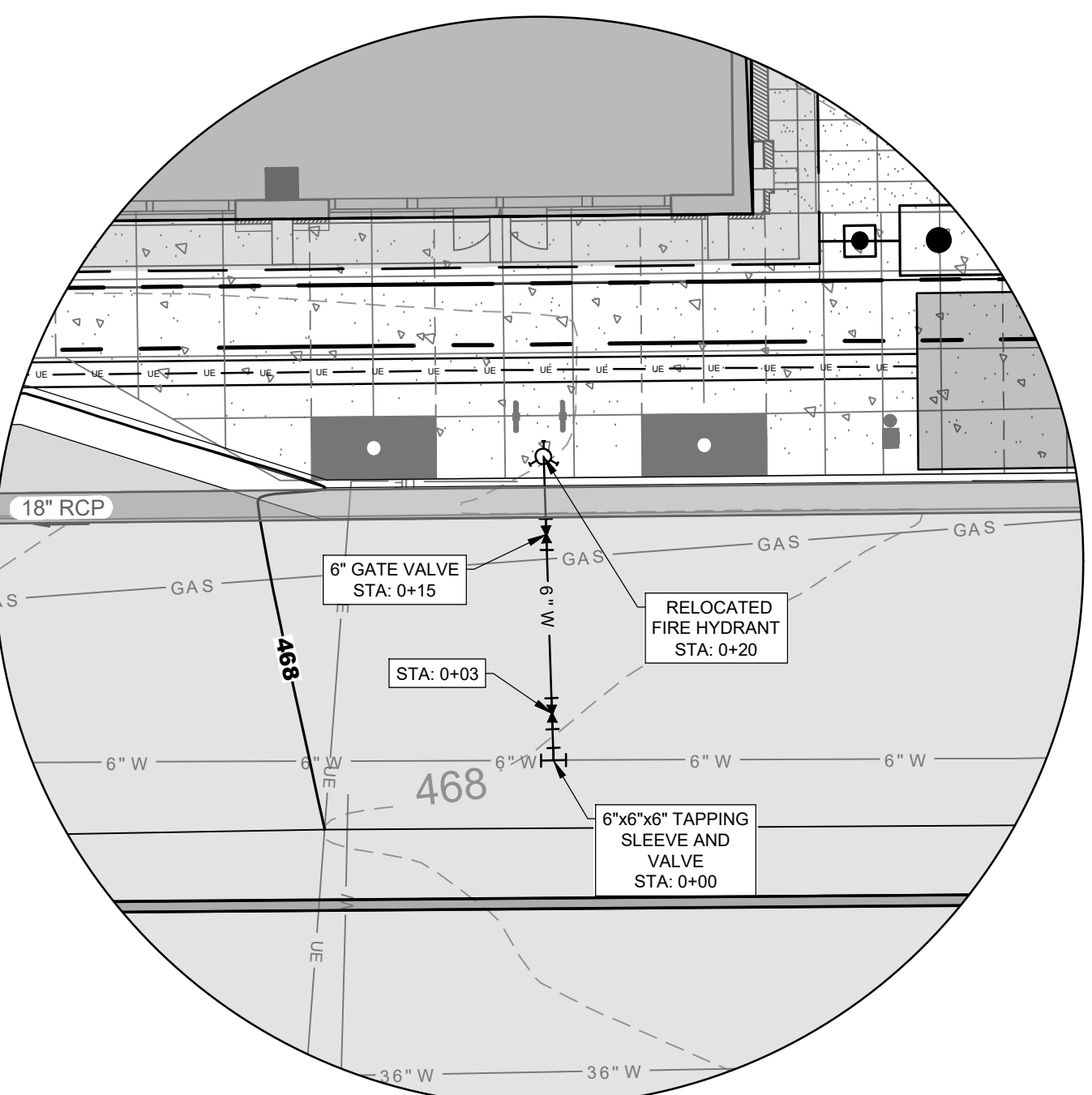
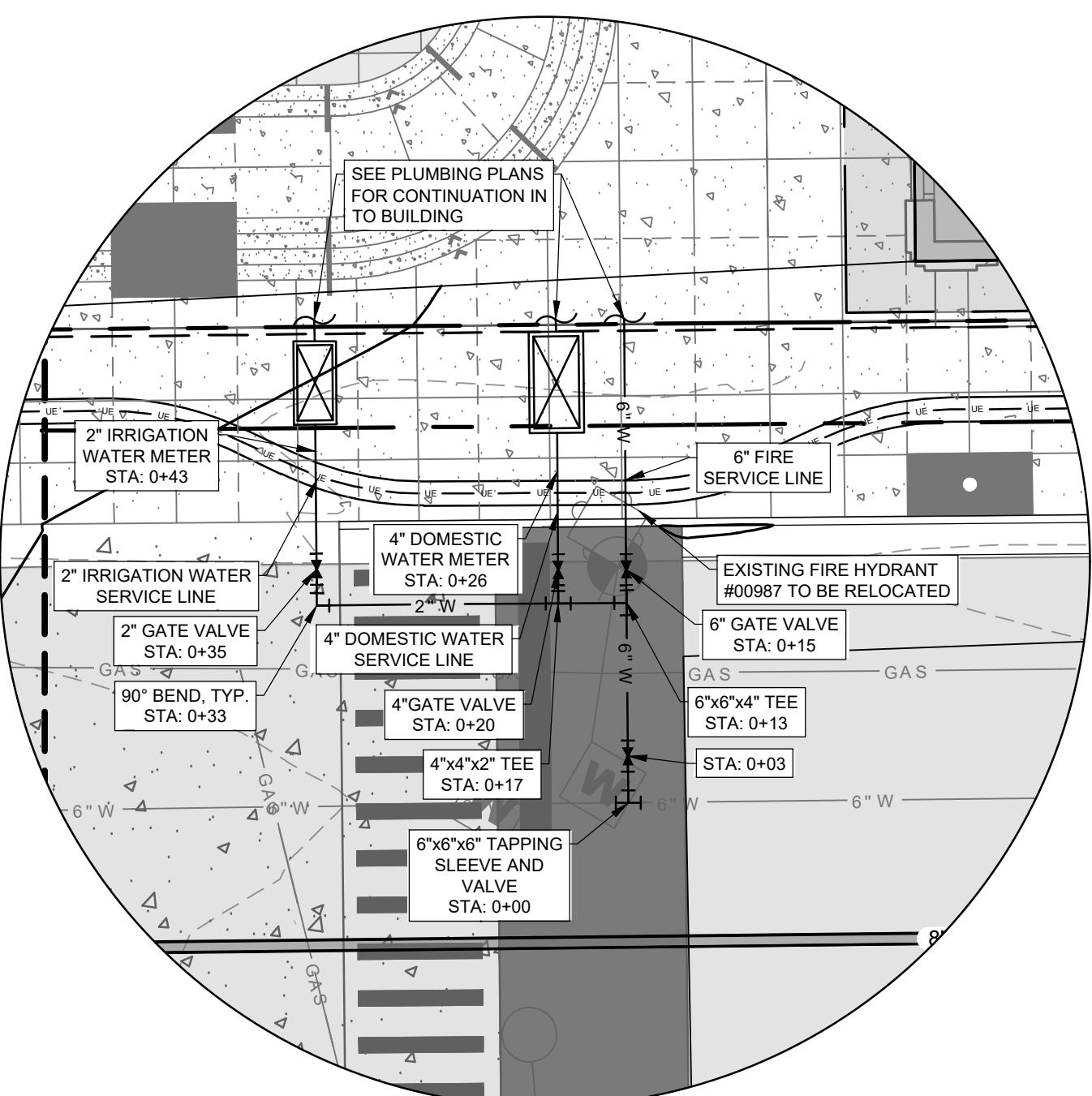
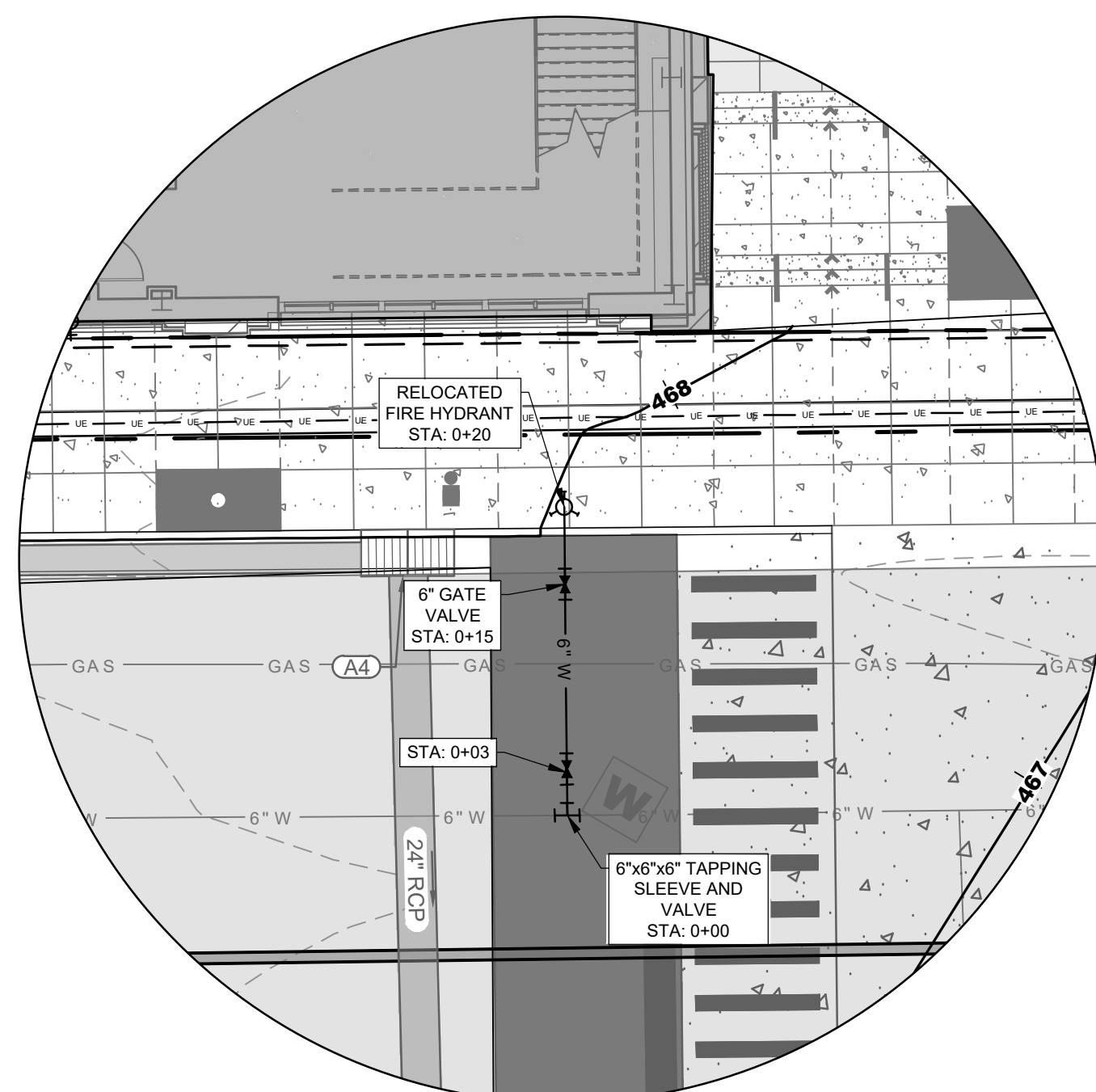
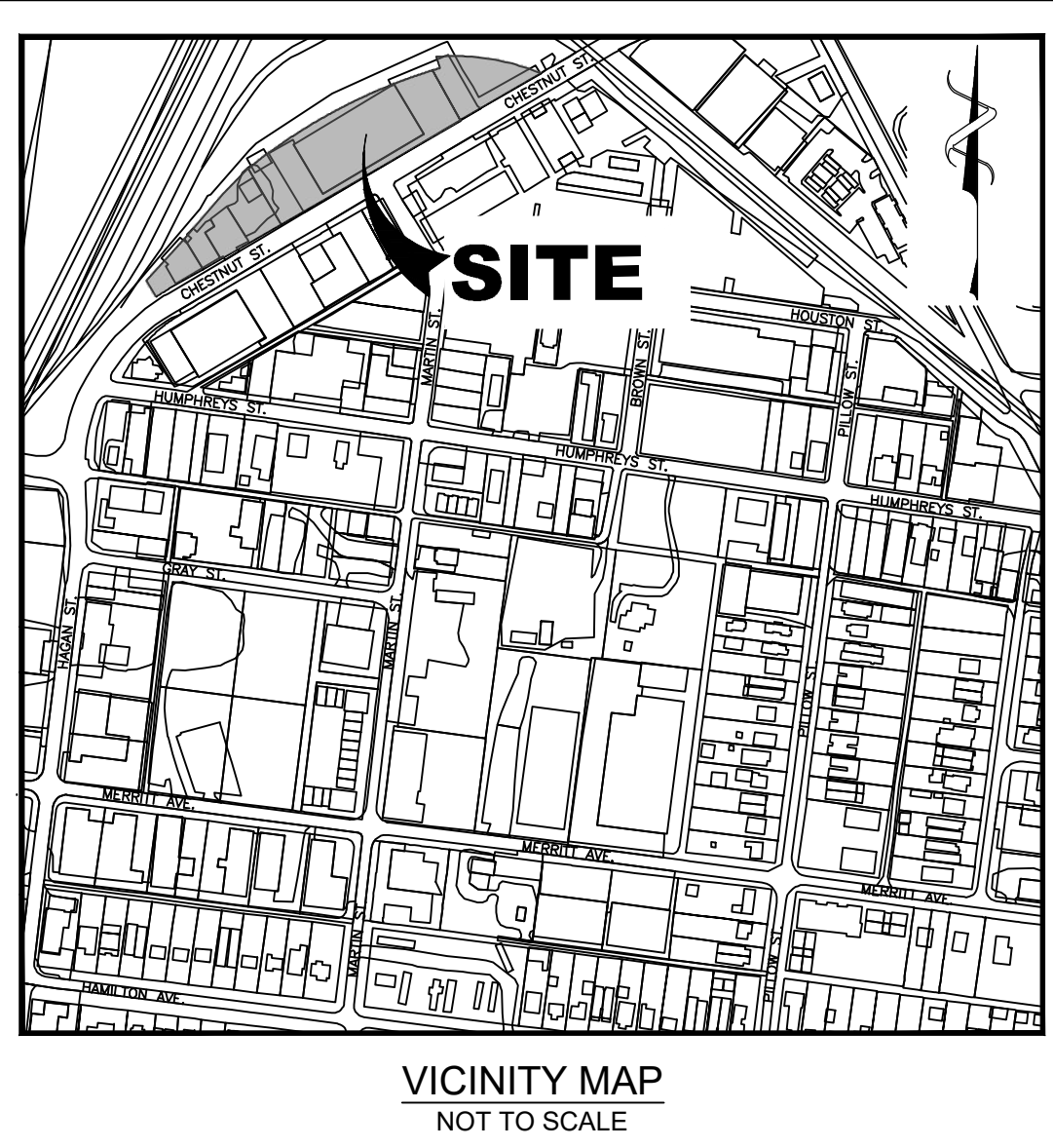
DATE	ISSUED FOR
04/26/2024	FINAL SP SUBMITTAL
07/15/2024	GRADING & UTILITIES ERP
07/17/2024	FINAL SP RESUBMITTAL
08/16/2024	DESIGN DEVELOPMENT & ERP

SEAL SIGNATURE

FINAL SP CASE NO: 2022SP-059-002

ENLARGED SITE UTILITY PLAN

C3.01



- MWS STANDARD PRIVATE UTILITY PLAN NOTES:**
- ALL WATER AND/OR SEWER SERVICES, ALONG WITH APPURTENANCES, SHALL BE INSTALLED IN ACCORDANCE WITH SPECIFICATIONS AND STANDARD DETAILS OF THE METRO WATER SERVICES.
 - ALL CONNECTIONS TO EXISTING MANHOLES SHALL BE BY CORING AND RESILIENT CONNECTOR METHOD.
 - VERTICAL DOUBLE CHECK VALVE ASSEMBLIES, THAT ARE LOCATED IN INTERIOR ROOMS, CAN ONLY BE USED FOR FIRE SERVICES.
 - ALL WATER METERS SHALL BE A MINIMUM OF 24" NOT TO EXCEED A MAXIMUM OF 28" BELOW FINISHED GRADE.
 - IRRIGATION LINE SHALL BE COPPER FROM THE METER TO THE BACKFLOW PREVENTER. THE MINIMUM FEES OUTLINED IN THE CAPACITY LETTER MUST BE PAID BEFORE COMMERCIAL CONSTRUCTION PLANS CAN BE REVIEWED.
 - ALL SEWER SERVICES SHALL BE 6 INCHES IN DIAMETER, FROM CONNECTION AT THE MAIN UNTIL THE FIRST CLEANOUT ASSEMBLY.
 - BACKFLOW DEVICE TO REMAIN ACCESSIBLE AT ALL TIMES.
 - PLAN SIZE SHALL BE 24"x36" AND SHALL SHOW CONTOURS AROUND METER BOXES.
 - ANY UNUSED EXISTING WATER METERS MUST BE CUT AND CAPPED AT THE PUBLIC MAIN.
 - ALL LEAD OR GALVANIZED WATER SERVICE LINES ENCOUNTERED WITH THIS PROJECT SHALL BE REINSTATED WITH COPPER OF LIKE SIZE FROM THE WATER MAIN TO THE METER BOX.
 - DOMESTIC AND IRRIGATION WATER METERS AND ASSOCIATED APPURTENANCES SHALL NOT BE PLACED IN OR UNDER A PAVED OR IMPROVED SURFACE OTHER THAN THE PORTION OF THE SERVICE LOCATED WITHIN THE RIGHT OF WAY.
 - SANITARY SEWER TAPS SHALL BE PLACED AT THE LOWEST ADJACENT SEWER MAIN ELEVATION FOR EACH PREMISES AND SHALL NOT BE LOCATED IN OR UNDER A PAVED OR IMPROVED SURFACE OTHER THAN THE PORTION WITHIN THE RIGHT OF WAY.

- MWS UTILITY NOTES:**
- ALL WATER AND SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH SPECIFICATIONS AND STANDARD DETAILS OF THE METRO WATER SERVICES.
 - THE CONTRACTOR IS RESPONSIBLE FOR REIMBURSING THE METRO WATER SERVICES THE COST OF INSPECTION.
 - THE CONTRACTOR IS TO PROVIDE AND MAINTAIN THE CONSTRUCTION IDENTIFICATION SIGN FOR PRIVATE DEVELOPMENT APPROVED.
 - AFTER COMPLETION OF THE SANITARY SEWER, THE DEVELOPER IS RESPONSIBLE FOR THE TELEVISIONING OF THE LINES PRIOR TO FINAL ACCEPTANCE. THE VIDEO TAPING MUST BE COORDINATED WITH THE METRO WATER SERVICES INSPECTION SECTION. ALL COSTS WILL BE BORNE BY THE DEVELOPER.
 - ALL CONNECTIONS TO EXISTING MANHOLES SHALL BE BY CORING AND RESILIENT CONNECTOR METHOD.
 - REDUCED PRESSURE BACKFLOW PREVENTION DEVICES (RPBP) OR DUAL CHECK VALVE WILL BE REQUIRED ON ALL TEST AND FULL LINES (JUMPER) NEEDED FOR WATER MAIN CONSTRUCTION AND MUST BE APPROVED BY THE METRO WATER SERVICES.
 - ALL WATER METERS SHALL BE A MINIMUM OF 24" NOT TO EXCEED MAXIMUM OF 28" BELOW FINISHED GRADE.
 - UPON COMPLETION OF CONSTRUCTION OF WATER AND/OR SEWER, THE ENGINEER SHALL PROVIDE THE DEPARTMENT WITH A COMPLETE SET OF AS-BUILT PLANS IN DIGITAL (DWG AND PDF) FORMAT. ALL DRAWINGS MUST BE COMPLETED AND SUBMITTED PRIOR TO ACCEPTANCE OF THE SEWERS AND WATER MAINS INTO THE PUBLIC SYSTEM AND ANY CONNECTION BEING MADE.
 - SEWER PLANS SHALL BE SEALED BY A LICENSED PROFESSIONAL ENGINEER OR A REGISTERED LAND SURVIVOR AND SHALL INCLUDE ACTUAL FIELD ANGLES BETWEEN LINES, ALL ACTUAL SERVICE LINES AND TEE LOCATIONS, THE DISTANCE OF THE END OF THE SERVICE LINE TO PROPERTY CORNERS AND LINES AND/OR STATION AND OFFSET FROM SEWER CENTERLINE TO END OF SERVICE LINE, THE DEPTH TO THE TOP OF THE END OF THE SERVICE LINE, AND SHALL REFLECT ALL ALIGNMENT AND GRADE CHANGES.
 - WATER LINE PLANS SHALL BE SEALED BY A LICENSED PROFESSIONAL ENGINEER OR A REGISTERED LAND SURVIVOR AND SHALL INCLUDE OFFSET DISTANCE FROM THE ROADWAY CENTERLINE OR PROPERTY LINE RIGHT OF WAY, LINE DEPTH, LOCATIONS OF HYDRANTS, VALVES, REDUCERS, TEES AND PRESSURE REDUCING DEVICES WHERE APPLICABLE. ALL DRAWINGS MUST BE COMPLETED AND SUBMITTED PRIOR TO ACCEPTANCE OF THE SEWERS OR WATER MAINS INTO THE PUBLIC SYSTEM AND AN CONNECTION BEING MADE.
 - PRESSURE REGULATING DEVICES WILL BE REQUIRED ON THE CUSTOMER SIDE OF THE METER WHEN PRESSURES EXCEED 100 PSI.
 - PRESSURE REGULATING DEVICES WILL BE REQUIRED ON THE STREET SIDE OF THE METER WHEN PRESSURES EXCEED 150 PSI.
 - ALL WATER MAINS MUST BE LOCATED WITHIN THE PAVED AREA INCLUDING ALL BLOW-OFF ASSEMBLIES.
 - ALL LEAD OR GALVANIZED WATER LINE SERVICE LINES ENCOUNTERED WITH THIS PROJECT SHALL BE REINSTATED WITH COPPER OF LIKE SIZE FORM WATER MAIN TO METER BOX.
 - DOMESTIC AND IRRIGATION WATER METERS AND ASSOCIATED APPURTENANCES SHALL NOT BE PLACED IN OR UNDER A PAVED OR IMPROVED SURFACE OTHER THAN THE PORTION OF THE SERVICE LOCATED WITHIN THE RIGHT OF WAY.
 - SANITARY SEWER TAPS SHALL BE PLACED AT THE LOWEST ADJACENT SEWER MAIN ELEVATION FOR EACH PREMISES AND SHALL NOT BE LOCATED IN OR UNDER A PAVED OR IMPROVED SURFACE OTHER THAN THE PORTION WITHIN THE RIGHT OF WAY.

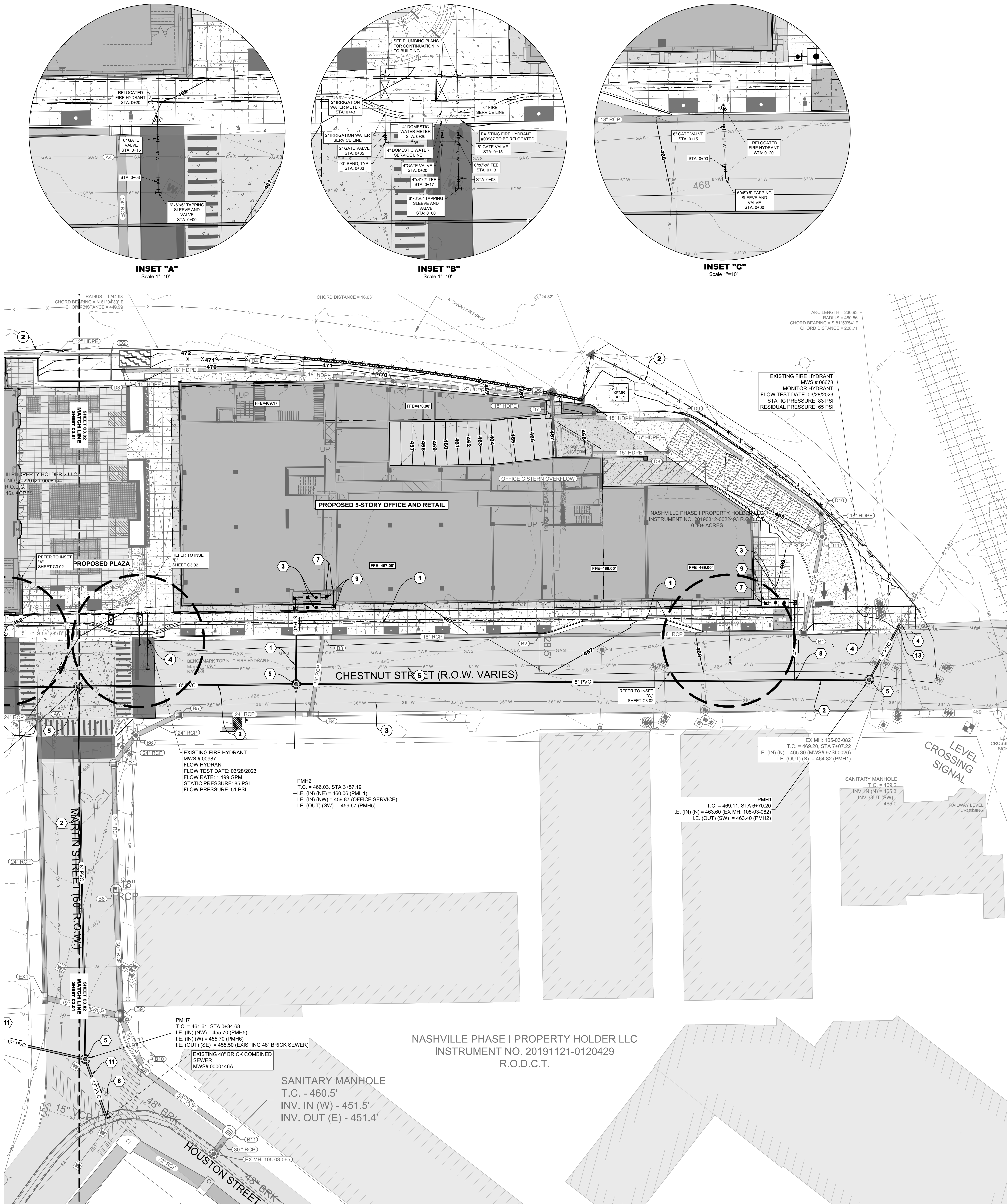
NOT NOTE:
ALL UTILITY TRENCH REPAIR WITHIN ROW TO BE PERFORMED PER NDOT ST-208.

- MWS STANDARD PRIVATE UTILITY PLAN NOTES:**
- ALL WATER AND/OR SEWER SERVICES, ALONG WITH APPURTENANCES, SHALL BE INSTALLED IN ACCORDANCE WITH SPECIFICATIONS AND STANDARD DETAILS OF THE METRO WATER SERVICES.
 - ALL CONNECTIONS TO EXISTING MANHOLES SHALL BE BY CORING AND RESILIENT CONNECTOR METHOD.
 - VERTICAL DOUBLE CHECK VALVE ASSEMBLIES, THAT ARE LOCATED IN INTERIOR ROOMS, CAN ONLY BE USED FOR FIRE SERVICES.
 - ALL WATER METERS SHALL BE A MINIMUM OF 24" NOT TO EXCEED A MAXIMUM OF 28" BELOW FINISHED GRADE.
 - IRRIGATION LINE SHALL BE COPPER FROM THE METER TO THE BACKFLOW PREVENTER. THE MINIMUM FEES OUTLINED IN THE CAPACITY LETTER MUST BE PAID BEFORE COMMERCIAL CONSTRUCTION PLANS CAN BE REVIEWED.
 - ALL SEWER SERVICES SHALL BE 6 INCHES IN DIAMETER, FROM CONNECTION AT THE MAIN UNTIL THE FIRST CLEANOUT ASSEMBLY.
 - BACKFLOW DEVICE TO REMAIN ACCESSIBLE AT ALL TIMES.
 - PLAN SIZE SHALL BE 24"x36" AND SHALL SHOW CONTOURS AROUND METER BOXES.
 - ANY UNUSED EXISTING WATER METERS MUST BE CUT AND CAPPED AT THE PUBLIC MAIN.
 - ALL LEAD OR GALVANIZED WATER SERVICE LINES ENCOUNTERED WITH THIS PROJECT SHALL BE REINSTATED WITH COPPER OF LIKE SIZE FROM THE WATER MAIN TO THE METER BOX.
 - DOMESTIC AND IRRIGATION WATER METERS AND ASSOCIATED APPURTENANCES SHALL NOT BE PLACED IN OR UNDER A PAVED OR IMPROVED SURFACE OTHER THAN THE PORTION OF THE SERVICE LOCATED WITHIN THE RIGHT OF WAY.
 - SANITARY SEWER TAPS SHALL BE PLACED AT THE LOWEST ADJACENT SEWER MAIN ELEVATION FOR EACH PREMISES AND SHALL NOT BE LOCATED IN OR UNDER A PAVED OR IMPROVED SURFACE OTHER THAN THE PORTION WITHIN THE RIGHT OF WAY.

- UTILITY KEYNOTES:**
- EXISTING PROPERTY LINE / CHESTNUT ST R.O.W. LINE.
 - EXISTING PROPERTY LINE / CSA R.O.W. LINE.
 - CONTRACTOR TO REFER TO AND FOLLOW ALL GUIDELINES FROM METRO WATER'S CRITICAL ASSET DAMAGE PREVENTION POLICY WHEN WORKING AROUND EXISTING 30" WATER MAIN IN CHESTNUT STREET (MWS V21M210).
 - EXISTING FIRE HYDRANT TO BE RELOCATED. SEE SHEET C3.03 FOR PROPOSED LOCATION. CONTRACTOR TO RELOCATE HYDRANT AT THE DISCRETION OF MWS INSPECTOR.
 - EXISTING 6" WATER MAIN IN CHESTNUT STREET. (MWS #0578045)
 - PROPOSED SANITARY SEWER SERVICE LINE.
 - PROPOSED 8" SDR 35 PVC SANITARY SEWER MAIN.
 - PROPOSED 1,500 GALLON GREASE INTERCEPTOR. SEE PLUMBING PLANS FOR DETAILS.
 - PROPOSED SANITARY SEWER MAIN TO THE INTO EXISTING MANHOLE.
 - PROPOSED SANITARY SEWER MANHOLE. SEE DETAIL SHEET CS-02.
 - PROPOSED SANITARY SEWER MAIN TO THE INTO EXISTING 48" BRICK SEWER LINE. SEE C3.11 FOR DETAIL.
 - SEE PLUMBING PLANS FOR CONTINUATION INTO BUILDING.
 - PROPOSED 4" SANITARY SEWER SERVICE LINE TO TAP PROPOSED MAIN.
 - PROPOSED GREASE WASTE CLEANOUT, TYP.
 - PROPOSED 6" SANITARY SEWER SERVICE LINE TO TAP PROPOSED MAIN.
 - PROPOSED 12" SDR 35 PVC SANITARY SEWER MAIN.
 - EXISTING MANHOLE: GRADE CASTING TO BE REPLACED WITH SOLID LD-CASTING. SEE CS-02 FOR MANHOLE FRAME AND COVER DETAIL.
 - POTENTIAL CONFLICT WITH EXISTING GAS MAIN. CONTRACTOR TO COORDINATE RELOCATION IF NECESSARY WITH PEDESTAL NATURAL GAS.

- MWS UTILITY NOTES:**
- ALL WATER AND SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH SPECIFICATIONS AND STANDARD DETAILS OF THE METRO WATER SERVICES.
 - THE CONTRACTOR IS RESPONSIBLE FOR REIMBURSING THE METRO WATER SERVICES THE COST OF INSPECTION.
 - THE CONTRACTOR IS TO PROVIDE AND MAINTAIN THE CONSTRUCTION IDENTIFICATION SIGN FOR PRIVATE DEVELOPMENT APPROVED.
 - AFTER COMPLETION OF THE SANITARY SEWER, THE DEVELOPER IS RESPONSIBLE FOR THE TELEVISIONING OF THE LINES PRIOR TO FINAL ACCEPTANCE. THE VIDEO TAPING MUST BE COORDINATED WITH THE METRO WATER SERVICES INSPECTION SECTION. ALL COSTS WILL BE BORNE BY THE DEVELOPER.
 - ALL CONNECTIONS TO EXISTING MANHOLES SHALL BE BY CORING AND RESILIENT CONNECTOR METHOD.
 - REDUCED PRESSURE BACKFLOW PREVENTION DEVICES (RPBP) OR DUAL CHECK VALVE WILL BE REQUIRED ON ALL TEST AND FULL LINES (JUMPER) NEEDED FOR WATER MAIN CONSTRUCTION AND MUST BE APPROVED BY THE METRO WATER SERVICES.
 - ALL WATER METERS SHALL BE A MINIMUM OF 24" NOT TO EXCEED MAXIMUM OF 28" BELOW FINISHED GRADE.
 - UPON COMPLETION OF CONSTRUCTION OF WATER AND/OR SEWER, THE ENGINEER SHALL PROVIDE THE DEPARTMENT WITH A COMPLETE SET OF AS-BUILT PLANS IN DIGITAL (DWG AND PDF) FORMAT. ALL DRAWINGS MUST BE COMPLETED AND SUBMITTED PRIOR TO ACCEPTANCE OF THE SEWERS AND WATER MAINS INTO THE PUBLIC SYSTEM AND ANY CONNECTION BEING MADE.
 - SEWER PLANS SHALL BE SEALED BY A LICENSED PROFESSIONAL ENGINEER OR A REGISTERED LAND SURVIVOR AND SHALL INCLUDE ACTUAL FIELD ANGLES BETWEEN LINES, ALL ACTUAL SERVICE LINES AND TEE LOCATIONS, THE DISTANCE OF THE END OF THE SERVICE LINE TO PROPERTY CORNERS AND LINES AND/OR STATION AND OFFSET FROM SEWER CENTERLINE TO END OF SERVICE LINE, THE DEPTH TO THE TOP OF THE END OF THE SERVICE LINE, AND SHALL REFLECT ALL ALIGNMENT AND GRADE CHANGES.
 - WATER LINE PLANS SHALL BE SEALED BY A LICENSED PROFESSIONAL ENGINEER OR A REGISTERED LAND SURVIVOR AND SHALL INCLUDE OFFSET DISTANCE FROM THE ROADWAY CENTERLINE OR PROPERTY LINE RIGHT OF WAY, LINE DEPTH, LOCATIONS OF HYDRANTS, VALVES, REDUCERS, TEES AND PRESSURE REDUCING DEVICES WHERE APPLICABLE. ALL DRAWINGS MUST BE COMPLETED AND SUBMITTED PRIOR TO ACCEPTANCE OF THE SEWERS OR WATER MAINS INTO THE PUBLIC SYSTEM AND AN CONNECTION BEING MADE.
 - PRESSURE REGULATING DEVICES WILL BE REQUIRED ON THE CUSTOMER SIDE OF THE METER WHEN PRESSURES EXCEED 100 PSI.
 - PRESSURE REGULATING DEVICES WILL BE REQUIRED ON THE STREET SIDE OF THE METER WHEN PRESSURES EXCEED 150 PSI.
 - ALL WATER MAINS MUST BE LOCATED WITHIN THE PAVED AREA INCLUDING ALL BLOW-OFF ASSEMBLIES.
 - ALL LEAD OR GALVANIZED WATER LINE SERVICE LINES ENCOUNTERED WITH THIS PROJECT SHALL BE REINSTATED WITH COPPER OF LIKE SIZE FORM WATER MAIN TO METER BOX.
 - DOMESTIC AND IRRIGATION WATER METERS AND ASSOCIATED APPURTENANCES SHALL NOT BE PLACED IN OR UNDER A PAVED OR IMPROVED SURFACE OTHER THAN THE PORTION OF THE SERVICE LOCATED WITHIN THE RIGHT OF WAY.
 - SANITARY SEWER TAPS SHALL BE PLACED AT THE LOWEST ADJACENT SEWER MAIN ELEVATION FOR EACH PREMISES AND SHALL NOT BE LOCATED IN OR UNDER A PAVED OR IMPROVED SURFACE OTHER THAN THE PORTION WITHIN THE RIGHT OF WAY.

NOT NOTE:
ALL UTILITY TRENCH REPAIR WITHIN ROW TO BE PERFORMED PER NDOT ST-208.



SWGR# 2024039010

CASE NO. 2022SP-059-002

**COUNCIL DISTRICT: 177
COUNCIL MEMBER: TERRY VO**

**SITE & GRADING ENGINEER
BARGE CIVIL ASSOCIATES, LLC
6808 CHARLOTTE PIKE, SUITE 210
NASHVILLE, TN 37209**

**SURVEYOR
CIVIL INFRASTRUCTURE ASSOCIATES
607 HICKERSON DRIVE
MURFREESBORO, TN 37059**

**OWNER
AJ CAPITAL PARTNERS
429 CHESTNUT ST.
NASHVILLE, TN 37203**

**811 Know what's below
Call before you dig.
811
www.call811.com**

AREA FOR CITY APPROVAL STAMP

DEVELOPER
AJ Capital Partners
429 Chestnut St.
Nashville, TN 37203
312.274.4165

ARCHITECT
HARTSHORNE PLUNKARD ARCHITECTURE
315 WEST WALTON STREET
CHICAGO, IL 60610
312.224.4888
HPARCHITECTURE.COM

MAGNUSSON KLEMENCIC ASSOCIATES
STRUCTURAL ENGINEER
1301 FIRM AVENUE, SUITE 2000, SEATTLE, WA

IMEG CORP.
MECHANICAL ENGINEER
225 W. WASHINGTON STREET, SUITE 2700, CHICAGO, IL

IMEG CORP.
ELECTRICAL ENGINEER
225 W. WASHINGTON STREET, SUITE 2700, CHICAGO, IL

IMEG CORP.
PLUMBING ENGINEER
225 W. WASHINGTON STREET, SUITE 2700, CHICAGO, IL

IMEG CORP.
FIRE PROTECTION ENGINEER
225 W. WASHINGTON STREET, SUITE 2700, CHICAGO, IL

BARGE CIVIL ASSOCIATES
CIVIL ENGINEER
6808 CHARLOTTE PIKE, SUITE 210, NASHVILLE, TN

HODGSON DOUGLAS
LANDSCAPE ARCHITECT
507 MAIN STREET, NASHVILLE, TN

JENKINS & HUNTINGTON
ELEVATOR CONSULTANT
17W106 91st Street, Willowbrook, IL

CHESTNUT ST. MIXED USE

DATE	ISSUES FOR
04/20/2024	FINAL SP SUBMITTAL
07/15/2024	GRADING & UTILITIES ERP
07/17/2024	FINAL SP RESUBMITTAL
08/16/2024	DESIGN DEVELOPMENT & ERP

FINAL SP CASE NO: 2022SP-059-002

SEAL SIGNATURE

ENLARGED SITE UTILITY PLAN

C3.02